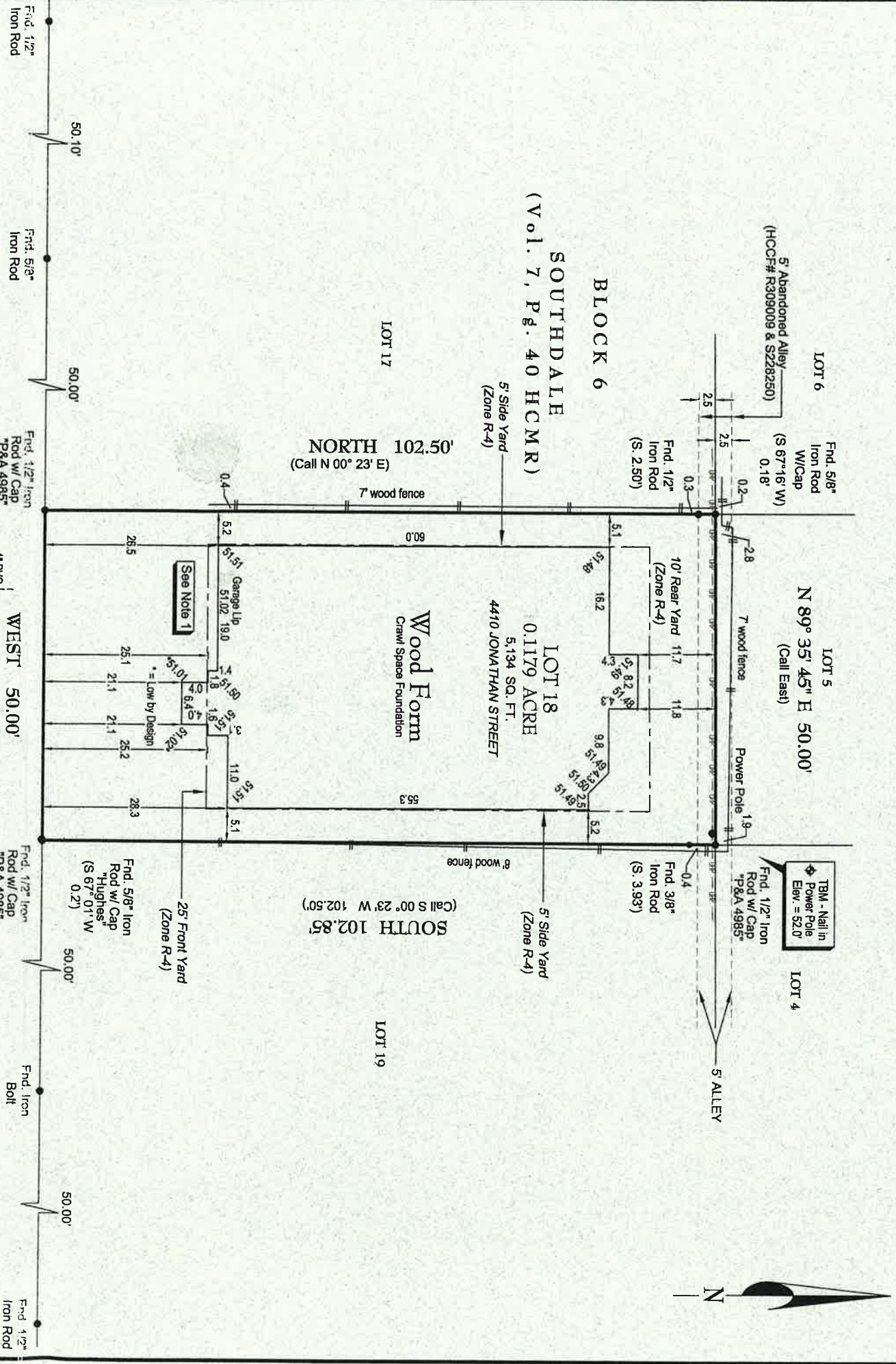


PROBSTFELD & ASSOCIATES

PROFESSIONAL LAND SURVEYORS

515 PARK GROVE DRIVE, SUITE 102 ▲ KATY, TEXAS 77460 ▲ (281) 829-0034 ▲ FAX (281) 829-0233



JONATHAN STREET
50' R.O.W. (Vol. 7, Pg. 40 HCMR)

Mag Nail
CI: 50.51
Project Benchmark
Mag Nail
Elev. = 50.38

NOTES:

1. Portion of wood form extending over the 25' Building Line to be steps per Builder's Site Plan.
2. Elevations shown are based on City of Bellaire Benchmark No. 2R, Elevation = 49.72' NAVD88 (2001 Adjustment).
3. Fences do not follow property lines as shown above.
4. Lot subject to any and all zoning ordinances in force and effect in the City of Bellaire, Texas including Ordinance No. 95-004 by the City of Bellaire filed under County Clerk's File No. R309009 and Quicclaim Deed filed under County Clerk's File No. S228250, Official Public Records of Harris County, Texas. Tract lies within Zone R-4 per the Standard Zoning Map. Front, side and rear yards shown for main residence only per Zone R-4 of the Standard Zoning map of the City of Bellaire, Texas. Front Yard Setback (main structure and attached accessory structure); 25 feet; Side Yard Setback (main structure and attached accessory structure); 8 feet for lots having a width greater than 90 feet, 6 feet for lots having a width greater than 70 feet and equal to or less than 90 feet and 5 feet for lots having a width less than 70 feet, Corner Lot Side Yard Setback (main structure and attached accessory structure); 10 feet; Rear Yard Setback (main structure and attached accessory structure); 10 feet. Detached Accessory Structure Setbacks: 3 feet on interior lot, 10 feet Side Street, 5' Rear Yard Setback. Maximum lot coverage: Lots greater than or equal to 7000 Sq. Ft.: 60%; Lots less than 7000 Sq. Ft.: 55%.
5. Lot may be subject to certain requirements pertaining to front, side and rear setback lines and also architectural protrusions such as eaves, overhangs, ledges, etc., in relation to easements and/or building lines and should be verified prior to any planning or construction.
6. Surveyor has not abstracted this property. This survey has been prepared based upon information provided by the title company. No independent investigation of the accuracy of the title company's work has been performed by the surveyor. Zoning ordinances and zoning building setback lines (if any) are not shown.
7. Surveyor has not reviewed restrictive covenants as set forth under Exceptions From Coverage in Schedule B of the Title Commitment.
8. All bearings are based on the North right of way line of Jonathan Street (WEST).

PLAT OF PROPERTY

FOR: **CHURCHILL HOMES INC., OR ASSIGNS**

AT: **4410 JONATHAN STREET • BELLAIRE, TX**

LGL: **LOT 18 IN BLOCK 6 OF SOUTHDAL, A SUBDIVISION IN HARRIS COUNTY, TEXAS ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 7, PAGE 40 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS, TOGETHER WITH THE ADJOINING 2.5 FEET OF THE ALLEY LOCATED SOUTH OF AND ADJOINING THE ABOVE DESCRIBED PROPERTY AS QUIT CLAIMED BY THE CITY OF BELLAIRE IN INSTRUMENT RECORDED UNDER COUNTY CLERK'S FILE NOS. R309009 AND S228250, OFFICIAL PUBLIC RECORDS, HARRIS COUNTY, TEXAS.**

SCALE: **1" = 20'**

DATE: **5/23/2007** REVISED DATE: **3/21/2017**

This Property DOES Lie within the designated 100 year Floodplain.

PANEL NO: **AE 48201C 0855 L**

ZONE: **AE** EFF. DATE: **6/18/2007**

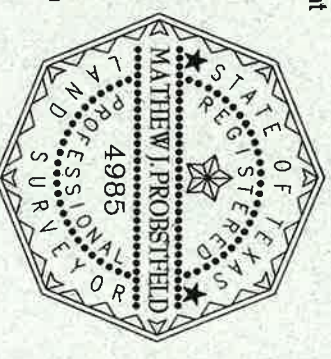
BASE FLOOD ELEVATION: **52.0'** **FIS=BG-BH**

LOCATED BY GRAPHIC PLOTTING ONLY AND NOT RESPONSIBLE FOR ACTUAL DETERMINATION.

THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH TITLE COMMITMENT PROVIDED BY: **FIRST AMERICAN TITLE COMPANY**

GF#: **1627902 (9/2/2016)**

I hereby certify that the above plat correctly represents the facts found at the time of the survey made on the ground, under my supervision, and there are no apparent encroachments at the time of this survey, unless shown or noted otherwise.



MATTHEW J. PROBSTFELD

Registered Professional Land Surveyor

State of Texas No. 4985
PROBSTFELD & ASSOCIATES, INC. • FIRM #10066100

JOB # **769-020** DRAWN BY: **LD**

THIS SURVEY IS THE PROPERTY OF PROBSTFELD & ASSOCIATES, INC., IS CERTIFIED FOR THIS TRANSACTION ONLY, AND IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR OWNERS.