

Matagorda County
Janet Hickl County Clerk
1700 7th St. Rm 202
Bay City, TX 77414



70 2015 00005727

Instrument Number: 2015-5727

As

Recorded On: October 07, 2015

Recordings

Billable Pages: 3

Number of Pages: 4

Comment:

(Parties listed above are for Clerks reference only)

**** THIS IS NOT A BILL ****

Recordings	34.00
Total Recording:	34.00

***** DO NOT REMOVE. THIS PAGE IS PART OF THE INSTRUMENT *****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.

File Information:

Document Number: 2015-5727

Receipt Number: 34384

Recorded Date/Time: October 07, 2015 12:45:25P

Record and Return To:

ALAMO TITLE COMPANY

ANDREA HOLLAND

18618 TUSCANY STONE STE 240

SAN ANTONIO TX 78258

User / Station: D Townsend - CC-CLERK2 Station



STATE OF TEXAS COUNTY OF MATAGORDA
I hereby certify that this instrument was FILED in File Number
Sequence on the date and at the time stamped herein by me
and was duly recorded in the OFFICAL RECORDS of Matagorda
County, Texas.

Janet Hickl
COUNTY CLERK, Matagorda County, Texas

Prepared by and when recorded
return to:

The Overland Group
PO BOX 885
West Plains MO 65775

FILED BY ATC
TUSCANY STONE
GF # 4041005910/JG

DECLARATION OF COVENANTS AND RESTRICTIONS

Date: October 1, 2015
Owner: RSBR Investments, LLC
When recorded return to: 1598 Imperial Center, Suite 2001, West Plains, MO 65775
Tract: See Exhibit A.

The Owner hereby declares that the Tract shall be held, sold, and conveyed subject to the following restrictions for the purpose of, among other things, insuring the quiet enjoyment of the Tract for the purpose that it is being developed and improved.

1. Benefited Parties/Binding Effect. The rights and obligations established in this Declaration of Restrictions (this "Declaration") shall run with the land and be for the benefit of the Tract and any portion of the Tract and shall run with the land and be binding upon the Tract and any use of the Tract.
2. Business Restrictions on Tract. Owner hereby further declares that the Tract shall not be used for or used to access any business operated as the following: Family Dollar Store, Bill's Dollar Store, Fred's, Dollar Tree, Dollar Express, Ninety-Nine Cents Only, Deals, Big Lots, Fiesta Groceries, La Fiesta Supermarkets, Walgreens, CVS, Rite Aid, Wal-Mart, Wal-Mart Supercenter, Wal-Mart Neighborhood Market or any Wal-Mart retail concept.
3. Enforcement. Owner acknowledges that monetary damages would be an inadequate remedy for breach of this Declaration, and that any violation of this Declaration will result in immeasurable and irreparable harm to the other party, warranting an injunction.
4. Duration. The provisions of this Declaration shall run with and bind the land described herein and shall be and remain in effect so long as any part of the Tract is operated as a Dollar General store.

IN WITNESS WHEREOF, the Owner has set their hands and seals as of the day, month and year first above written.

Owner:
RSBR Investments, LLC

By [Signature]
Name Jacob W. Stauffer
Title General Counsel/ERP

Missouri
STATE OF ~~IOWA~~
COUNTY OF Howell

This instrument was acknowledged before me on October 1, 2015, by Jacob W. Stauffer, to me personally known or on the basis of satisfactory evidence proved to me to be the person described in and who executed the foregoing instrument, and acknowledged that he executed the same as his free act and deed on behalf of Declarants.

Tammy Lair
Notary Public
Printed Name: Tammy Lair

My Commission Expires:

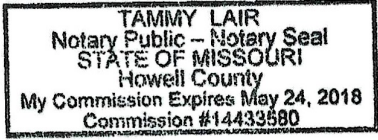


EXHIBIT A

Lots 1 and 2 of Sargent Dollar general Subdivision, a subdivision of 5.46 acres in the Hinton Curtis League, Abstract No. 23, Matagorda County Texas, according to Plat File 538-A.