

PROPERTY ORDINANCES  
RESTRICTIVE COVENANTS  
ZONING GUIDELINES  
RECORD INFORMATION

I.R. = IRON ROD  
I.P. = IRON PIPE  
P.L. = PROPERTY LINE  
U.E. = UTILITY EASEMENT  
FND. 5/8" I.R. W/CAP  
SOD  
BRICK  
A/C PAD  
ELEC. BOX  
UTIL. PED.  
MANHOLE  
WATER METER

**LEGEND**

M.U.E. = MUNICIPAL UTILITY ESMT.  
S.S.E. = SANITARY SEWER ESMT.  
W.L.E. = WATERLINE EASEMENT  
R.O.W. = RIGHT-OF-WAY

— I — IRON FENCE  
— X — WIRE FENCE  
— // — WOOD FENCE  
— O — CHAIN LINK FENCE  
— — — BUILDING LINE (B.L.)  
- - - EASEMENT LINE  
- . - AERIAL EASEMENT (A.E.)

CONCRETE

COVERED

SOD

BRICK

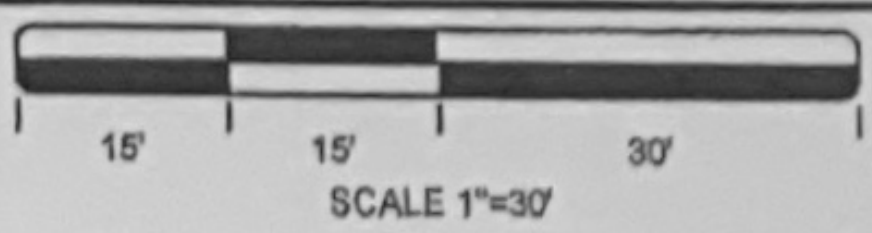
A/C PAD

ELEC. BOX

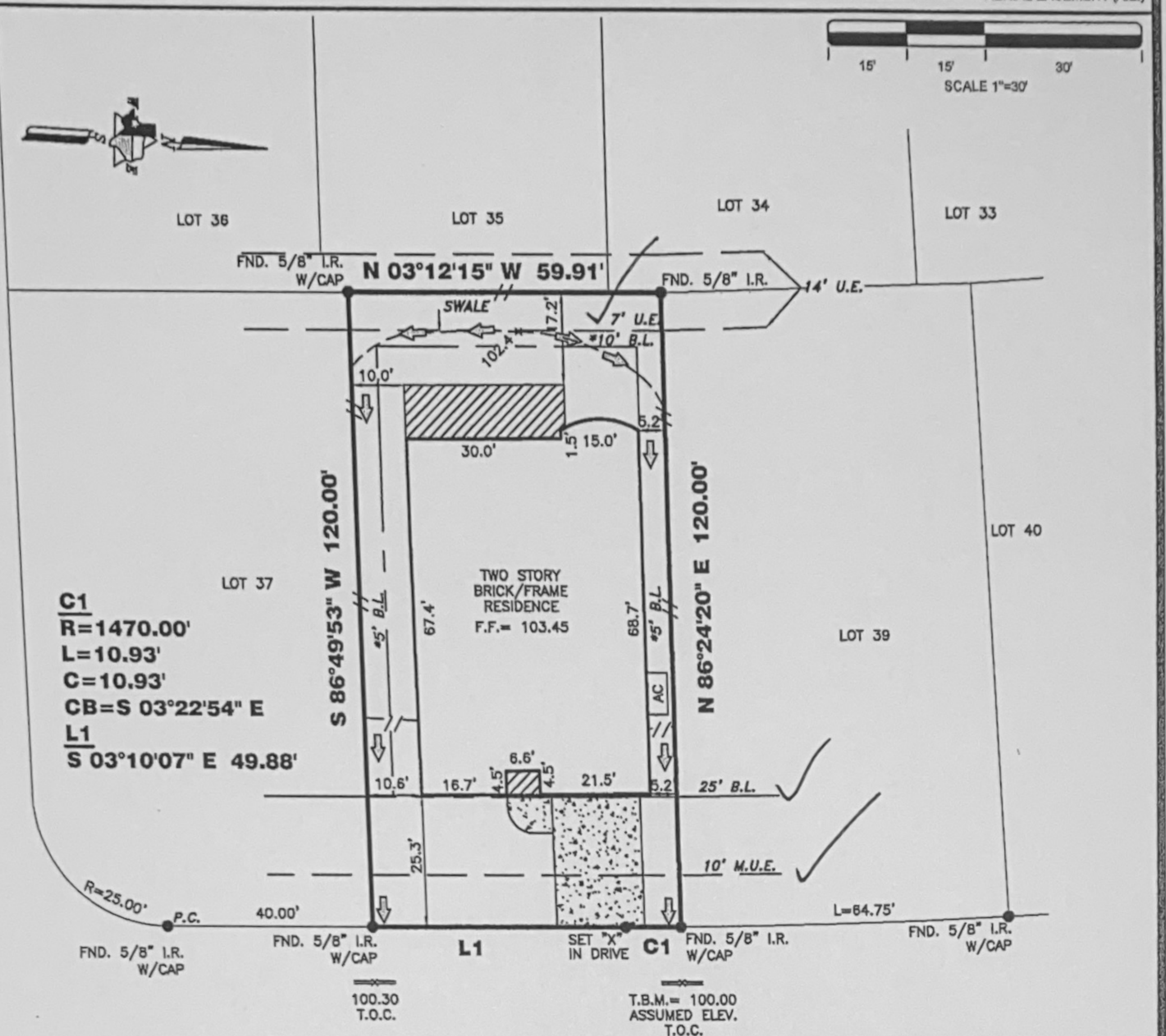
UTIL. PED.

MANHOLE

WATER METER



60' PUBLIC R.O.W.



**MAJESTIC FAIRWAY LN.  
(60' PUBLIC R.O.W.)**

I HEREBY DECLARE THAT THE ELEVATIONS AND DRAINAGE PATTERNS SHOWN HEREON WERE DEVELOPED FROM A SURVEY OF THIS PROPERTY ACCURATELY DEPICT RELATIVE ELEVATIONS AS THEY EXISTED. THE RELATIVE ELEVATIONS AS DEPICTED, MAY CHANGE SUBSEQUENT TO THE DATE OF THIS SURVEY DUE TO ADDITION OR REMOVAL OF THE SOIL BY ACTS OF MAN; EROSION BY WIND OR WATER; OR OTHER FACTORS. THE HOMEOWNER MUST MAINTAIN THESE ELEVATIONS AND GRADES TO PROPERLY DRAIN THE WATER AWAY FROM THE HOME.

FINAL LOT GRADE COMPLETE  
NOTE: SOD IN FRONT YARD  
SOD IN BACK YARD  
SWALE IN BACK YARD

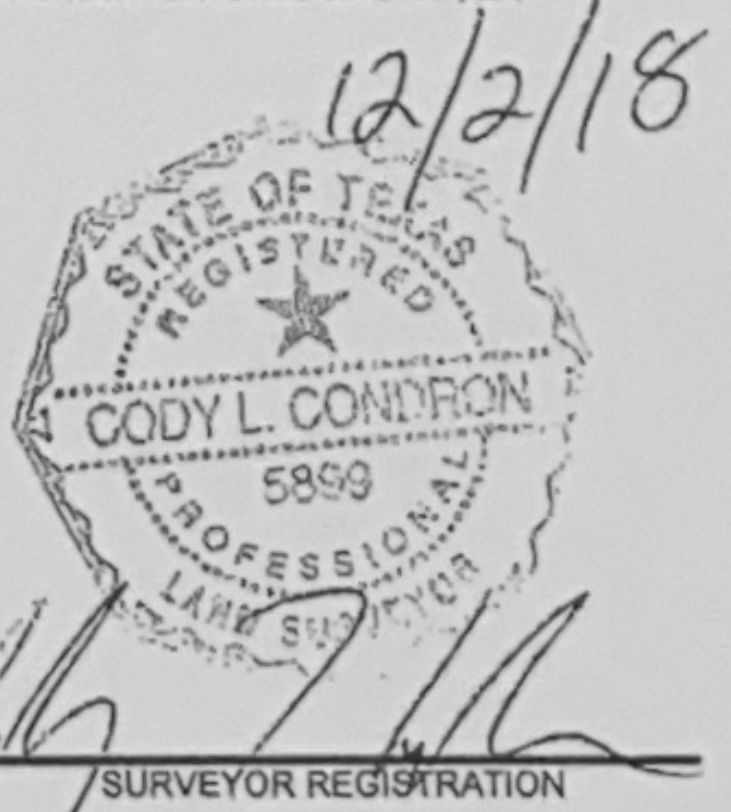
**2336 MAJESTIC FAIRWAY LN.**

**PROPERTY INFORMATION**  
 T 38 BLOCK 1  
 DIVISION:  
 MAGNOLIA CREEK SECTION 15  
 RECORDING INFO:  
 PLAT NO. 2017075349, OFFICIAL RECORDS  
 TARRANT COUNTY, TEXAS  
 DRAWER:  
 DAN QUARLS  
 TITLE CO.  
 CHICAGO TITLE/EXECUTIVE TITLE CO., LTD.  
 F.# CTT18696733 G.F. DATE: 11-14-18  
 SURVEYED FOR:  
 HERRY HOMES, LLC  
 DRAWING INFORMATION  
 TRI-TECH JOB NO: Y30515-18  
 CLIENT JOB NO:  
 DRAWN BY: SV  
 BEARING BASE: REFERRED TO PLAT NORTH  
 FIELD DATE: 07-17-18

**NOTES:**  
 ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.  
 RESTRICTIVE COVENANTS AND EASEMENTS AS DEFINED, PLAT NO. 2017075349, M.R.G.C.T.X., O.C.C. FILE NOS. 9965227, 2000023642, 2001000280, 2006030805, 2006030806, 2007025068, 2008008726, 2017075906, 2018002406.  
 ALL ROD CAPS ARE STAMPED "GEO SURV", UNLESS OTHERWISE NOTED.  
 C.O.H. ORDINANCE 85-1678 PER H.C.C.F. # N-253886 AND C.O.H. ORDINANCE 89-1312 PER H.C.C.F. # M-337573 AND AMENDED BY C.O.H. ORDINANCE 1999-252.  
 PROPERTY SUBJECT TO RECORDED RESTRICTIONS, REGULATIONS, & ORDINANCES IF ANY.  
 ABSTRACT INFORMATION PROVIDED HEREON IS BELIEVED TO BE SUFFICIENT AND CORRECT BY THE UNDERSIGNED SURVEYOR. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THE ENCUMBRANCES OF RECORD, AS REFLECTED ON THIS SURVEY ARE BASED ON THE RECORDED MAP, PLAT AND/OR DEEDS IN CONJUNCTION WITH TITLE INFORMATION OBTAINED FROM THE TITLE REPORT LISTED HEREON.  
 ALL BUILDING LINES, RECORDED EASEMENTS, UNRECORDED EASEMENTS, BUILDING RESTRICTIONS (DEED RESTRICTIONS, ETC.) AND ZONING ORDINANCES (INCLUDING CITY OF LEAGUE CITY), IF ANY, THAT AFFECT SUBJECT PROPERTY SHOULD BE VERIFIED.  
 THIS SURVEY DOES NOT ADDRESS ANY EAVES, GUTTERS OR OTHER OVERHANGING STRUCTURE FEATURES, WHICH MAY PROTRUDE OVER BOUNDARY, EASEMENT AND/OR BUILDING LINES, UNLESS OTHERWISE SHOWN HEREON.  
 PER CITY OF LEAGUE CITY, LOWEST FLOOR ELEVATION MUST BE 18 INCHES ABOVE THE HIGHEST ADJACENT GRADE (OR CROWN OF STREET), WHICHEVER IS HIGHER.

**TRI-TECH**  
 SURVEYING COMPANY, L.P.  
 10401 WESTOFFICE DR.  
 HOUSTON, TEXAS 77042  
 PH: 713-667-0800  
 www.tritechtx.com TBPLS #10115900

**CERTIFICATION**  
 I, the undersigned registered professional land surveyor, do hereby state that the plat shown hereon represents a boundary survey made on the ground under my supervision of the tract or parcel of land, according to the map or plat thereof, indicated hereon.  
 THIS SURVEY IS VALID FOR THIS TRANSACTION ONLY. THIS SURVEY IS INVALID WITHOUT THE ORIGINAL EMBOSSED SURVEYORS SEAL AND SIGNATURE.  
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**REVISIONS**

DATE	REASON	BY
7-24-18	FORM	MM
12-20-18	FINAL	SV

**FLOOD INFORMATION**  
 F.I.R.M. NO: 485488 PANEL: 0025D  
 REVISED DATE: 09-22-99 ZONE: "X"  
 FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS. THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOOD CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY. FLOOD INFORMATION IS SUBJECT TO LETTER OF MAP CHANGES.