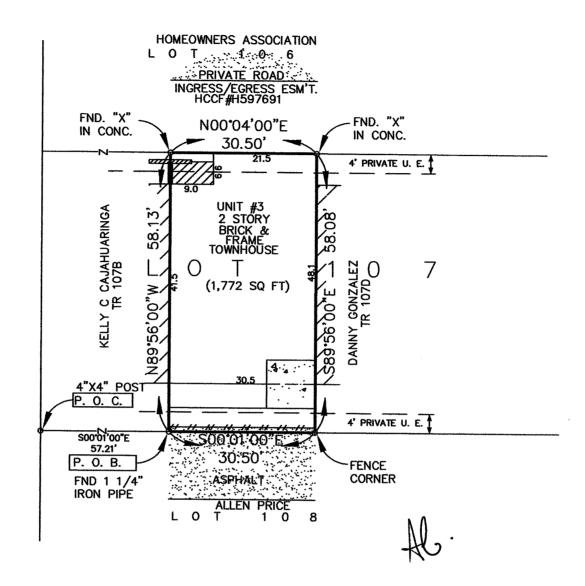
R.O.W.) (RICHMOND STREET PER PLAT)

(5630) FAIRDALE LANE





Note: Restrictive covenants as recorded in V-25, P-29 MRHC and HCCF# # H800687, # H806039 and K380374.

Note: Party Wall Agreement as recorded under HCCF# H800687, H806039 and K380374.

Note: Agreement for Cable T. V. as recorded under HCCF# P768384.

Note: Rights of adjoining property owners in and all structural elements that comprimise any part of the overall structure unit of which any individual townhouse residence is a part and which may be considered common.

BUYER:

Amol P. Gavankar

5630 Fairdale #3

DESCRIBED PROPERTY:

Being 1,772 square feet of land out of Lot 107 of Westheimer Estates Subdivision in the City of Houston, Harris County, Texas, according to the plat of said subdivision recorded in Volume 25, Page 29 Harris County Map Records, said 1,772 square feet of land being known as 5630 Fairdale #3 and being more particularly described by metes and bounds as attached.



1610 South Gordon • Alvin, Texas 77511 (281) 388-1159 • Fax: (281) 388-0317

G.F. <u>40200246</u> Date: <u>06/13/05</u>

Job: 32022

MICHAEL W. SKINNER

5018

Registered Professional Land Surveyor
Texas Registration No. 5018

I, Michael W. Skinner, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above Plat represents an actual survey made on the ground on this day under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachments, or overlapping of improvements, to the best of my knowledge and belief, except as shown herein.

Note: There are no natural drainage courses on this property.

Note: This property does not lie in a flood hazard zone
according to FEMA.

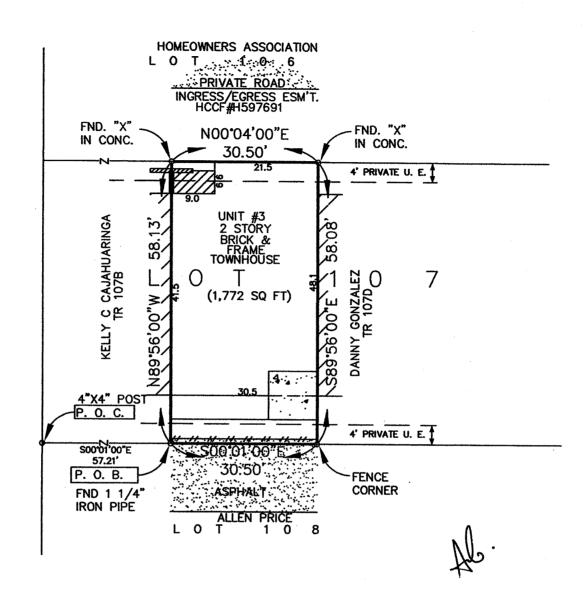
JWS

480201C0855 K 04/20/00 Zone "X"

80' R.O.W.) (RICHMOND STREET PER PLAT)

(5630) FAIRDALE LANE





Note: Restrictive covenants as recorded in V-25, P-29 MRHC and HCCF# H800687, H806039 and K380374.

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480201C0855 K 04/20/00 Zone "X"