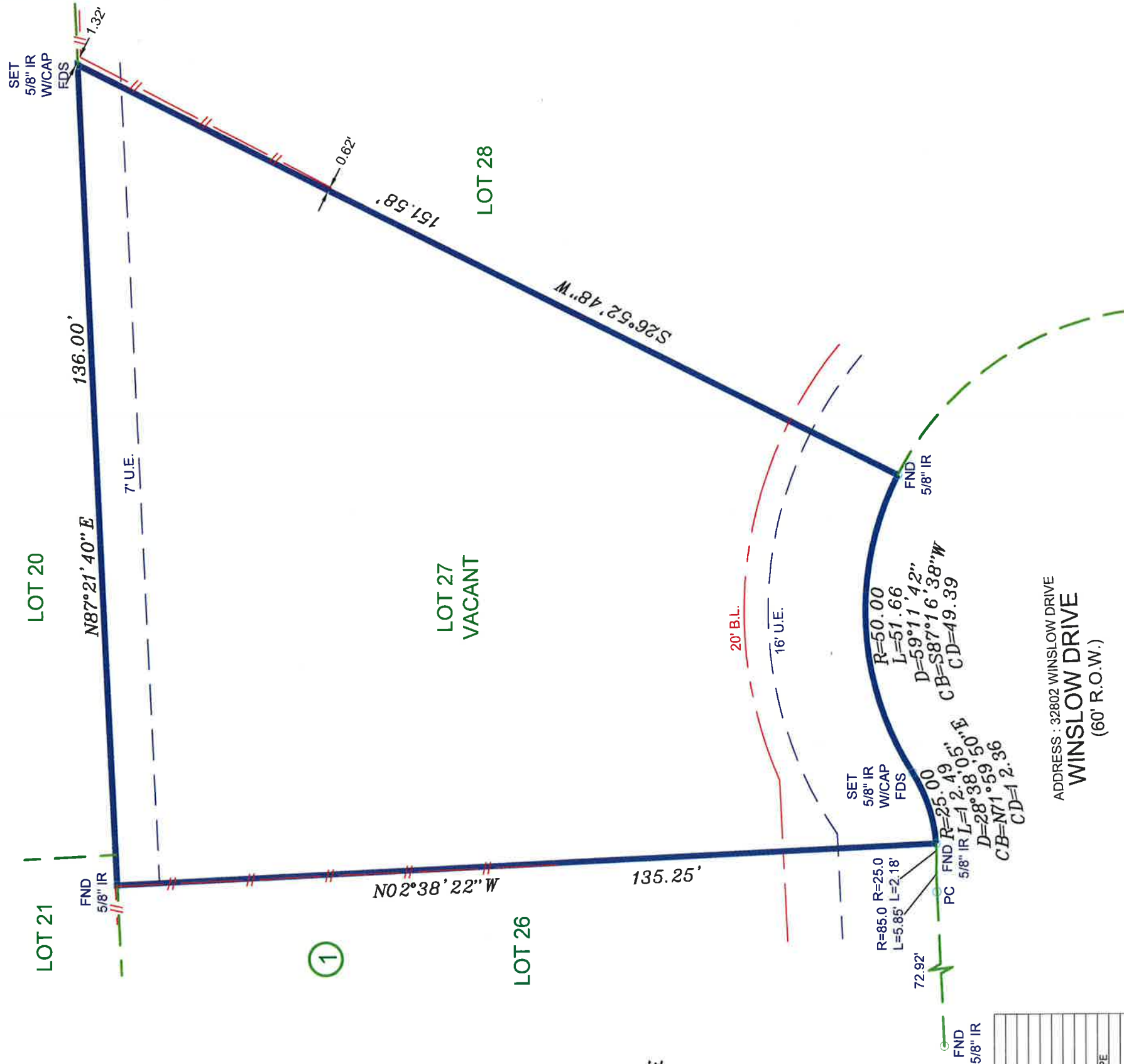


FLOOD NOTE

* Subject Property - IS NOT - Located in a Federal Insurance Administration Designated Flood Hazard Area **UNSH" ZONE X"**
 As per map 481197 Panel 48157C0095L Dated 4-2-14
 * THIS INFORMATION IS BASED ON GRAPHIC PLOTTING ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.



0 10 20
 1 INCH = 20 FEET
 GRAPHIC SCALE
 (IN FEET)

LEGEND

CM	= CONTROL MONUMENT
BL	= BUILDING LINE
WV	= WATER VALVE
AE	= AERIAL EASEMENT
⊙	= CLEAN OUT
HB	= HIGHBANK
GUT	= GUTTER
BOC	= BACK OF CURB
EOA	= EDGE OF ASPHALT
RCP	= REINFORCED CONCRETE PIPE
UE	= UTILITY EASEMENT
GM	= GAS METER
WM	= WATER METER
C	= CENTER LINE
IP	= IRON PIPE
IR	= IRON ROD
FND	= FOUND
SEW	= SEWER
SAN	= SANITARY
MH	= MAN HOLE
⊕	= CHAIN LINK FENCE
-/-	= WOOD FENCE
-	= IRON FENCE
DCL	= DIRECTIONAL CONTROL LINE

NOTES:

- 1.) SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- 2.) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- 3.) THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF AN ABSTRACT OF TITLE.
- 4.) ALL BEARINGS AND COORDINATES ARE BASED ON LEICA SMARTNET RTK (NAD 83 (CORS 96), 2001 EPOCH (ADJ.), SOUTH CENTRAL ZONE, TO CONVERT THE SURFACE DISTANCE TO GRID DISTANCE, MULTIPLY BY A COMBINATION SCALE FACTOR OF 0.999951143.

ADDRESS : 32802 WINSLOW DRIVE
WINSLOW DRIVE
 (60' R.O.W.)

LOT	BLOCK	SUBDIVISION																			
27	1	RESERVE AT WESTON LAKES SEC. 1																			
COUNTY	STATE	MAP REFERENCE	BOUNDARY SURVEY																		
HARRIS	TEXAS	PLAT NO. 20140282, F.B.C.M.R.	SCALE: 1"= 20'																		
PURCHASER: STARWOOD HOMES		ADDRESS																			
32802 WINSLOW DRIVE FULSHEAR TEXAS, 77441																					
<p>FIELD DATA SERVICE, INC. 1613 AVENUE B KATY, TEXAS, 77493 PHONE # 281-793-5192</p> <p>THIS DELINEATION REFLECTS TO THE BEST OF MY KNOWLEDGE THE POSITION OF THE LINES, CORNER MONUMENTS AND VISIBLE PHYSICAL IMPROVEMENTS ATTAINED THIS DATE, BY AN ON THE GROUND SURVEY UNDER MY SUPERVISION.</p> <p><i>Max L. Hughes</i> MAX L. HUGHES REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1730</p>																					
<p>REVISION #</p> <table border="1"> <tr><td>-</td><td>A</td></tr> <tr><td>-</td><td>A</td></tr> </table> <p>LENDER:</p> <table border="1"> <tr><td>TITLE CO.</td><td>-</td></tr> <tr><td>GF#</td><td>-</td></tr> <tr><td>CLIENT#</td><td>-</td></tr> <tr><td>FIELD</td><td>7-31-20/CR</td></tr> <tr><td>DRAFTING</td><td>8-5-20/BS</td></tr> <tr><td>KEY MAP</td><td>-</td></tr> <tr><td>JOB #</td><td>2020-209</td></tr> </table>				-	A	-	A	TITLE CO.	-	GF#	-	CLIENT#	-	FIELD	7-31-20/CR	DRAFTING	8-5-20/BS	KEY MAP	-	JOB #	2020-209
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<p>-SURVEYOR HAS NOT ABSTRACTED SUBJECT PROPERTY. -SURVEY IS BASED ON TITLE COMMITMENT LISTED BELOW. -ALL BUILDING LINES AND EASEMENTS ARE PER RECORDED PLAT UNLESS OTHERWISE SHOWN. -THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.</p>																					
<p>FIRM/LICENSE NO. 10146800 COPYRIGHT 2020, FIELD DATA SERVICES, INC.</p>																					