



8945 Solon Road, Houston, TX 77064 • (713) 641-4844 • Fax (713) 928-5221 • AtlasFoundation.net

AGREEMENT

Date: 4/4/22

ATLAS FOUNDATION REPAIR COMPANY, called the Contractor and NEEL SHAH, Owner, agree that Contractor will provide foundation repair services for the sum of \$ 11300.00, of which \$ 400 a non-refundable deposit shall be paid when job accepted, the balance shall be paid 1/2 when work begins and the remaining balance is due on agreed schedule or completion of the work. Contractor will perform the following described work to the described building or structure located at 8102 SOLARA BEND City HOUSTON State TX Zip 77083 Phone #: 832 687 4622

RECOMMENDED REPAIR PLAN (SEE ADDENDUM):

OWNER INITIAL HERE: _____

Foundation Plus™
 _____ Exterior _____ Interior _____ Total Pilings
 Lifetime Transferable Warranty

Foundation Plus™ HD
19 Exterior _____ Interior 19 Total Pilings
 Lifetime Transferable Warranty

Piers:
 _____ Bell Bottom
 Warranty: 10 year unconditional; After 10 years \$ _____ per pier service fee

Conventional:
 Conventional Sill Beam Other
 One-Year Limited Warranty

Tunneling _____ Linear Feet

Drainage _____

Drainage Pipe _____ Linear Feet
 One Year Warranty

Surface Drain Basin # _____

Down Spout Extension # _____

Previous Work Adjustment _____

Other _____

OWNER HAS ELECTED THE FOLLOWING REPAIR PLAN (SEE ADDENDUM):

OWNER INITIAL HERE: _____

_____ Foundation Plus™ Pilings _____ Exterior _____ Interior _____ Total OTHER: _____ Amount \$ _____
 _____ Foundation Plus™ HD Pilings

- Contractor may need to remove plants and shrubbery which obstruct installation areas. Any item removed will be replanted, but Contractor does not guarantee longevity of plants and cannot be held responsible for the landscaping of the yard.
 - Contractor is not responsible for damage to plumbing resulting from deterioration or pre-existing problems and leaks. Contractor will only repair damage to water and sewer lines hit by Contractor while excavating for piling installation. In addition, leaks which may occur during movement, leveling, or stabilization of the structure are the sole responsibility of the Owner.
 - Access holes in the slab, walks, porches or driveways created by Contractor will be patched with concrete. Owner is responsible for replacing or reinstalling floor coverings. When inside supports are recommended, Contractor will only replace hardwood flooring with plywood and screeds. Owner is responsible for flooring.
 - Any existing piers that must be chipped and cut away will be charged to the owner at a cost of \$150 each.
- IN FOUNDATION ADJUSTMENTS, CONDITIONS MIGHT APPEAR WHEN WORK IS BEGUN THAT WERE NOT VISIBLE WHEN ESTIMATE WAS SUBMITTED, SUCH AS INSUFFICIENT REINFORCING STEEL, IN CONCRETE SLAB AND/OR OTHER ORIGINAL FOUNDATION STRUCTURAL DEFICIENCY. IN SUCH CASES THE WARRANTY BECOMES INVALID.
- During the described work, sheetrock, wallpaper, or other rigid materials may crack or shift. Contractor is not responsible or liable for repairs, decoration, electrical work, plumbing work, framing, carpet, tile, hardwood flooring, cabinetry or the replacement or repair of any materials unless expressly specified in this Agreement.
 - Owner is responsible for clearly marking the existence of any installed line such as sprinkler, septic, electrical, phone, gas, propane, data, etc. that is not part of the main service at the structure. If not marked, Contractor is not responsible for any damages or repairs.
 - On all Lifetime Warranties, a New-Owner Transfer fee is required of any subsequent owners, without ownership interruption, paid to the contractor, and new owner must notify Contractor within three (3) months of taking ownership of the existing property. Failure to comply with these requirements within the 3 months will result in the warranty being voided.
 - Contractor and Owner agree that any dispute or lawsuit arising out of this Agreement shall be resolved by mandatory and binding arbitration laws in this state and in accordance with this agreement and the rules the American Arbitration Association (AAA). Parties may arbitrate with an agreed upon arbitrator. If unable to agree, binding arbitration shall be administered by AAA. All costs shall be divided equally among the parties.
 - Upon start of work, some factors may be present that were not noticeable during the evaluation. Contractor will discuss further action with Owner.
 - EXCLUSIONS TO THE LIFETIME TRANSFERABLE WARRANTY: (which may incur an adjustment fee)
 - Heave or upward movement of the foundation due to soil expansion.
 - All areas outside the area of influence.
 - Damage caused by catastrophic occurrences.
 - Any prior work to the foundation not performed by Contractor, or any work performed by Contractor that has been tampered with in any manner.
 - Plumbing/water leaks.
 - Structural changes.

This contract is subject to Chapter 27 Property Code. The provisions of that chapter may affect your rights to recover damages arising from the performance of this contract. If you have a complaint concerning a construction defect arising from the performance of this contract and the defect has not been corrected through normal warranty service, you must provide notice regarding the defect to the contractor by certified mail, return receipt requested, not later than the 60th day before the date you file suit to recover damages in a court of law. The notice must refer to Chapter 27 Property Code, and must describe the construction defect. If requested by the contractor, you must provide the contractor an opportunity to inspect and cure the defect as provided by Section 27.004, Property Code.

This agreement, in order to be binding upon Contractor, must be signed in the space provided below and one copy returned in this office within 30 days from the date shown above. Checks should be made payable to: ATLAS FOUNDATION REPAIR COMPANY.

Special Provisions \$400 Dep. Req'd Prior to Scheduling.

 Owner

 Owner

 ATLAS FOUNDATION REPAIR COMPANY

STRUCTURE DESCRIPTION

Siding: Front BRICK Back WOOD Sides BRICK
 Stories: 1 1 1/2 2 Other _____
 Foundation: Slab PT B&B P/B
 Beam Depth _____ Lot Type _____

DATE: 4/4/22

NAME: NEEL SHAH

ADDRESS: 8102 SOLARA BLVD

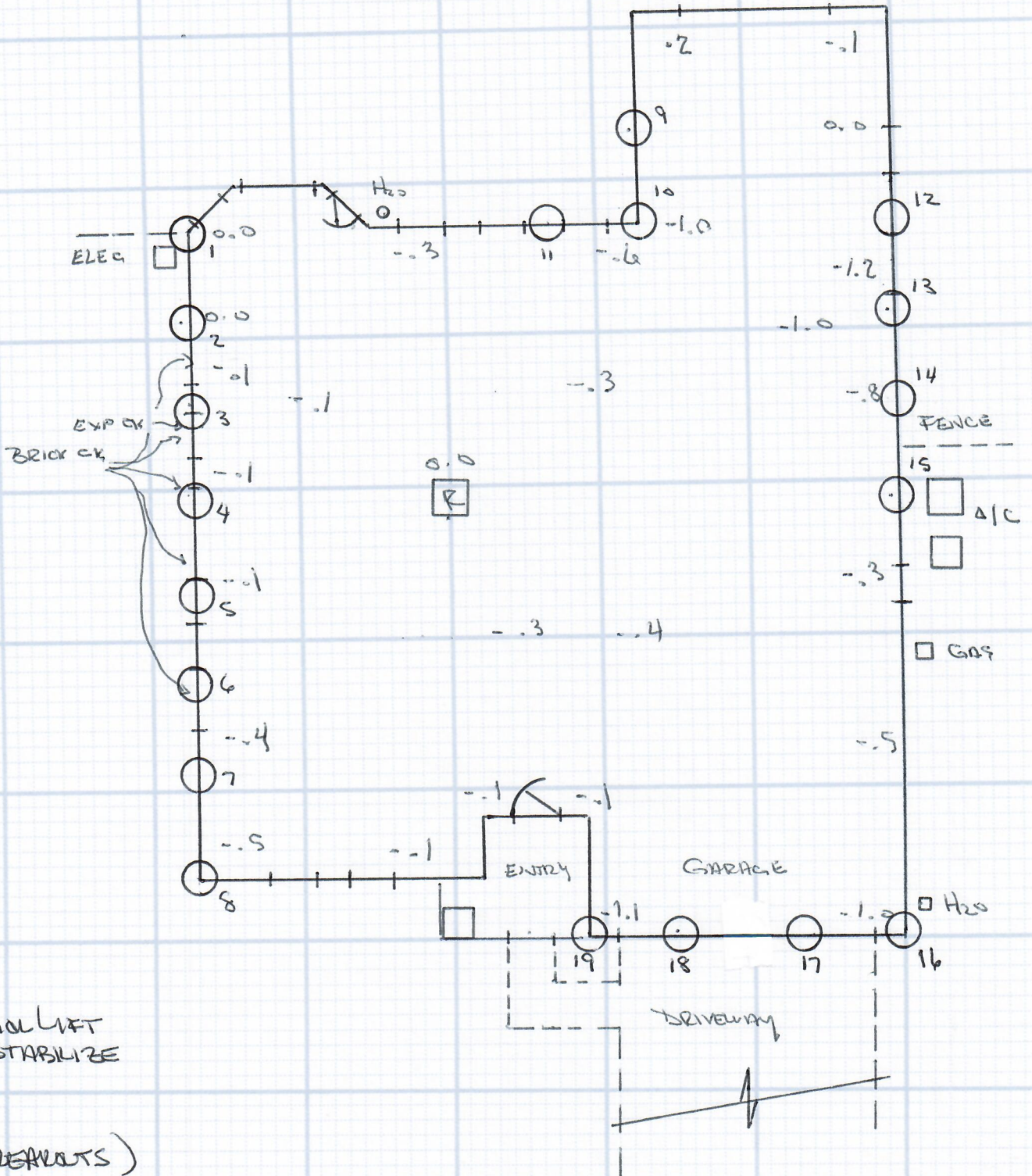
CITY: HOUSTON

ZIP 77083

PH: 832 607 6622

OTHER: NSHAH @ NETSYNC.COM

8102



• MINIMAL LIFT & STABILIZE

(2 BREAKOUTS)

TOTAL NUMBER OF PILINGS:

EXTERIOR 19

INTERIOR _____

LEGEND:

- EXTERIOR PILINGS ●
- INTERIOR PILINGS ●
- EXISTING PILINGS □
- EXISTING BELL BOTTOM PIERS ○
- FENCES _____ ●
- DECKS _____ ●
- PEA GRAVEL _____ □
- 1 INCH = 10 FEET