

BILL RASBEARY & ASSOCIATES, LLC

REGISTERED PROFESSIONAL LAND SURVEYOR
1150 Lacey Four Road, Groveton Texas 75845-2316
Phone: (936) 366-7516

INVOICE NO. 2251

May 24, 2022

Client: Ralph Hamner

Re: 1.04 acre mortgage/loan survey
G. SOSA SURVEY, A-42
Trinity County, Texas
Corner location, GNSS survey, calculation,
Plat, field notes, corner set.

Sub-total	\$ 1,266.00
Tax	\$ 56.25
Total	\$ 1,322.27

THANK YOU FOR ALLOWING US
TO SERVE YOU

THE STATE OF TEXAS

“TO WHOM IT MAY CONCERN”

COUNTY OF TRINITY

I, Bill E. Rasbeary, Registered Professional Land Surveyor #1857, do hereby certify that the attached plat is true and correct and shows all that certain tract of land described as follows, to-wit:

Being 1.04 acres of land, more or less, being part of the G. SOSA SURVEY, A-42, Trinity County, Texas, also being the same land described in a Warranty Deed, dated September 16, 2004, from William A. Smith to Ralph Hamner, and wife, Joyce Hamner recorded in Volume 731, Page 730 of the Official Records of Trinity County, Texas, being further described in metes and bounds as follows, to-wit;

Beginning at a 1 ¼” steel pipe found for the Southwest corner of this tract, and the Northwest corner of a 1.04 acre tract described in a Warranty Deed, dated September 24, 1973, from P. H. Couthan, Jr., Trustee to Herman S. Mann recorded in Volume 219, Page 83 of the Trinity County Deed Records in an East boundary line of an 83.27 acre tract described in a Gift Deed, dated June 21, 2007, from Carolyn F. Mangum to Deanna Roberts recorded in Volume 798, Page 275 of the Official Records of Trinity County, Texas;

Thence two (2) calls with the West boundary line of this tract, and an East boundary line of the said 83.27 acre tract as follows, to-wit:

1) N 10° 22' 05" W 101.44 feet to a ½” steel reinforcing rod set for an angle corner of this tract, and an angle corner of the said 83.27 acre tract;

2) N 3° 22' 07" W 11.98 feet to a ½” steel reinforcing rod set for the Northwest corner of this tract, and the Southwest corner of a 1.04 acre tract described in a Warranty Deed, dated September 24, 1973, from P. H. Cauthan, Jr., Trustee to Nell S. Jacobs recorded in Volume 219, Page 87 of the Deed Records of Trinity County, Texas;

Thence N 86° 37' 58" E 447.10 feet, with the North boundary line of this tract, and the South boundary line of the said 1.04 acre Nell S. Jacobs tract to a ½” steel reinforcing rod set in the West margin of Trinlady Park Road (county road, not known if dedicated) for the Northeast corner of this tract, and the Southeast corner of the said 1.04 acre Nell S. Jacobs tract from which a ½” steel reinforcing rod found bears N 31° 07' 21" E 323.82 feet;

Thence S 31° 39' 58" W 137.46 feet, with the East boundary line of this tract, and the West margin of the said Trinlady Park Road, to a ½” steel reinforcing rod set for the Southeast corner of this tract, and the Northeast corner of the said 1.04 acre Herman S. Mann tract;

Thence S 86° 36' 54" W 355.83 feet, with the South boundary line of this tract, and the North boundary line of the said 1.04 acre Herman S. Mann tract, to the **Point and Place of Beginning**.

Note:

1) All bearings are referenced to the Texas State Plane Coordinate System, Central Zone #4203, NAD 83, theta angle = 3° 22' 02" East.

2) Prepared from a survey performed on the ground by me, or under my supervision, on this day without the benefit of a title commitment.

TO THE LIEN HOLDERS, THE OWNERS OF THE PREMISES SURVEYED AND TITLE COMPANY:

The undersigned does hereby certify that this survey was this day made on the ground of the property legally described hereon and is correct and there are no visible discrepancies, conflict, shortages in area, boundary line conflicts, encroachments, *overlapping of improvements, easements or right-of-way, except as shown hereon, and* that said property has access to and from a dedicated roadway, except as shown hereon.

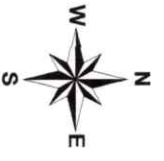
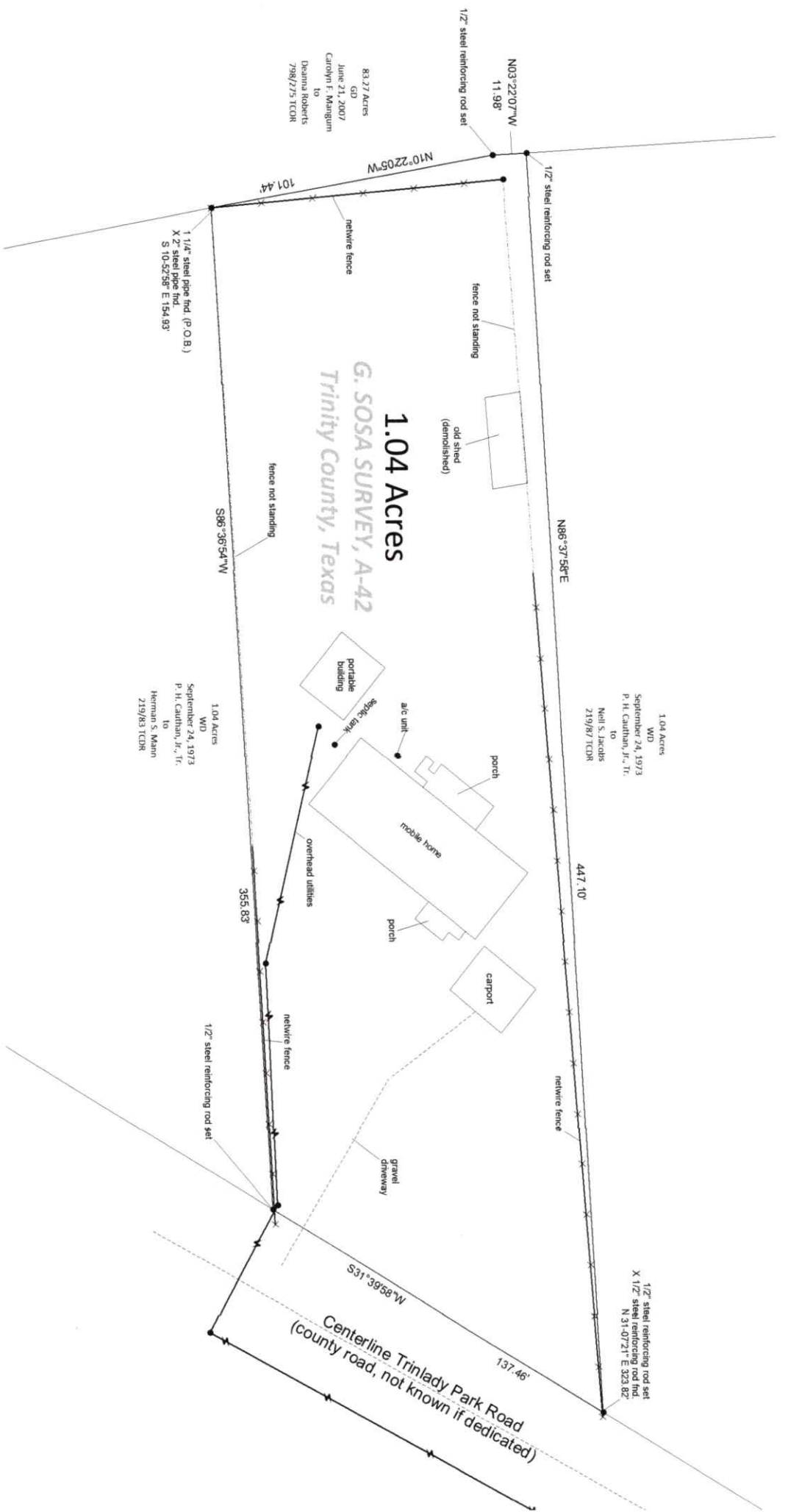


BILL RASBEARY AND ASSOCIATES, LLC
FIRM #10194100

Bill E. Rasbeary

Bill E. Rasbeary
Registered Professional Land Surveyor #1857

Date: May 24, 2022



Scale = 1 : 50.00 (in : US Feet)

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