

Deficiency Summary



Solidium Inspections

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Customer

Mason Redmond

Address

3011 Maxroy St
Houston TX 77008

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

I. Structural Systems

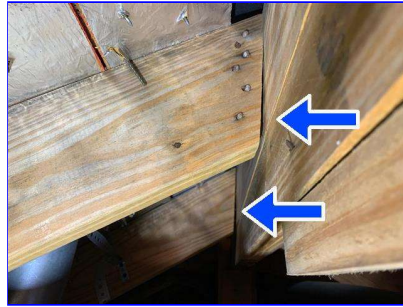
D. Roof Structures and Attics

Deficient

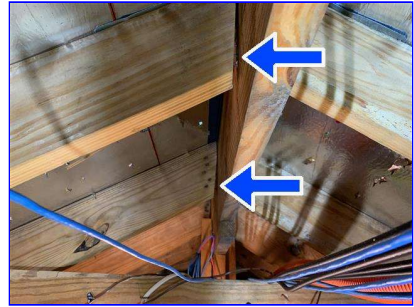
(1) One or more of the roof rafters were observed to be pulling away from the ridge board. A framing or roofing contractor should assess and determine repair options.



D. Separation



D. Separation



D.

E. Walls (Interior and Exterior)

Deficient

(2) There is no visible "through wall" flashing at the transition between the cement fiber siding and the stucco. The current installation will not allow water to drain to the exterior of the stucco wall. A qualified stucco contractor should assess further and determine repair options.



E. Right Side (from the street)



E. Thermal Image



E. Missing Flashing



E. Missing Flashing

(4) Cracking was noted on the exterior stucco/synthetic stucco wall at the right side of the home (from the street). I am unable to determine if this is cosmetic or an indication of water intrusion into the stucco type wall system. A qualified stucco contractor should assess further and determine if repairs are required.



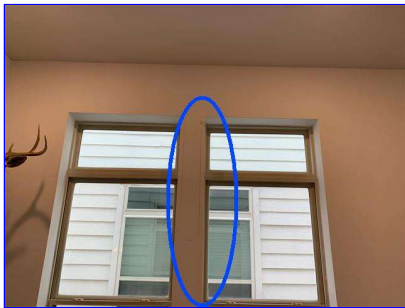
E. Right Side (from the street)

(5) Damage/deterioration was noted on the exterior stucco/synthetic stucco wall at the left side of the home (from the street). A qualified stucco contractor should assess further and determine if repairs are required.



E. Left Side (from the street)

(7) Interior wall stress cracks were noted. Stress cracks indicate that structural movement or settling occurred in the past. Based on the limited number of cracks and the fact that they were not located in any structural locations indicate that this was normal settlement. These cracks should be monitored over time and if they continue to lengthen or grow in width, you should contact a framing contractor or foundation repair company to further assess.



E. Dining Room



E. Cracking



E. Cracking

G. Doors (Interior and Exterior)

Deficient

(2) At least one interior door rubbed at the jamb or did not close correctly. This is an indication that the door frames were not installed correctly or movement occurred in the structure and they are no longer square. I recommend the door and frame be re-installed correctly and it be monitored for any future movement.



G. Master Bedroom

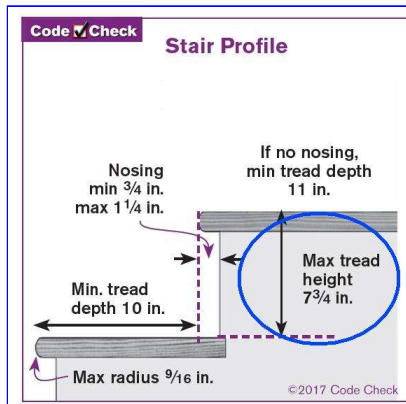


G. Balcony Closet Door

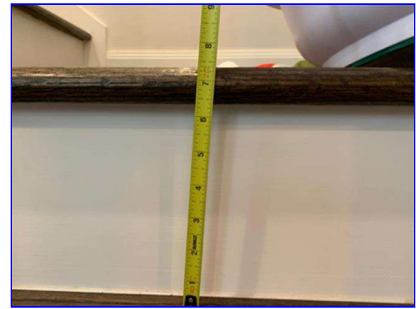
I. Stairways (Interior and Exterior)

Deficient

The stair steps are not uniform in "riser height" and are a potential tripping hazard. Generally accepted construction standards do not allow a variance greater than 3/8" between the risers and a maximum riser height of 7 3/4". Any repair would be extensive and would most likely involve a complete removal and replacement of the stair structure. Recognizing that such a repair is unlikely, I would urge caution until you become accustomed to the stair heights.



I. 8 1/2"



I. 7 1/2"

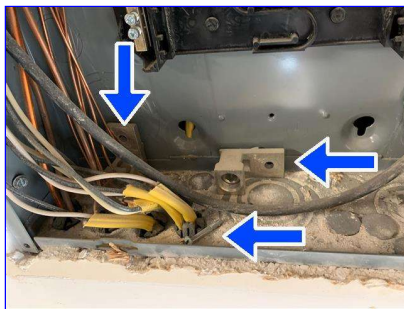
I. Stair Profile

II. Electrical Systems

A. Service Entrance and Panels

Deficient

(4) Debris was noted in the electrical panel. Panel enclosures are designed to enclose connections for electrical safety and should not have any items or debris located inside the panelbox that is not part of the enclosure. The debris should be removed in a safe manner as the interior of the panelbox has dangerous levels of electricity.



A. Debris

B. Branch Circuits, Connected Devices and Fixtures

Deficient

(2) One or more of the switches were noted to be damaged. I recommend they be replaced.



B. Bathroom



B. Master Bedroom

(4) I was unable to determine if the hallway detectors were dual smoke/carbon monoxide (CO) capable. As CO detectors are generally marked as such, I have to assume they are not CO capable. CO detectors are required outside all sleeping areas and every level in dwellings with fuel fired appliances or with attached garages. I recommend the current smoke only detectors be replaced with dual smoke and carbon monoxide detectors.

It should be noted that there were removable CO detectors installed but not on all floors.

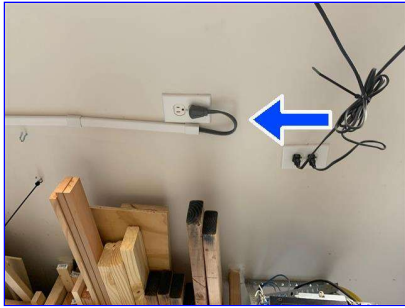


B. Not Marked as CO



B. CO Detector

(6) Electrical flexible extension cords should not be used for permanent wiring and should not pass through walls or ceilings. Permanent wiring should be installed or the unit/appliance should be relocated.



B. Garage



B. Garage

IV. Plumbing System

A. Plumbing Supply, Distribution System and Fixtures

Deficient

(4) The sink backsplash is not caulked where it meets countertop directly behind the sink faucet. Water should be prevented from entering into the wall cavity or it could cause damage. I recommend the countertop-backsplash area be caulked with an appropriate silicone based sealant.



A. Kitchen

(5) The upstairs guest bath toilet shutoff valve was turned off and closed at the time of the inspection. This renders the toilet inoperable and I was unable to test the fixture. I do not turn on closed shutoff valves as I do not know the reason it was off and I could cause damage to the property. Additionally, turning the shut off valve could cause a leak if it is old and the rubber gasket has deteriorated. I recommend obtaining further information from the current homeowner as to why the toilet was shut off and the re-inspect it once turned back on.



A. Shut Off Valve

V. Appliances

G. Garage Door Operator(s)

Deficient

(2) The garage door has an installed and operational lock. The locksets need to be disabled or removed when a garage door opener is installed to prevent accidental damage to the opener mechanism and door. I recommend the locks be removed or mechanically disabled.



G. Lockset

VI. Optional Systems

A. Landscape Irrigation (Sprinkler) Systems

Deficient

(1) The sprinkler system did not respond to the controls when tested in the manual mode. I attempted to operate the system from the controller which appeared to be operating correctly. I verified that the water shut-off was open and water should be entering the system. I recommend an irrigation specialist assess and determine cause and repair.

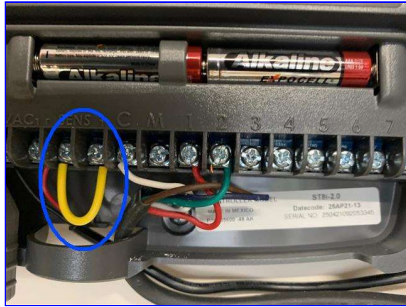


A. Controller



A. Two Zones

(2) An installed rain sensor was located but appeared to have been bypassed. Rain sensors are required by the Texas Commission on Environmental Quality (TCEQ) on every lawn sprinkler system. They also conserve water by preventing automatic irrigation systems from operating when the lawn has received sufficient rain. While the system will operate without a sensor, TREC standards of practice requires the lack of a sensor to be reported as deficient.



A. Bypassed Sensor

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.