



Moisture Assessment Report

For the Property Located At:

3011 Maxroy Street
Houston, TX 77008
02/18/2022

Report Prepared For:

Mason Redmond





Mason Redmond
 3011 Maxroy Street
 Houston, TX 77007
 02/18/2022

Project Information

Project Information Client	Mason Redmond		
Street Address	3011 Maxroy Street		
City, State, Zip	Houston, TX 77007		
Phone Number	N/A		
Type of Exterior	Cement Stucco / Fiber Cement Siding	Date of Inspection	02/18/2022
Substrate	Wood	Others Present	Yes
Age	2016	Temperature	40
Approx. SQ feet	2,123 SF	Weather Conditions	Sunny
Stories	3	Last Rainfall	1 Day
Type of windows	Vinyl	Consultant	Jacob Burns / Avery Harbison

Inspection Test Equipment Test Range Settings

1. Tramex Wet Wall Detector	Low 10 - 20 Medium 21-50 High 51-100	Not Used
2. Delmhorst BD 2100	Low 10 -14 Medium 15 – 19 High >19	1
3. Bio Pump		Not Used

Important Note:

The test equipment is used to help locate problem areas. It must be understood that the test equipment is not an exact science but rather good tools used as indicators of possible problems. At times, because of hidden construction within the wall cavity, the meters get false readings or no readings at all. Some meters will pick up on metals, wiring, unique wall finishes, etc. Positive readings do not always mean there is a problem, nor do negative readings necessarily mean there is not a problem. We do not use the equipment to obtain exact moisture content, but rather to obtain relative readings between suspected problem areas and non problem areas. This information is then used to help determine potential problem areas which may warrant more investigation.



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Summary Checklist

Caulking	Adequate	Not Adequate	N/A	Comments
Caulking Around Window Frame		X		Assess all windows, doors, penetrations, terminations and seal as needed. Always maintain sealants
Caulking AT Window Joints / Miters		X		
Caulking Around Door Frame		X		
Caulking At Door Joints / Miters		X		
Caulking Around Other Breaches		X		
Flat Accents Caulked or Angled		X		
Soffit, Frieze & Facia Boards Caulked		X		
Flashings / Diverters	Present	Not Present	N/A	Comments
Kickout Flashings / Roof / Wall			X	
Balcony Flashings	X			It is suggested to reseal balcony scupper flashing.
Other Attachment Flashings	X			It is suggested to reseal all balcony metal cap terminations.
Chimney Flashing			X	
Chimney Cap			X	
Chimney Cricket			X	
Window Head Flashing	X			
Door Pan Flashing	X			
Window Pan Flashing	X			Weep holes are present at window frames. DO NOT caulk over weep holes.
Terminations	Yes	No	N/A	Comments
Stucco is in contact with the concrete		X		
Stucco is in contact with the soil		X		



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Summary Checklist Continued

Miscellaneous	Yes	No	N/A	Comments
Sprinkler System Present			X	
Gutters Clean & Functioning	X			
Control Joints are Present	X			
Cracks Or Impact Damage	X			Hairline cracking / outside corner cracking / glue & adhesive minor impacts.
Delamination is present		X		
Exterior Evidence Of Pest Infestation		X		
Dead Valley Present			X	



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Moisture Inspection Summary

- Assess all windows, doors, flashing terminations, penetrations and seal with polyurethane caulk. Always maintain sealants.
- Column base is elevated and sitting on a concrete footing. This is a favorable detail. See detail #5.2.
- Metal cap is present on top of the exposed semi-flat wall. This is a favorable detail. It is suggested to reseal all metal cap terminations with the proper caulking as needed. See details #5.3 and #5.4.
- Glue / adhesive noted on the stucco. This is a cosmetic concern. Seal / re-paint all as needed. See details #5.5 and #5.6.
- Cracking is present at the outside corners. It is suggested to seal all cracks at outside corners with polyurethane caulking as needed. See detail #6.2.
- Aged sealants with separation noted around window frames. It is suggested to reseal all window frames with polyurethane caulking as needed. See details #6.3 and #9.4.
- Weep relief is present at bottom of walls but appears to be caulked shut. A weep relief is a favorable detail that allows for proper moisture drainage. Clear out relief and always leave weep relief at bottom of walls open as needed. See detail #7.2.
- Metal caps are present on tops of balcony flat walls. This is a favorable detail. It is suggested to reseal all metal cap terminations with the proper caulking as needed. See details #7.3 and #7.4.
- Hairline cracks are present. To temporarily cover cracks, it is suggested in the future to re-paint the entirety of home with an elastomeric paint. Hairline cracks are a cosmetic concern. Elastomeric paint will help protect the cracks and prevent future cracking. See detail #8.2.
- Sealant separation noted at siding transitions. It is suggested to reseal all with polyurethane caulking as needed. See details #8.3 and #9.5.
- Sealant separation noted around balcony scupper flashing. It is suggested to reseal with the proper caulking as needed.
- Sealant separation noted around penetrations. It is suggested to reseal all with polyurethane caulking as needed. See detail #9.2.
- No horizontal transitional flashing noted. Reverse lap is occurring at the horizontal transition. It is suggested to install a proper horizontal transition flashing to prevent future moisture intrusion from occurring. See detail #9.3.



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Moisture Inspection Summary

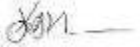
- Please note that this report comments on the property at this date and time. Moisture intrusion can continue to occur if proper repairs are not made. Factors, such as wind and rain, can cause new problems on homes. Therefore, this report of findings is only effective up to 120 days / 4 months after the inspection date and time.
- There are some areas showing signs of slightly elevated moisture content. It is suggested to consult with a qualified waterproofing contractor for further remediation. Refer to elevation photos for specific locations of moisture readings and substrate density listed behind the reading. (i.e. Firm, Semi-Firm, Semi-Soft, Soft and NONE)
- Great care should be exercised in choosing the appropriate caulk. The manufacturer of your system has recommended specific brands and types of sealant for various applications. Each caulking manufacturer has recommendations about how their particular caulk should be applied. It is important that these guidelines be followed in order to maximize the effectiveness of the caulk and enhance its ability to protect your home. All caulk joints should be thoroughly cleaned before caulking to ensure the effectiveness and adherence of the caulk. Important Note: Check with your caulking contractor about painting concerns on silicone verses polyurethane caulks. Silicone cannot be painted over whereas polyurethane can.
- This report only reports on the condition of the structure at the specific locations indicated. Locations were determined by the inspector according to the probable areas of possible moisture intrusion and in accordance with Industry Standards. The suggestions for corrections to prevent moisture intrusion and mold growth are given in accordance with the best judgment and experience that have been determined from previous inspections, repairs, and knowledge gained from our experience and other knowledgeable persons in the industry. No judgment is intended or given for any areas not reported on.
- **Please Note: StuccoSpec / Safe Aire does not perform home inspections. This document was prepared to point out likely areas of moisture intrusion. Moisture Control is the key to mold control. The investigations, opinions and recommendations/suggestions reported within this document are represented as a "mold prevention inspection" sanctioned by the Texas Department of State Health Services.**



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Moisture Inspection Summary

This home was inspected and reviewed by:



Jacob Burns, Inspector

Avery Harbison, Inspector

Beth and Kevin Harbison, Reviewers

StuccoSpec

Texas Department of Licensing and Regulation

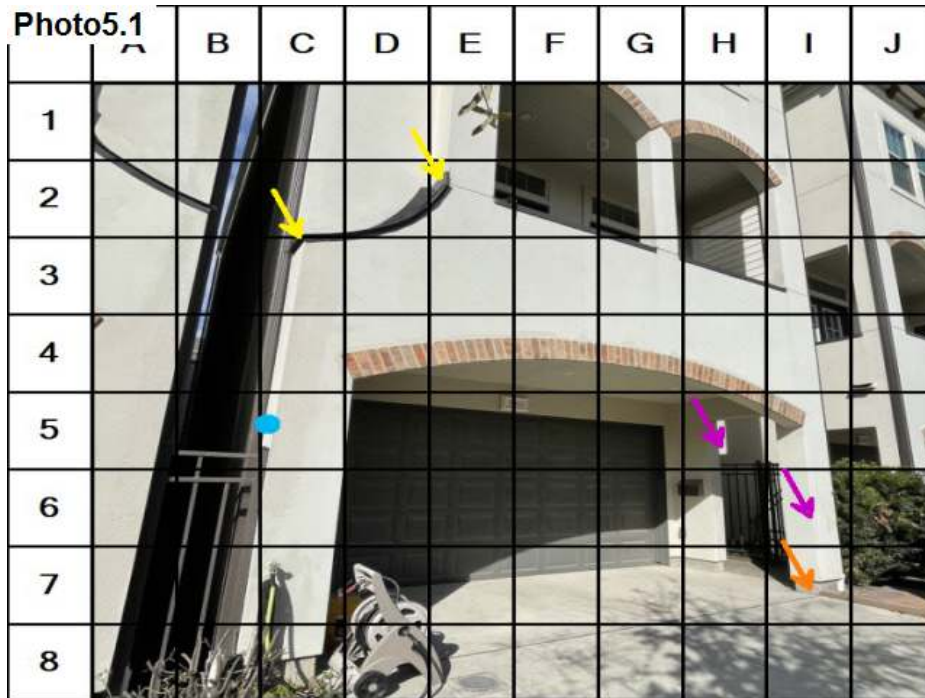
Mold Assessment Technician / License Number: MAT 1168

Mold Assessment Consultant / License Number: MAC 0223

Mold Assessment Technician / License Number: MAT 1225



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Column base is elevated on a concrete footing.



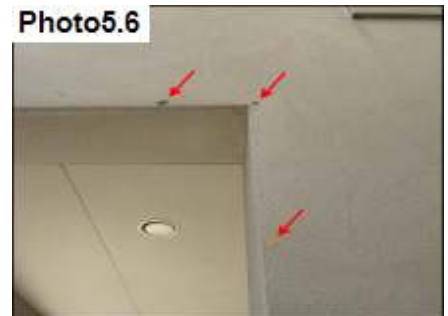
Metal cap is present on top of semi-flat wall.



It is suggested to reseal metal cap terminations.



Glue / adhesive noted in stucco.

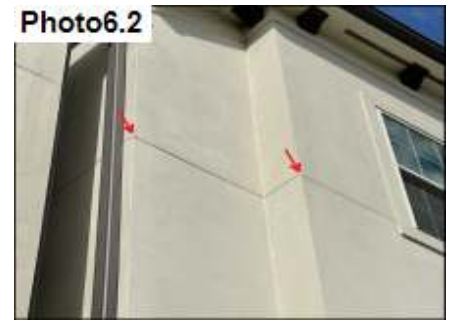
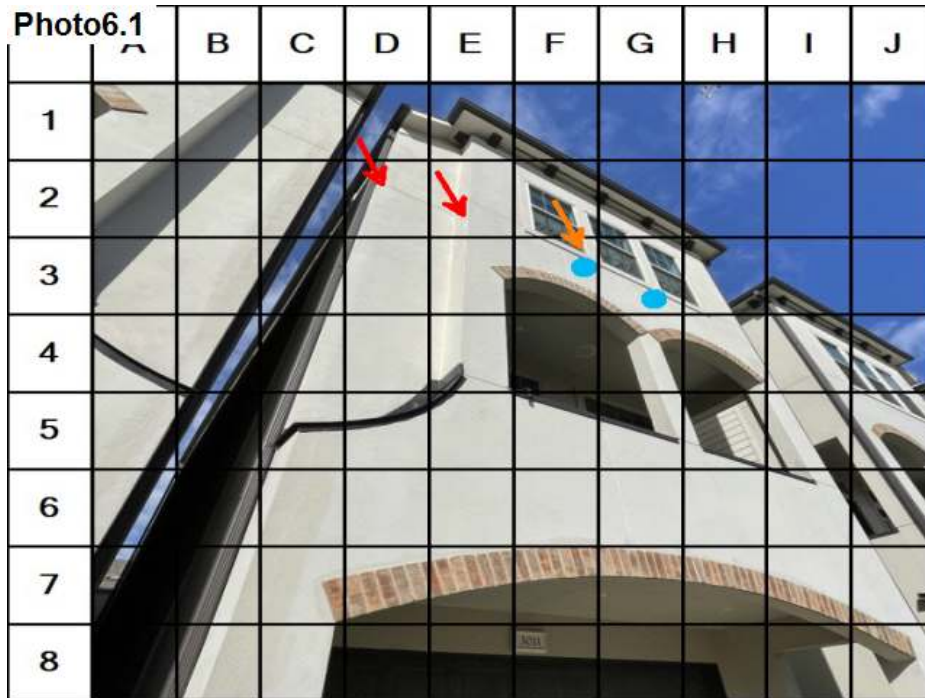


Glue / adhesive noted in stucco.

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations-Photo #5.1	Chapter Reference
				Assess all windows, doors, penetrations, terminations and seal as needed. Always maintain sealants	Ch 3.1,3.2
C5	Outside Corner	15%	Semi-Firm	Moisture reading was made at outside corner below metal cap termination above.	
Orange Arrow	Column Base			Column base is elevated and sitting on a concrete footing. This is a favorable detail. See detail #5.2.	Ch 3.3
Yellow Arrows	Metal Caps			Metal cap is present on top of the exposed semi-flat wall. This is a favorable detail. It is suggested to reseal all metal cap terminations with the proper caulking as needed. See details #5.3 and #5.4.	Ch 3.7
Purple Arrows	Glue / Adhesive			Glue / adhesive noted on the stucco. This is a cosmetic concern. Seal / re-paint all as needed. See details #5.5 and #5.6.	



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Cracking at outside corners noted.



Sealant separation noted around window frames.

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations-Photo #6.1	Chapter Reference
				Assess all windows, doors, penetrations, terminations and seal as needed. Always maintain sealants	Ch 3.1,3.2
F3	Window Lower Right	22%	Firm	Slightly elevated moisture reading was made at window lower right	
G3	Window Lower Left	19%	Firm	Slightly elevated moisture reading was made at window lower left	
Red Arrows	Outside Corner Cracking			Cracking is present at the outside corners. It is suggested to seal all cracks at outside corners with polyurethane caulking as needed. See detail #6.2.	Ch 3.6
Orange Arrow	Window Sealants			Aged sealants with separation noted around window frames. It is suggested to reseal all window frames with polyurethane caulking as needed. See detail #6.3.	Ch 3.2



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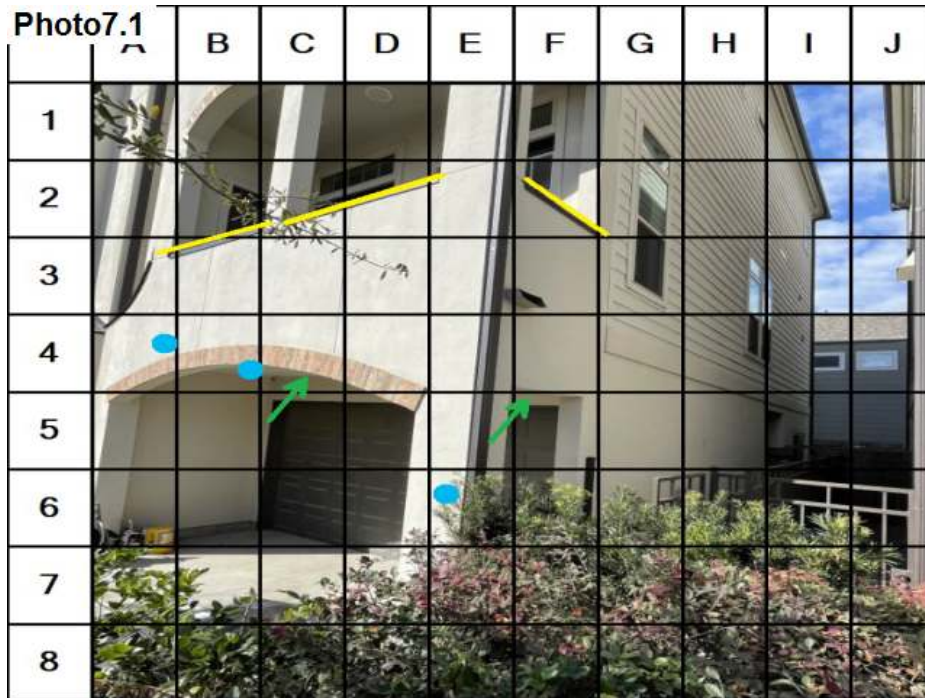


Photo7.2
 Weep relief is present at bottom of wall but is caulked shut.



Photo7.3
 Metal caps are present on tops of balcony flat walls.

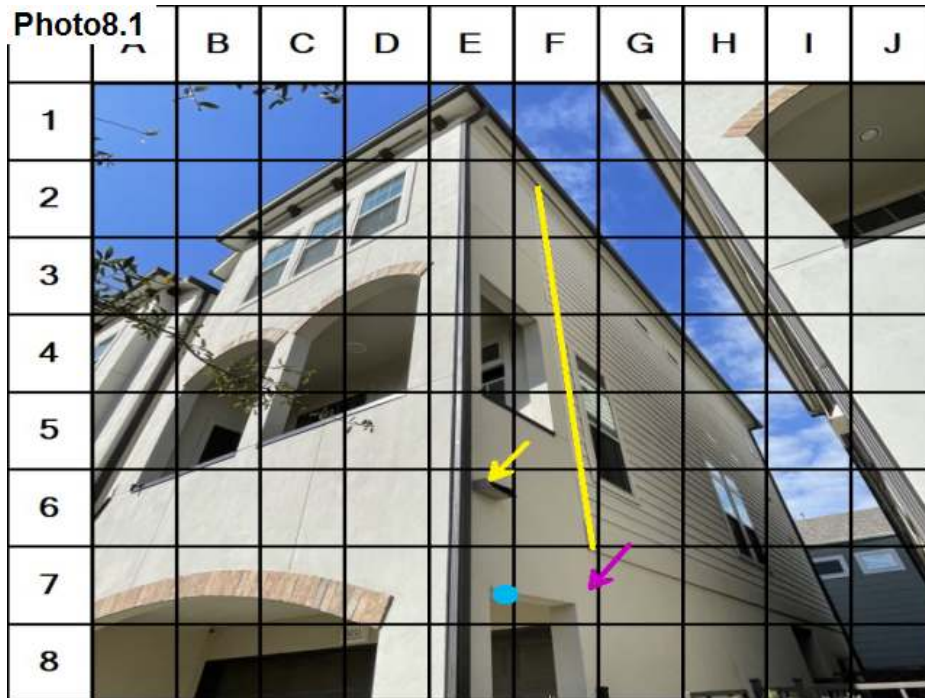


Photo7.4
 It is suggested to reseal all metal cap terminations.

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations-Photo #7.1	Chapter Reference
				Assess all windows, doors, penetrations, terminations and seal as needed. Always maintain sealants	Ch 3.1,3.2
A4	Below Metal Cap Termination	15%	Firm	Moisture reading was made below metal cap termination above.	
B4	Bottom of Arch	19%	Firm	Slightly elevated moisture reading was made at bottom of arch below balcony flashings above.	
E6	Outside Corner	12%	Firm	Moisture reading was made at outside corner.	
Green Arrows	Weep Relief			Weep relief is present at bottom of walls but appears to be caulked shut. A weep relief is a favorable detail that allows for proper moisture drainage. Clear out relief and always leave weep relief at bottom of walls open as needed. See detail #7.2.	
Yellow Lines	Balcony Metal Caps			Metal caps are present on tops of balcony flat walls. This is a favorable detail. It is suggested to reseal all metal cap terminations with the proper caulking as needed. See details #7.3 and #7.4.	Ch 3.7



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Hairline cracking is present.

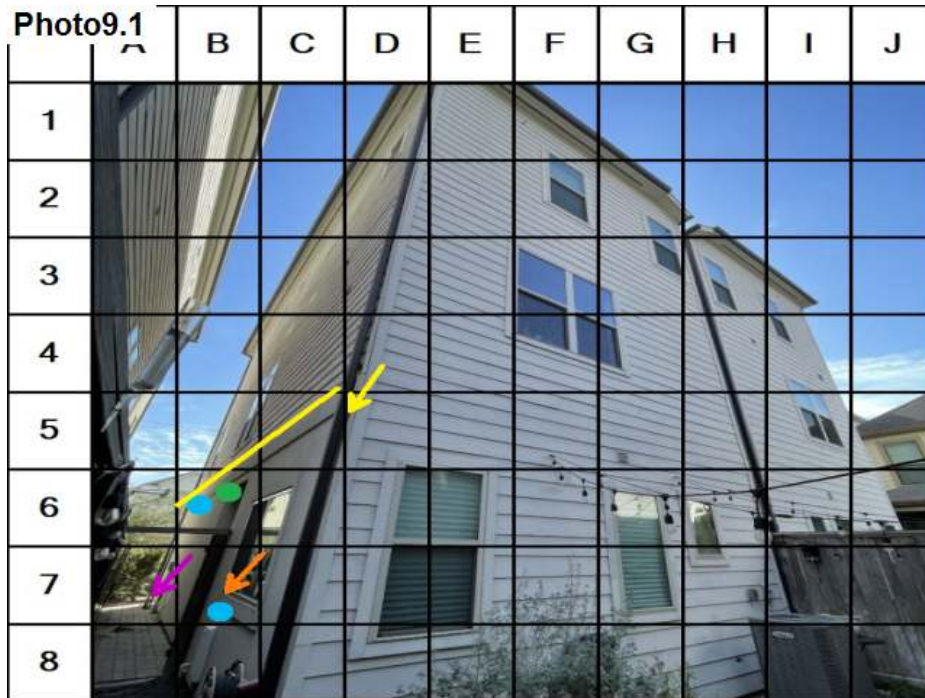


Sealant separation noted at siding transitions.

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations-Photo #8.1	Chapter Reference
				Assess all windows, doors, penetrations, terminations and seal as needed. Always maintain sealants	Ch 3.1,3.2
E7	Below Balcony Flashings	15%	Firm	Moisture reading was made at bottom of wall below balcony scupper flashing above.	
Purple Arrow	Hairline Cracking			Hairline cracks are present. To temporarily cover cracks, it is suggested in the future to re-paint the entirety of home with an elastomeric paint. Hairline cracks are a cosmetic concern. Elastomeric paint will help protect the cracks and prevent future cracking. See detail #8.2.	Ch 3.6
Yellow Line	Siding Transitions			Sealant separation noted at siding transitions. It is suggested to reseal all with polyurethane caulking as needed. See detail #8.3.	Ch 3.10
Yellow Arrow	Balcony Scupper Flashing			Sealant separation noted around balcony scupper flashing. It is suggested to reseal with the proper caulking as needed.	Ch 3.5



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Sealant separation noted around penetrations.



Reverse lap noted at horizontal transition.



Sealant separation noted around window frames.



Sealant separation noted at siding transitions.

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations-Photo #9.1	Chapter Reference
				Assess all windows, doors, penetrations, terminations and seal as needed. Always maintain sealants	Ch 3.1,3.2
B6 (Blue dot)	Below Horizontal Transition	11%	Firm	Moisture reading was made below horizontal transition.	
B6 (Green dot)	Below Horizontal Transition	12%	Firm		
B7	Window Lower Left	15%	Firm	Moisture reading was made at window lower left.	
Purple Arrow	Penetrations			Sealant separation noted around penetrations. It is suggested to reseal all with polyurethane caulking as needed. See detail #9.2.	Ch 3.1
Yellow Line	Reverse Lap			No horizontal transitional flashing noted. Reverse lap is occurring at the horizontal transition. It is suggested to install a proper horizontal transition flashing to prevent future moisture intrusion from occurring. See detail #9.3.	Ch 3.10
Orange Arrow	Window Sealants			Aged sealants with separation noted around window frames. It is suggested to reseal all window frames with polyurethane caulking as needed. See detail #9.4.	Ch 3.2
Yellow Arrow	Siding Transitions			Sealant separation noted at siding transitions. It is suggested to reseal all with polyurethane caulking as needed. See detail #9.5.	Ch 3.10