



Lone Star Stucco, LLC

Moisture Assessment Report

Kristin Jordal & John Christensen

2815 Newman St

Houston, TX 77098

2/27/2020



Lone Star Stucco, LLC 2220 S Piney Pt Rd #208 Houston, TX 77063
Inspector's Cell: (936) 661-6612 (preferred text) **Office:** (936) 228-2268
Email: angelalonestarstucco@gmail.com



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Project Information

PROPERTY INFORMATION		INSPECTION INFORMATION	
Client Name	Kristin Jordal & John Christensen	Type of Inspection	Moisture Assessment
Property Address	2815 Newman St	Date of Inspection	2/27/2020
City, State, ZIP	Houston, TX 77098	Temperature	50 Degrees
Phone	312-285-5238/ 773-383-2247	Weather	Clear
Square Footage (estimated)	3,103	Last Rain	2 Days
Approximate Age of Property	21 Years / Built 1999	In Attendance	Yes
Stories	3	Inspector	Gregg Morgan
Type of Exterior	Traditional Hard Coat		
Substrate	Plywood		
Windows	Metal/ Single Hung/ Fixed		

Inspection Test Equipment		
Equipment Description	Test Range	Setting
Delmhorst Moisture Probe Meter- BD 2100	Low 6-13 /Medium 13-19 /High 19+	1
<p>Important Note: The test equipment is used to help locate problem areas. It must be understood that the test equipment is not an exact science but rather good tools used as indicators of possible problems. At times, because of hidden construction within the wall cavity, the meters get false readings or no readings at all. Some meters will pick up on metals, wiring, unique wall finishes, etc. Positive readings do not always mean there is a problem, nor do negative readings necessarily mean there is not a problem. We do not use the equipment to obtain exact moisture content, but rather to obtain relative readings between suspected problem areas and non problem areas. this information is then used to help determine potential problem areas which may warrant more investigation.</p>		



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Caulking	Good	Not Adequate	N/A	Comments
Caulking Around Window Frame		X		Seal
Caulking At Window Joints / Miters	X			
Caulking Around Door Frame		X		Seal
Caulking At Door Joints / Miters		X		Seal
Caulking Around Other Breaches		X		Seal
Flat Accents Caulked or Angled		X		Seal
Soffit, Frieze & Facia Boards Caulked		X		Seal
Flashings / Diverters	Good	Not Adequate	N/A	Comments
Kickout Flashings / Roof / Wall		X		Seal
Balcony Flashings			X	
Other Attachment Flashings			X	
Porches / Stoop Flashing	X			
Chimney Cap			X	
Chimney Cricket			X	
Window Head Flashing	X			
Door Head Flashing	X			
Column Flashing			X	
Terminations	Yes	No	N/A	Comments
Stucco In Contact With Flat Work	X			
Stucco In Contact With Soil		X		
Miscellaneous	Yes	No	N/A	Comments
Evidence Of Sprinkler Overspray		X		
Gutters Clean & Functioning			X	
Cracks or Impact Damage	X			
Exterior Evidence of Pest Infestation		X		
Control Joints Noted On System	X			



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Summary Page

- Lone Star Stucco, LLC recommends to consult with a stucco waterproofing contractor to touch up or seal all doors, windows, and penetrations as needed in an effort to avoid moisture intrusion.
- The casing bead is rusted and broken. The inspector suggests to have a qualified stucco waterproofing contractor assess and repair this area was needed. Please refer to photos #4.2, #4.3, #4.4 and #4.5 for more detail.
- A minor crack is noted at this location. The inspector suggests to have a qualified stucco waterproofing contractor further assess and seal then paint to prevent moisture intrusion. Please refer to photos #5.2 , #5.3 and #5.4 for more detail.
- The bottom of the wall does not have a relief, but the substrate is firm with no elevated moisture. The inspector suggests no modification at this time. Please refer to photos #6.2 for more detail.
- The door sealants are aged and separated. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #6.2 and #6.3 for more detail.
- The angled accent wall paint is deteriorated with hairline cracks. The inspector suggests to have a qualified stucco waterproofing contractor paint this area with elastomeric paint in an effort to prevent moisture intrusion. Please refer to photos #6.4, #6.5 and #6.6 for more detail.
- Cracks are noted at these locations. The inspector suggests to have a qualified stucco waterproofing contractor further assess and seal then paint to prevent moisture intrusion. Please refer to photos #7.2 , #7.3 and #7.4 for more detail.
- Cracks are noted at the bottom of the foam accent below the roof with evidence of moisture intrusion. The inspector suggests to have a qualified stucco waterproofing contractor further assess core sample and repair as needed. Please refer to photos #8.2 , #8.3, #8.4 and #8.5 for more detail.
- The penetration sealants are aged. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #11.2, #11.3, #11.4, #11.5 and #11.6 for more detail.



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- The window sealants are thin and aged. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #12.2, #12.3, #12.4 #12.5 and #12.6 for more detail.
- Cracks are noted at these locations. The inspector suggests to have a qualified stucco waterproofing contractor further assess and seal or repair as needed to prevent moisture intrusion. Please refer to photos #13.2 , #13.3, #13.4, #13.5 and #13.6 for more detail.
- Cracks are noted at these locations. The inspector suggests to have a qualified stucco waterproofing contractor further assess and seal or repair as needed to prevent moisture intrusion. Please refer to photos #14.2 , #14.3 and #14.4 for more detail.
- The entryway has a flat accent. It is recommended that a qualified waterproofing contractor further assess and either apply elastomeric paint or install a metal cap to prevent moisture intrusion. Please refer to photos #15.2, #15.3 and #15.4 for more detail.
- Mildew is noted at this location. The inspector suggests to have a qualified stucco waterproofing contractor clean this area. Please refer to photos #16.2, #16.3 and #16.4 for more detail.
- The casing bead is rusted and broken. The inspector suggests to have a qualified stucco waterproofing contractor assess and repair this area was needed. Please refer to photos #17.2, #17.3, #17.4, #17.5 and #17.6 for more detail.
- The door sealants are aged and separated. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #18.2, #18.3 and #18.4 for more detail.
- Wood rot is noted at the door trim. The inspector suggests to have a qualified stucco waterproofing contractor repair this area. Please refer to photos #19.2 and #19.3 for more detail
- The raised pavers and stucco termination is in close proximity. The inspector suggests to have a qualified stucco waterproofing contractor apply a kant bead to this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #19.4 and #19.5 for more detail.
- The bottom of the wall does not have a relief, but the substrate is firm with no elevated moisture. The inspector suggests no modification at this time. Please refer to photos #20.2 and #20.3 for more detail.



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- The penetration sealants are aged. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #21.2, #21.3 and #21.4 for more detail.
- The bottom of the wall below the door pan flashing is damaged. The inspector recommends a qualified waterproofing contractor further assess and repair and install a relief as needed. Please refer to photos #4.2, #4.3, #4.4, #4.5 and #4.6 for more detail.
- The bottom of the wall below the door pan flashing is damaged. The inspector recommends a qualified waterproofing contractor further assess and repair and install a relief as needed. Please refer to photos #22.2, #22.3, #22.4 and #22.6 for more detail.
- Cracks are noted at these locations. The inspector suggests to have a qualified stucco waterproofing contractor further assess and seal or repair as needed to prevent moisture intrusion. Please refer to photos #23.2, #23.3, #23.4, #23.5 and #23.6 for more detail.
- The window sealants are thin and aged. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #23.5 and #23.6 for more detail.
- The accent wall below the angled accent is cracked and damaged. The inspector recommends a qualified waterproofing contractor further assess and repair as needed to prevent moisture intrusion. Please refer to photos #24.2, #24.3 and #24.4 for more detail.
- You have several areas that are showing signs of elevated moisture. Soft and nonexistent substrate was noted in some of these areas. It is recommended to consult with a stucco waterproofing contractor to investigate all soft and nonexistent areas. Please refer to the attached report for more detail.
- **LIMITATIONS OF LIABILITY:** Because this is a limited inspection, we can make no guarantee, express or implied, that our observations and random moisture readings offer conclusive evidence that no installation or moisture problems exist, or that problems found are all-inclusive. This inspection company, its employees and any divisions shall not be liable for non-visual defects, unseen defects, unspecified defects or hidden damage and conditions existing on the subject property and hereby disclaims any liability or responsibility thereof. All parties concerned agree to hold harmless and indemnify this inspection company involving any liabilities that may result.
- **FURTHER TESTING / INVESTIGATION:** Our policy is to rely on moisture meter readings as an indicator of relative moisture values between different test spots, not as an absolute value of water content in the substrate. It is difficult to determine if the structural wood of your home has been damaged in areas of high readings without 'probing' and/or removing a core sample of the stucco to allow for visual inspection. Should we feel that further investigation is needed this will be indicated in the summary section of the report.



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- **REPAIR FOLLOW-UP AND ANNUAL INSPECTIONS:** A repair follow-up inspection should be conducted within three months after completion of the repairs to assess the effectiveness of the moisture modifications. This is extremely important. Annual inspections should also be scheduled to ensure that your stucco system remains dry. This way any sealant failures, stucco cracks, etc. can be caught and repaired promptly. Testing and maintaining your home on a regular basis is the best way to prevent costly repairs associated with moisture damage. Also, should you decide to sell your home, annual inspections and maintenance documentation will be a valuable selling tool, providing evidence to show that your home has been inspected and maintained on a regular basis by a reputable and qualified firm.
- **PLEASE NOTE:** Lone Star Stucco, LLC is not a home inspection company, and does not perform home inspections. This reports primary use is to show the area that are likely to have moisture intrusion in an effort to help control mold. This report and all its contents area sanctioned by the Texas Department of State and Health Services in guidelines for mold prevention.

Thank you for your business,

James "Gregg" Morgan

2220 S Piney Pt Rd #208

Houston, TX 77063

Texas Department of Licensing and Regulation

Mold Assessment Consultant

License Number: MAC 1299

Expiration 8/13/2020



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Photo4.1

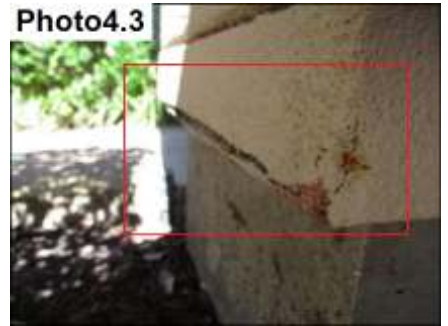


Photo4.2



Rusted Casing Bead/ Repair As

Photo4.3



Rusted Casing Bead/ Repair As

Photo4.4



Rusted Casing Bead/ Repair As

Photo4.5



Rusted Casing Bead/ Repair As

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Boxes	Impact And Rusted Casing Bead			The casing bead is rusted and broken. The inspector suggests to have a qualified stucco waterproofing contractor assess and repair this area was needed. Please refer to photos #4.2, #4.3, #4.4 and #4.5 for more detail.



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Photo5.1

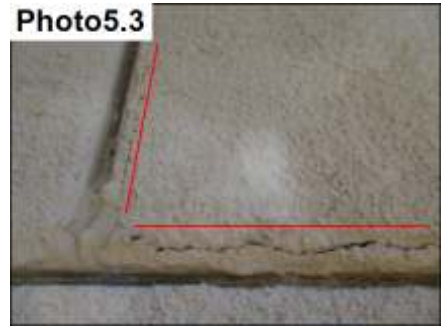


Photo5.2



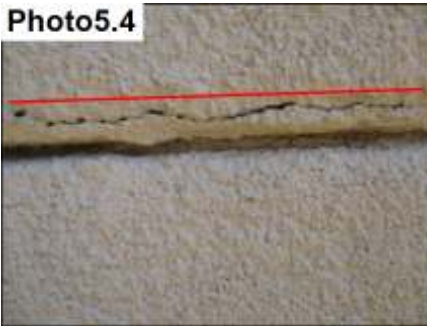
Minor Cracks / Seal

Photo5.3



Minor Cracks / Seal

Photo5.4



Minor Cracks / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Lines	Cracks			A minor crack is noted at this location. The inspector suggests to have a qualified stucco waterproofing contractor further assess and seal then paint to prevent moisture intrusion. Please refer to photos #5.2 , #5.3 and #5.4 for more detail.



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Photo6.1



Photo6.2



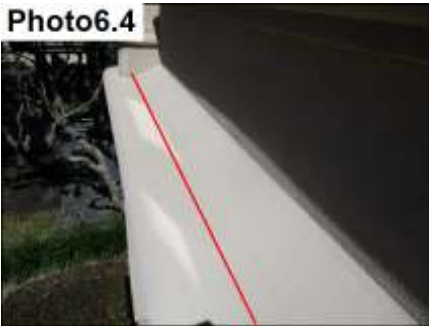
Door Trim Aged / Seal

Photo6.3



Door Trim Aged / Seal

Photo6.4



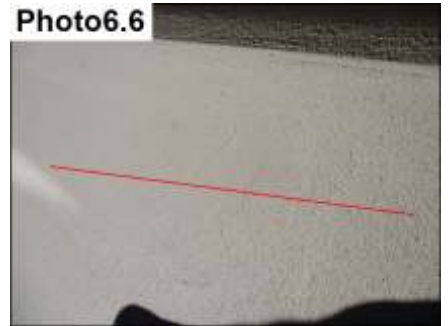
Angled Accent / Elastomeric Paint

Photo6.5



Angled Accent / Elastomeric Paint

Photo6.6



Angled Accent / Elastomeric Paint

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Orange Line	Bottom Of Wall			The bottom of the wall does not have a relief, but the substrate is firm with no elevated moisture. The inspector suggests no modification at this time. Please refer to photos #6.2 for more detail.
Green Arrows	Door Trim			The door sealants are aged and separated. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #6.2 and #6.3 for more detail.
Red Line	Accent Wall			The angled accent wall paint is deteriorated with hairline cracks. The inspector suggests to have a qualified stucco waterproofing contractor paint this area with elastomeric paint in an effort to prevent moisture intrusion. Please refer to photos #6.4, #6.5 and #6.6 for more detail.



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Photo7.1

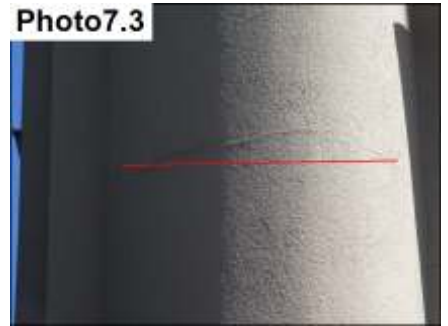


Photo7.2



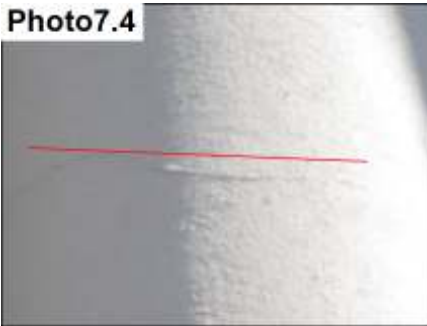
Cracks Noted / Seal & Paint

Photo7.3



Cracks Noted / Seal & Paint

Photo7.4



Cracks Noted / Seal & Paint

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Lines	Cracks			Cracks are noted at these locations. The inspector suggests to have a qualified stucco waterproofing contractor further assess and seal then paint to prevent moisture intrusion. Please refer to photos #7.2 , #7.3 and #7.4 for more detail.

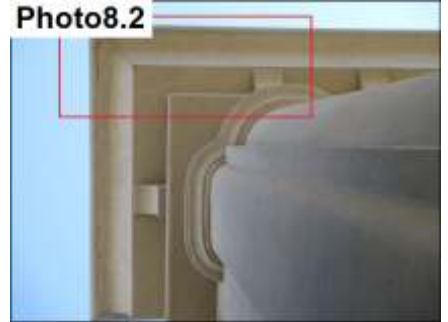


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Photo8.1



Photo8.2



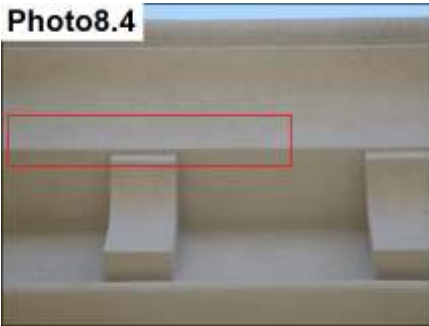
Cracks /Further Assess And Repair As Needed

Photo8.3



Cracks /Further Assess And Repair As Needed

Photo8.4



Cracks /Further Assess And Repair As Needed

Photo8.5



Cracks /Further Assess And Repair As Needed

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Boxes	Cracks & Potential Moisture Intrusion			Cracks are noted at the bottom of the foam accent below the roof with evidence of moisture intrusion. The inspector suggests to have a qualified stucco waterproofing contractor further assess core sample and repair as needed. Please refer to photos #8.2 , #8.3, #8.4 and #8.5 for more detail.



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Photo9.1



Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
D7	Left Wall	16%	Firm	A moisture probe was made at the left wall. The substrate was firm and no damage was noted at this time.
H7	Right Wall	17%	Firm	A moisture probe was made at the right wall. The substrate was firm and no damage was noted at this time.
E7	Bottom Wall	18%	Firm	A moisture probe was made at the bottom wall. The substrate was firm and no damage was noted at this time.
F7	Bottom Wall	18%	Firm	A moisture probe was made at the bottom wall. The substrate was firm and no damage was noted at this time.
G7	Bottom Wall	17%	Firm	A moisture probe was made at the bottom wall. The substrate was firm and no damage was noted at this time.



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Photo10.1



Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
E6	Window Lower Left	20%	Firm	A moisture probe was made at the window lower left. An elevated moisture reading was noted with a firm substrate.
F6	Window Lower Left	21%	Firm	A moisture probe was made at the window lower left. An elevated moisture reading was noted with a firm substrate.
G6	Window Lower Left	20%	Firm	A moisture probe was made at the window lower left. An elevated moisture reading was noted with a firm substrate.
D5	Left Wall	16%	Firm	A moisture probe was made at the left wall. The substrate was firm and no damage was noted at this time.
G5	Right Wall	15%	Firm	A moisture probe was made at the right wall. The substrate was firm and no damage was noted at this time.



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Photo11.1



Photo11.2



Penetrations / Seal

Photo11.3



Penetrations / Seal

Photo11.4



Penetrations / Seal

Photo11.5



Penetrations / Seal

Photo11.6



Penetrations / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Yellow Arrows	Penetrations			The penetration sealants are aged. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #11.2, #11.3, #11.4, #11.5 and #11.6 for more detail.



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Photo12.1



Photo12.2



Windows / Seal

Photo12.3



Windows / Seal

Photo12.4



Windows / Seal

Photo12.5



Windows / Seal

Photo12.6



Windows / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrow	Window Sealants			The window sealants are thin and aged. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #12.2, #12.3, #12.4 #12.5 and #12.6 for more detail.



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Photo13.1

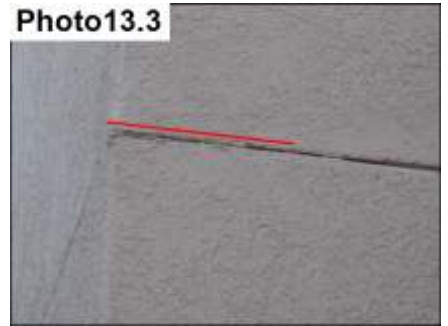


Photo13.2



Crack Noted / Seal Or Repair As Needed

Photo13.3



Crack Noted / Seal Or Repair As Needed

Photo13.4



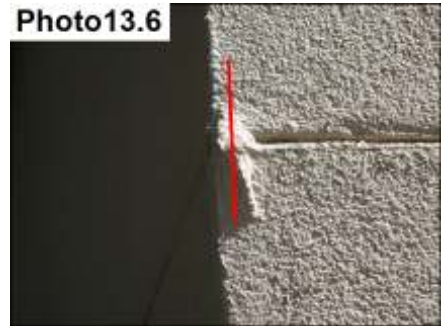
Crack Noted / Seal Or Repair As Needed

Photo13.5



Crack Noted / Seal Or Repair As Needed

Photo13.6



Crack Noted / Seal Or Repair As Needed

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Line	Control Joint Crack			Cracks are noted at these locations. The inspector suggests to have a qualified stucco waterproofing contractor further assess and seal or repair as needed to prevent moisture intrusion. Please refer to photos #13.2 , #13.3, #13.4, #13.5 and #13.6 for more detail.

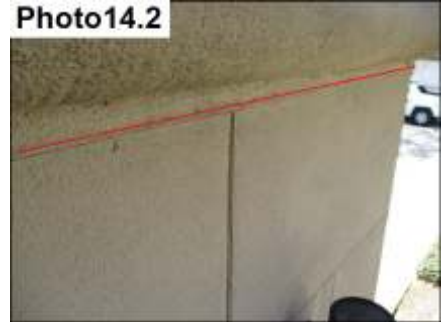


Lone Star Stucco, LLC

Photo14.1

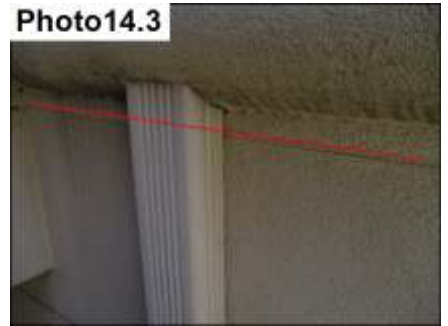


Photo14.2



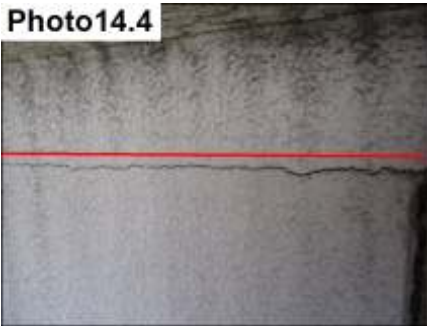
Crack Noted / Seal Or Repair As Needed

Photo14.3



Crack Noted / Seal Or Repair As Needed

Photo14.4



Crack Noted / Seal Or Repair As Needed

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Line	Crack			Cracks are noted at these locations. The inspector suggests to have a qualified stucco waterproofing contractor further assess and seal or repair as needed to prevent moisture intrusion. Please refer to photos #14.2 , #14.3 and #14.4 for more detail.



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Photo15.1

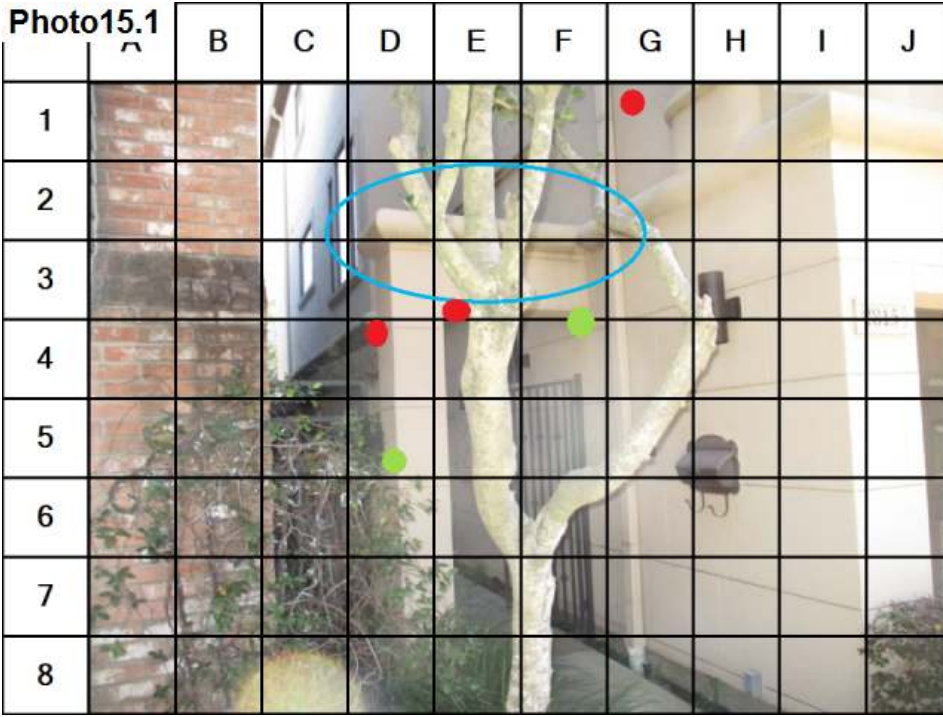


Photo15.2



Flat Accent / Elastomeric Paint Or A Metal Cap

Photo15.3



Flat Accent / Elastomeric Paint Or A Metal Cap

Photo15.4



Flat Accent / Elastomeric Paint Or A Metal Cap

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Blue Circle	Flat Accent			The entryway has a flat accent. It is recommended that a qualified waterproofing contractor further assess and either apply elastomeric paint or install a metal cap to prevent moisture intrusion. Please refer to photos #15.2, #15.3 and #15.4 for more detail.
D5	Left Entry Wall	17%	Firm	A moisture probe was made at the left entry wall. The substrate was firm and no damage was noted at this time.
D4	Bottom Entry Wall	21%	Firm	A moisture probe was made at the bottom entry wall. An elevated moisture reading was noted with a firm substrate.
E3	Bottom Entry Wall	23%	Firm	A moisture probe was made at the bottom entry wall. An elevated moisture reading was noted with a firm substrate.
F4	Bottom Entry Wall	18%	Firm	A moisture probe was made at the bottom entry wall. The substrate was firm and no damage was noted at this time.
G1	Wall Below Roof Diverter Flashing	20%	Firm	A moisture probe was made at the bottom entry wall. An elevated moisture reading was noted with a firm substrate.

"Your Local Moisture & Mold Consultant Specialist"



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Photo16.1



Photo16.2



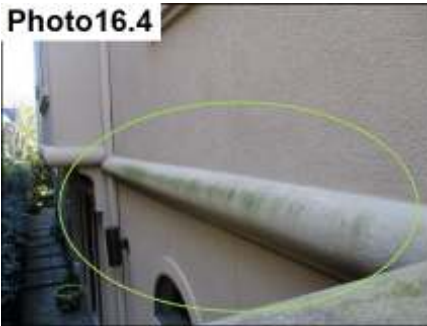
Mildew / Clean

Photo16.3



Mildew / Clean

Photo16.4



Mildew / Clean

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Circle	Mildew Clean			Mildew is noted at this location. The inspector suggests to have a qualified stucco waterproofing contractor clean this area. Please refer to photos #16.2, #16.3 and #16.4 for more detail.



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Photo17.1



Photo17.2



Rusted Pilaster Stop / Repair As Needed

Photo17.3



Rusted Pilaster Stop / Repair As Needed

Photo17.4



Rusted Pilaster Stop / Repair As Needed

Photo17.5



Rusted Pilaster Stop / Repair As Needed

Photo17.6



Rusted Pilaster Stop / Repair As Needed

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Line	Rusted Pilaster Stop			The casing bead is rusted and broken. The inspector suggests to have a qualified stucco waterproofing contractor assess and repair this area was needed. Please refer to photos #17.2, #17.3, #17.4, #17.5 and #17.6 for more detail.



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Photo18.1



Photo18.2



Door Trim / Seal

Photo18.3



Door Trim / Seal

Photo18.4



Door Trim / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Arrow	Door Trim			The door sealants are aged and separated. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #18.2, #18.3 and #18.4 for more detail.



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Photo19.1



Photo19.2



Wood Rot / Repair

Photo19.3



Wood Rot / Repair

Photo19.4



Stucco Termination / Kant Bead

Photo19.5



Stucco Termination / Kant Bead

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Wood Rot			Wood rot is noted at the door trim. The inspector suggests to have a qualified stucco waterproofing contractor repair this area. Please refer to photos #19.2 and #19.3 for more detail
Red Lines	Stucco Termination			The raised pavers and stucco termination is in close proximity. The inspector suggests to have a qualified stucco waterproofing contractor apply a kant bead to this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #19.4 and #19.5 for more detail.



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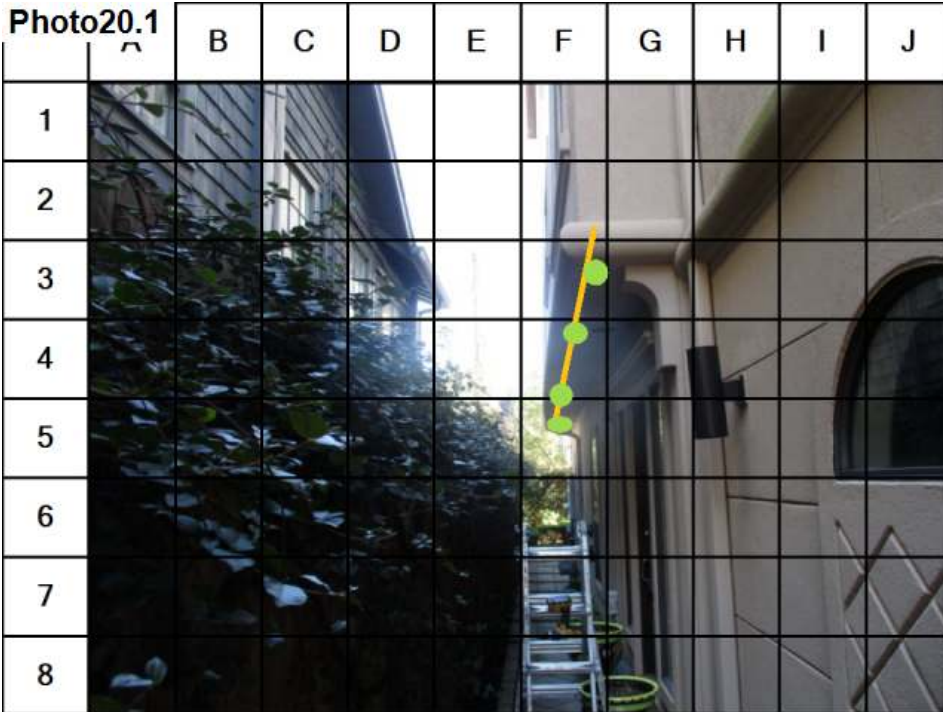


Photo20.2
Bumpout Wall / No Modification

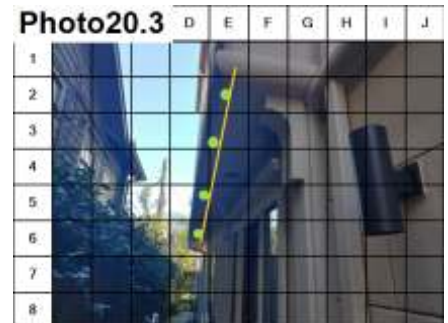


Photo20.3
Bumpout Wall / No Modification

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Orange Line	Bumpout Wall			The bottom of the wall does not have a relief, but the substrate is firm with no elevated moisture. The inspector suggests no modification at this time. Please refer to photos #20.2 and #20.3 for more detail.
F3	Bottom Wall	16%	Firm	A moisture probe was made at the bottom wall. The substrate was firm and no damage was noted at this time.
F4	Bottom Wall	15%	Firm	A moisture probe was made at the bottom wall. The substrate was firm and no damage was noted at this time.
F 4/5	Bottom Wall	16%	Firm	A moisture probe was made at the bottom wall. The substrate was firm and no damage was noted at this time.
F5	Bottom Wall	18%	Firm	A moisture probe was made at the bottom wall. The substrate was firm and no damage was noted at this time.



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Photo21.1



Photo21.2



Penetrations / Seal

Photo21.3



Penetrations / Seal

Photo21.4

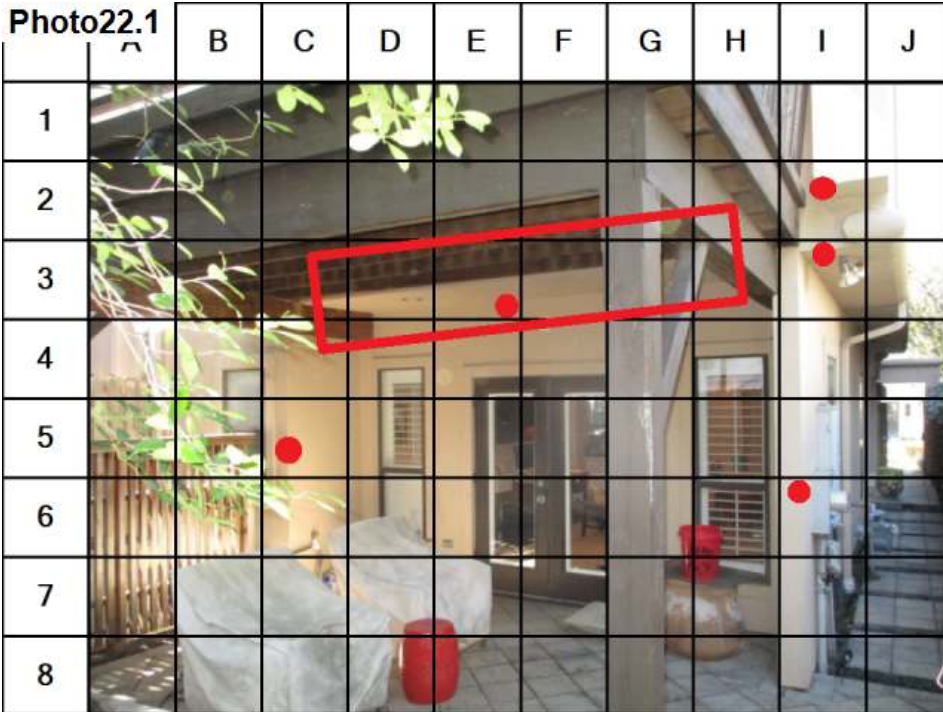


Penetrations / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Yellow Lines	Penetrations			The penetration sealants are aged. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #21.2, #21.3 and #21.4 for more detail.



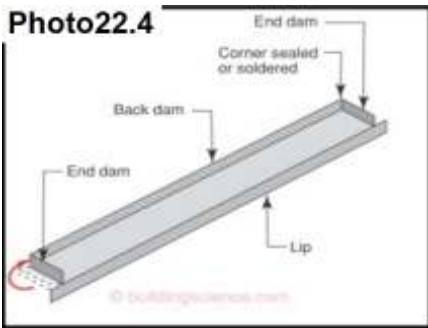
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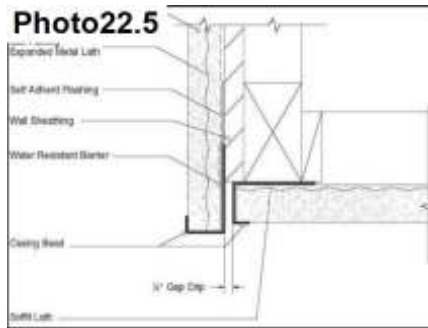
Substrate Damage / Repair



Substrate Damage / Repair



Proper Detail



Proper Detail

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Substrate & Potential Framing Damage			The bottom of the wall below the door pan flashing is damaged. The inspector recommends a qualified waterproofing contractor further assess and repair and install a relief as needed. Please refer to photos #22.2, #22.3, #22.4 and #22.6 for more detail.
I6	Pilaster Wall	20%	Semi-Firm	A moisture probe was made at the pilaster wall. An elevated moisture reading was noted with a semi-firm substrate.
I3	Bottom Wall	21%	Semi-Firm	A moisture probe was made at the bottom wall. An elevated moisture reading was noted with a semi-firm substrate.
I2	Bottom Wall	22%	Semi-Firm	A moisture probe was made at the bottom wall. An elevated moisture reading was noted with a semi-firm substrate.
E3	Bottom Wall Below Door Threshold		None	A moisture probe was made at the bottom wall below the door threshold. No substrate was noted, modify as needed.
C5	Left Wall	21%	Firm	A moisture probe was made at the left wall. An elevated moisture reading was noted with a firm substrate.

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Photo23.1

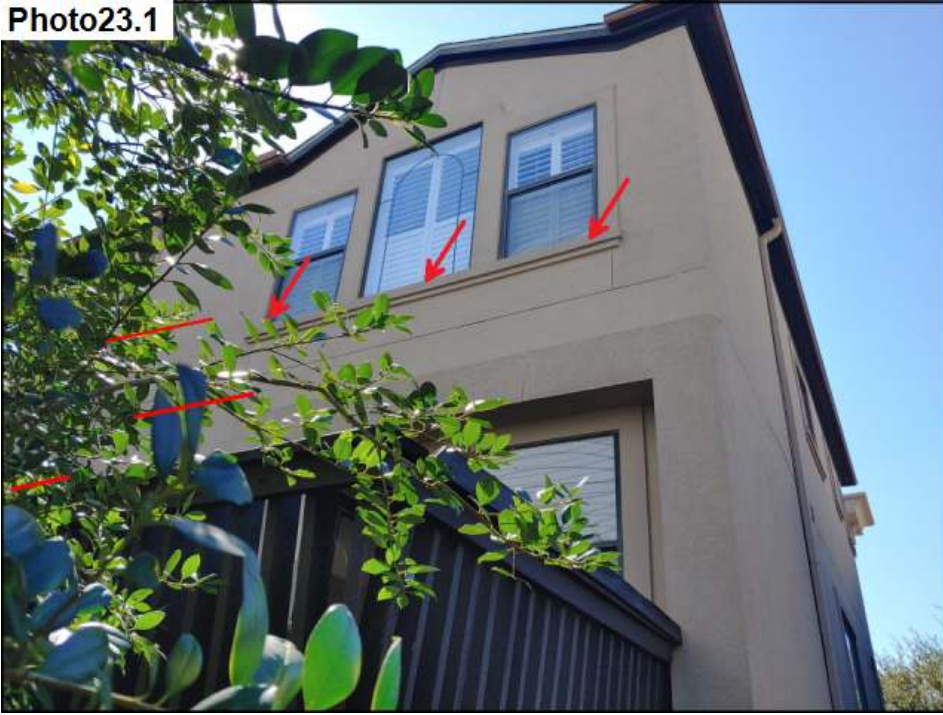
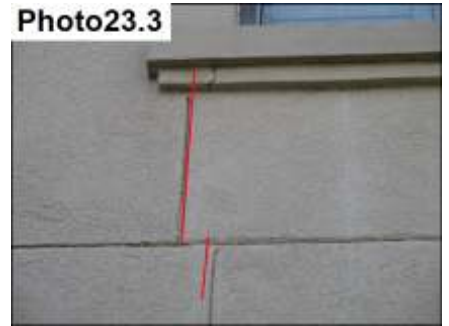


Photo23.2



Cracks / Assess & Seal As Needed

Photo23.3



Cracks / Assess & Seal As Needed

Photo23.4



Cracks / Assess & Seal As Needed

Photo23.5



Window Sealants / Seal

Photo23.6



Window Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Lines	Cracks			Cracks are noted at these locations. The inspector suggests to have a qualified stucco waterproofing contractor further assess and seal or repair as needed to prevent moisture intrusion. Please refer to photos #23.2 , #23.3 and #23.4 for more detail.
Red Arrows	Window Sealants			The window sealants are thin and aged. The inspector suggests to have a qualified stucco waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #23.5 and #23.6 for more detail.



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Photo24.1

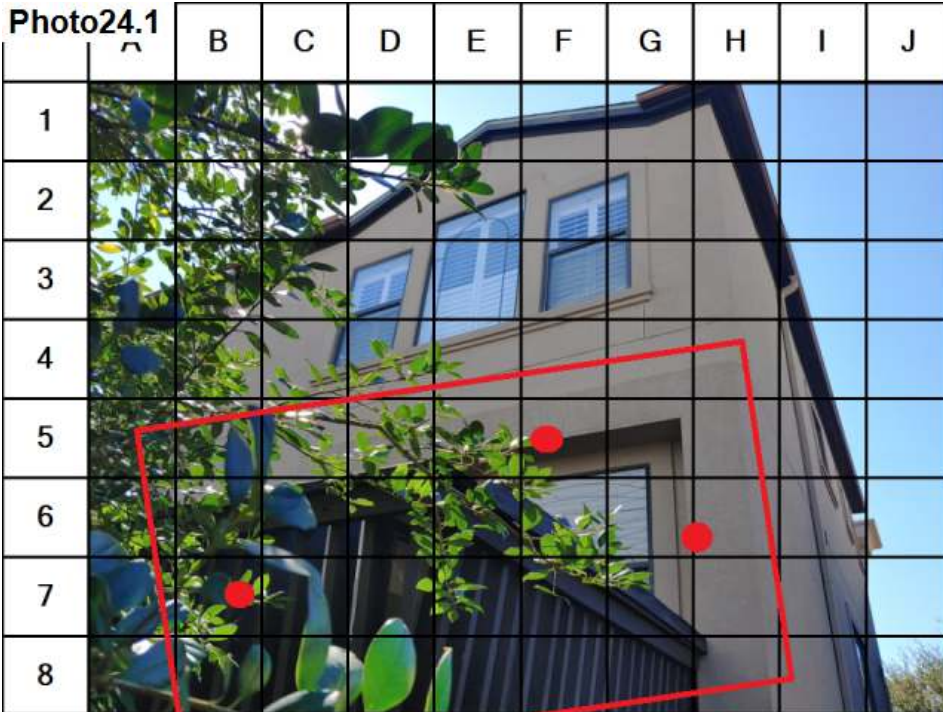


Photo24.2



Substrate Damage / Repair

Photo24.3



Substrate Damage / Repair

Photo24.4



Substrate Damage / Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Substrate Damage			The accent wall below the angled accent is cracked and damaged. The inspector recommends a qualified waterproofing contractor further assess and repair as needed to prevent moisture intrusion. Please refer to photos #24.2, #24.3 and #24.4 for more detail.
B7	Left Wall		None	A moisture probe was made at the left wall. No substrate was noted, modify as needed.
F5	Bottom Wall		None	A moisture probe was made at the bottom wall. No substrate was noted, modify as needed.
G/H 6	Right Wall	28%	Semi-Firm	A moisture probe was made at the right wall. An elevated moisture reading was noted with a semi-firm substrate.