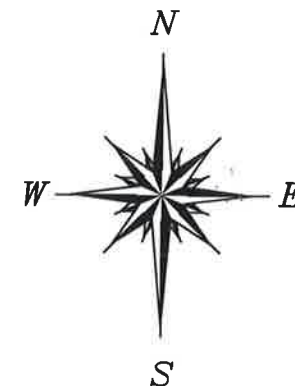


WALDEN ROAD
(100' R.O.W.)
edge of road



**BOUNDARY & IMPROVEMENT
SURVEY**
FOR: JOEL STELLY
12613 WALDEN ROAD
MONTGOMERY, TEXAS 77356

BEING ALL OF LOT 44, BLOCK 30 OF WALDEN ON LAKE CONROE, SECTION 8A, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET B, SHEET 184A OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS.

Record data as shown hereon was fully relied upon and taken from a Commitment for Title Insurance issued by the following qualified provider:
First American Title
G.F. No. 2363292-H043
Effective date: 10/24/2018

The Subject Tract(s) as shown hereon may be subject to the following restrictive covenants of record:

Subject to applicable restrictive covenants listed under Items 10(a) & 10 of SCHEDULE B of said Title Commitment.

1) Those as per Cab. B, Sheet 184A, M.C.M.R.

-Survey valid only when print has original signature of surveyor on it. Declaration is made to original purchaser of this survey. It is not transferable to additional or subsequent owners.

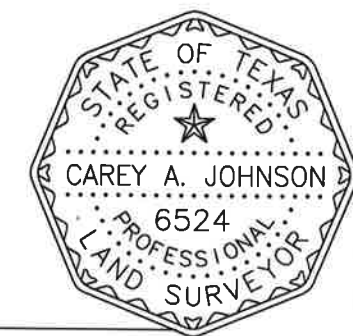
-Surveyor has not performed a complete abstract of subject property and does not certify to easements or restrictions not shown. Check with your local governing agencies for any additional easements, building lines, or other restrictions not reflected on recorded documents.

Subject property shown hereon is located in Zone X, and does not appear to lie within the 100-year flood plain, according to the F.E.M.A. Flood Insurance Rate Map, Community Panel 48339C 0225 G, effective 08/18/14.

Information is based on graphic plotting only. Surveyor assumes no responsibility or liability for exact determination.

I hereby certify that this survey was made on the ground under my supervision and that this survey meets the minimum standards of practice as approved by the Texas Board of Professional Land Surveying.

Date of Survey: 11/09/18 MP



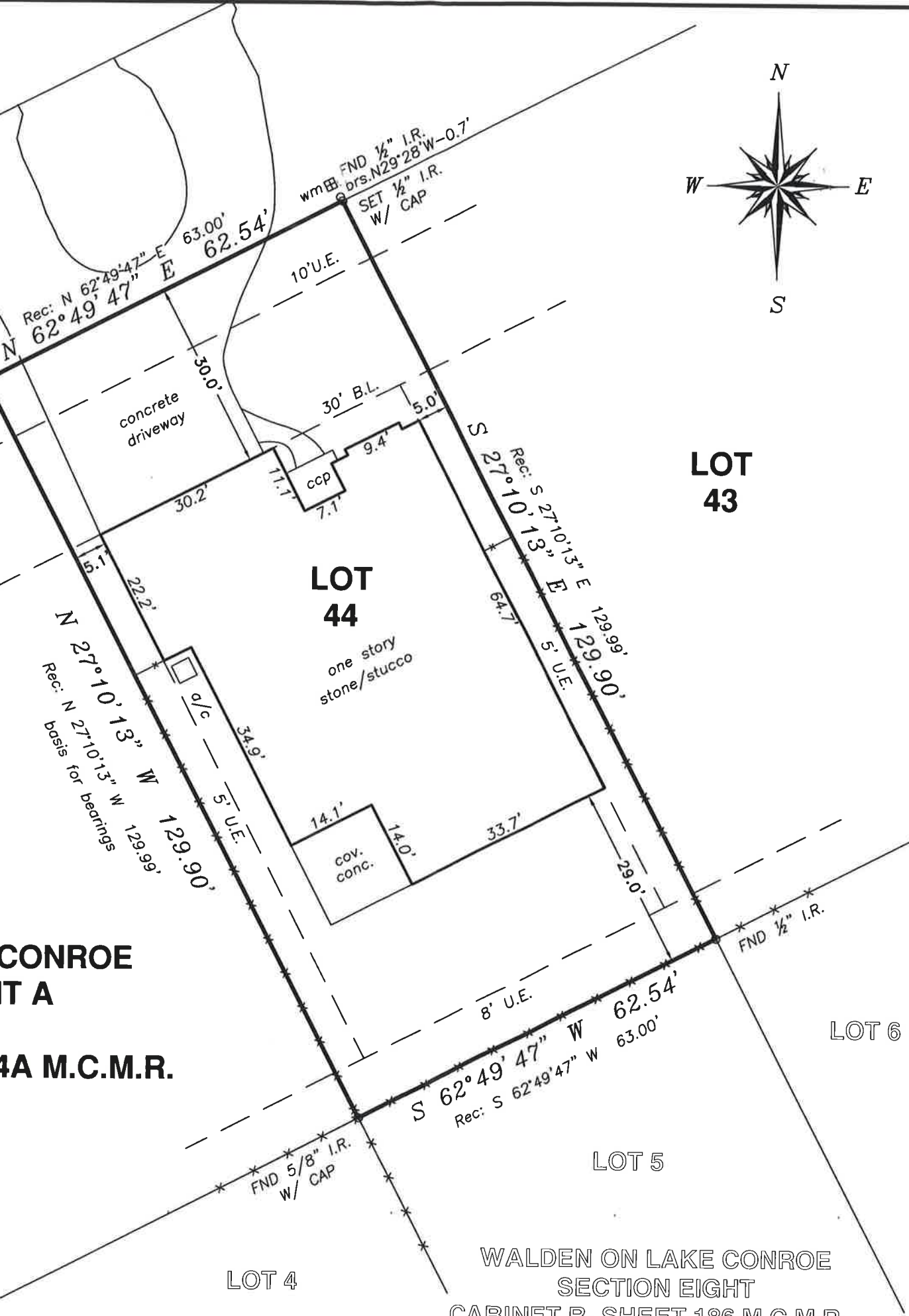
Carey A. Johnson
Registered Professional Land Surveyor No. 6524

LEGEND

- x x x x x ---
fence line
- o/h util. line(s)
- wm = water meter
- mh = manhole
- cbl. = cable tv box
- tel. = telephone box
- elec. = electric box
- pp = power pole
- ea = edge of asphalt
- rec. = record call
- B.L. = building line
- U.E. = utility easement
- D.E. = drainage easement
- M.C.D.R. = Montgomery County Deed Records
- M.C.M.R. = Montgomery County Map Records
- OPRMCT = Official Public Records Montgomery County
- RPRMCT = Real Property Records Montgomery County

LOT 45

**WALDEN ON LAKE CONROE
SECTION EIGHT A
BLOCK 30
CABINET B, SHEET 184A M.C.M.R.**



TEXAS
PROFESSIONAL SURVEYING, LLC
3032 N. FRAZIER STREET - CONROE, TX 77303
PH (936)756-7447 - FAX (936)756-7448
www.surveyingtexas.com
FIRM REGISTRATION No. 100834-00

PROJECT NO. F127-406	Key Map 124V	DRAWING DATE: 11/12/18 REVISED: DRAWN BY: CDF
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LOT 4

LOT 5

WALDEN ON LAKE CONROE
SECTION EIGHT
CABINET B, SHEET 186 M.C.M.R.