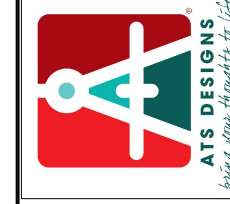




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PROPOSED REMODEL & ADDITION  
**KB&J Investments LLC**  
4418 Noble Street  
Houston, Texas

77020

REVISION

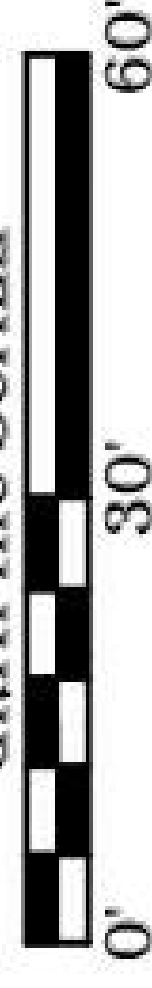
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PROPOSED ADDITION

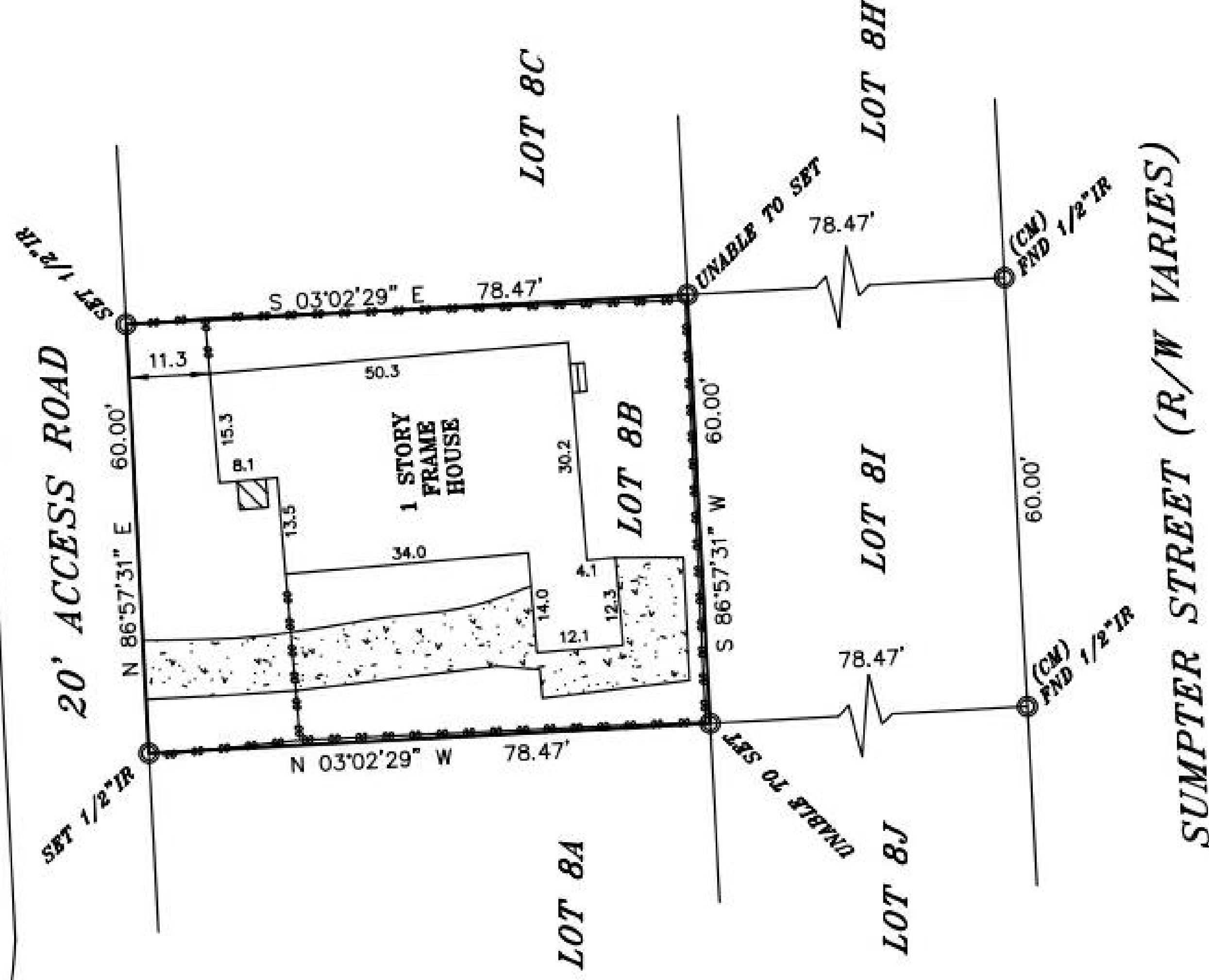
ADDRESS: 4418 NOBLE STREET, HOUSTON, TX 77020

- LEGEND**
- IRON ROD
  - UTILITY EASEMENT
  - BUILDING LINE
  - WOOD FENCE
  - WOOD FENCE
  - WIRE FENCE
  - CHAIN LINK FENCE
  - GARAGE BUILDING LINE
  - WATER LINE EASEMENT
  - COVERED AREA
  - CONCRETE
  - WOOD
  - CONTROL MONUMENT
  - (CM)

GRAPHIC SCALE



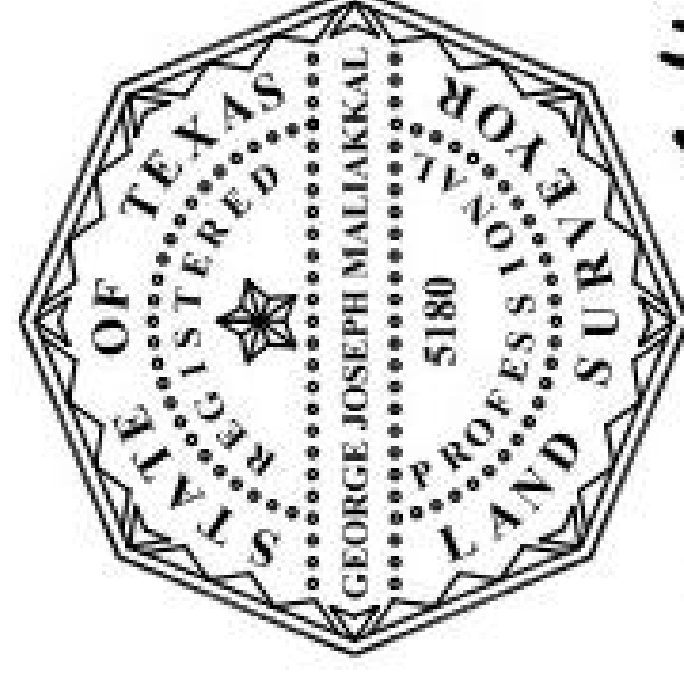
NOBLE STREET (60' R/W)



**LEGAL DESCRIPTION**  
 TRACT 8B, OUT OF AND BEING PART OF THE 1.5 ACRES, MORE OR LESS, OUT OF THE EASTERN PORTION OF LOT 10 IN THE SECOND TIER OF LOTS NORTH OF BUFFALO BAYOU IN THE HARRIS AND WILSON TWO LEAGUE GRANT, ABSTRACT NO. 32, IN HARRIS COUNTY, TEXAS, SAID 1.5 ACRE TRACT WAS CONVEYED BY G.C. EVANS TO WILLIE AND ALFREDIA HARRIS BY INSTRUMENT RECORDED IN VOLUME 1470, PAGE 194 OF THE DEED RECORDS OF HARRIS COUNTY, TEXAS.



ELEVATION EXPRESS LAND SURVEYS  
 FIRM NO. 10191800  
 WWW.ELEVATIONEXPRESSLANDSURVEYS.COM  
 1450 W. GRAND PARKWAY SOUTH  
 SUITE G-158  
 KATY, TX 77494  
 281-474-5685



*George Malarkal*

I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, IS CORRECT AND THERE ARE NO ENCROACHMENTS EXCEPT SHOWN, AS WAS DONE BY ME OR UNDER MY SUPERVISION, AND CONFORMS TO OR EXCEEDS THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING.

BUYER: GOLD COAST EQUITY, LLC  
 JOB# 2110041  
 GF# 11/212666CA  
 DATE 10/14/2021

-ALL BEARINGS ARE BASED ON THE MAP OR PLAT OF RECORD. IF THE SUBJECT PROPERTIES LIES IN A RECORDED SUBDIVISION OF SAID COUNTY MENTIONED IN LEGAL DESCRIPTION, IN THE CASE WHERE A LEGAL DESCRIPTION MENTIONS NO RECORDED PLAT OR HAS ATTACHED METES AND BOUNDS ALL BEARINGS ARE BASED ON TEXAS SOUTH CENTRAL GPS COORDINATE SYSTEM 4204, (NAVDS83, 2001 DATUM).

-THIS SURVEY IS CERTIFIED FOR THE TRANSACTION ONLY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNER.

-SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS, DEEDS, RESTRICTIONS OR BUILDING LINES THAT MAY APPLY TO SUBJECT PROPERTY. NO ASSESSMENT WAS DONE FOR THE EASEMENTS OR RESTRICTIONS BY ELEVATION EXPRESS. EASEMENTS OR RESTRICTIONS SHOWN ON SURVEY ARE RELATED TO EASEMENTS OR RESTRICTIONS, EASEMENTS SHOWN ON SURVEY ARE RELATED TO NOTES FROM OR SHOWN ON A RECORDED PLAT OF LEGAL DESCRIPTION AND/OR ARE MENTIONED IN SCHEDULE "B" OF PROVIDED TITLE COMMITMENT.

Any reference to the 100 year flood plain of flood hazard zone are an estimate based on the data shown on the Flood Insurance Rate Map provided by FEMA, and should not be interpreted as a study or determination of the flooding probabilities of this property. According to the Flood Insurance Rate Map for HARRIS COUNTY, Dated 1/6/2017, No. 48201C, DESIGN, the property described lies within "ZONE X" of the 100 yr. flood. Flood information is based on graphic plotting only due to inherent inaccuracies on FEMA maps, we can not assume responsibility for exact determination.



20211117-159

C1

SURVEY

SCALE: 1/4" = 1' - 0"

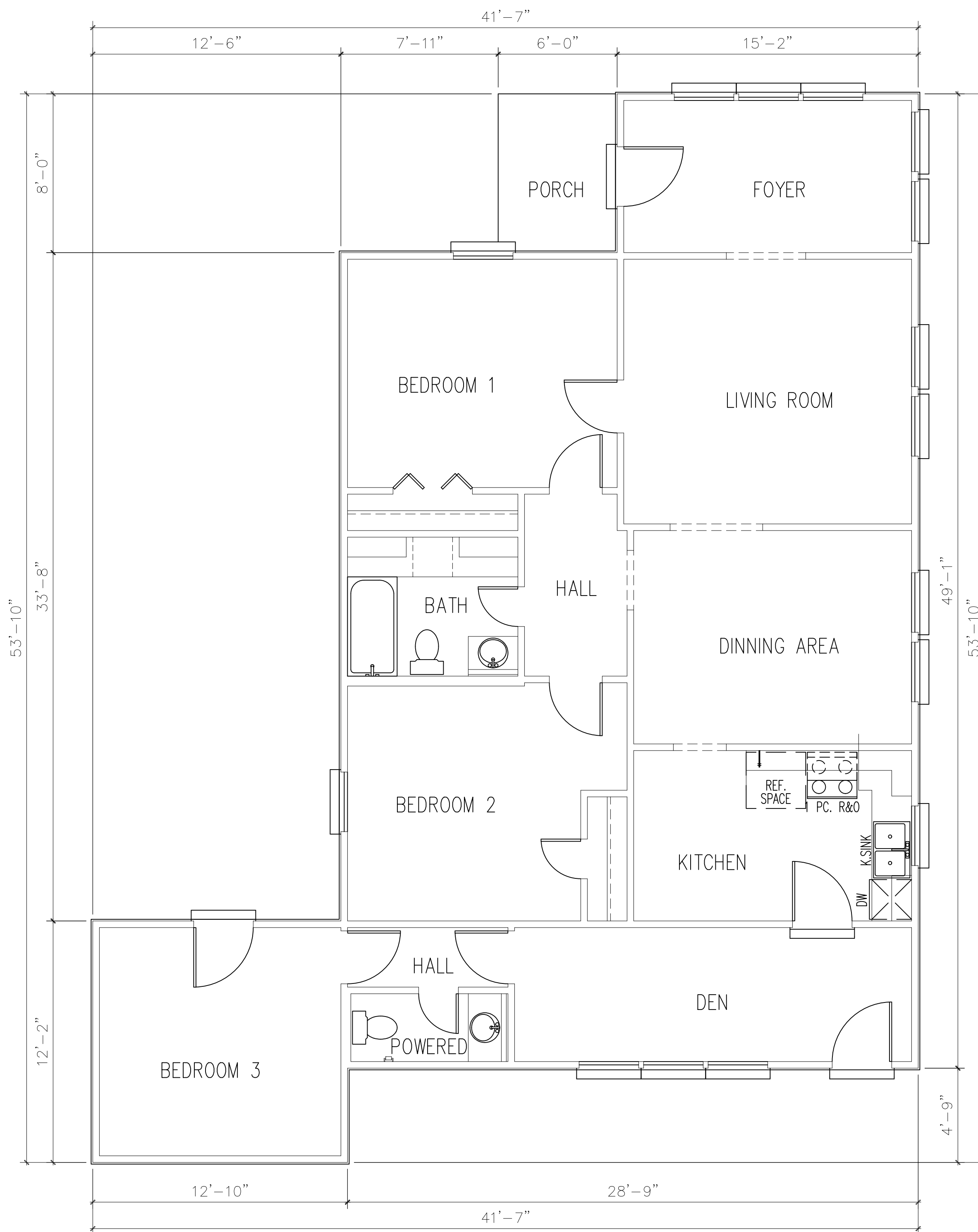
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DESIGNED: AT5  
 DRAWN: AT5  
 CHECKED: CG  
 DATE: 11/29/2021  
 REL. FOR CONST. 20211115-158

PROPOSED REMODEL & ADDITION  
 KB&J Investments LLC  
 4418 Noble Street  
 Houston, Texas

77020

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### GENERAL NOTES & SPECIFICATIONS

- DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS SHOWN ON DRAWINGS
- VERIFY ALL DIMENSIONS @ JOB SITE AND FROM ARCHITECTS PLAN AND REPORT ANY DESCREPARNCIES TO THE ARCHITECT.
- ALL WORK SHALL BE PERFORMED PER APPLICABLE CODES AND ORDINANCES.
- CMU BLOCK PEAIRS WILL MATCH EXISTING CMU BLOCK AND HEIGHT.
- ALL ROOF PENETRATIONS SHALL BE COMPATIBLE WITH EXISTING ROOFING SYSTEM.
- ALL FOUNDATION OR FLOORING SYSTEMS SHALL BE COMPATIBLE WITH EXISTING SYSTEMS.
- PAINTING SHALL BE:
  - LATEX ON GYPSUM BOARD - ONE COAT TINTED LATEX WITH TEXTURE EMULSION, ONE COAT LATEX.
  - ENAMEL ON GYPSUM BOARD - ONE COAT TINTED ENAMEL PRIMER WITH TEXTURE EMULSION, ONE COAT SEMI-GLOSS ENAMEL.

### NEW AREA CALCULATION

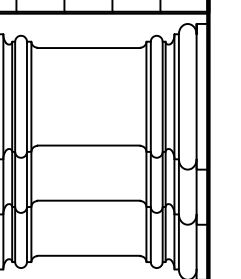
EXISTING LIVING AREA	2,480 SQ.FT.
EXISTING FRONT PORCH	74 SQ.FT.
EXISTING REAR PORCH	211 SQ.FT.
EXISTING CARPORT	541 SQ.FT.
EXISTING TOTAL LIVING AREA	2,480 SQ.FT.
EXISTING TOTAL COVERED AREA	3,306 SQ.FT.

## EXISTING FLOOR LAYOUT

SCALE: 1/4" = 1' - 0"

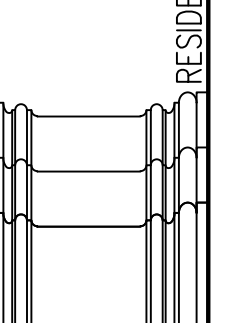
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT AND DOES NOT INCLUDE THE DESIGN OF STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE ACTIONS OF ANY CONTRACTORS OR SUBCONTRACTORS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT AND DOES NOT INCLUDE THE DESIGN OF STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING SYSTEMS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE ACTIONS OF ANY CONTRACTORS OR SUBCONTRACTORS.

REVISION	DATE	BY



77020

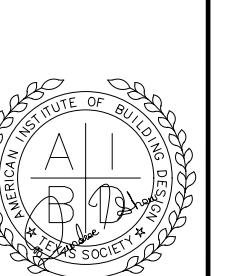
PROPOSED REMODEL & ADDITION  
**KB&J Investments LLC**  
 4418 Noble Street  
 Houston, Texas



DESIGNED	AT&S
DRAWN	AT&S
CHECKED	CG
DATE	11/29/2021
REL FOR CONST.	20211115-158

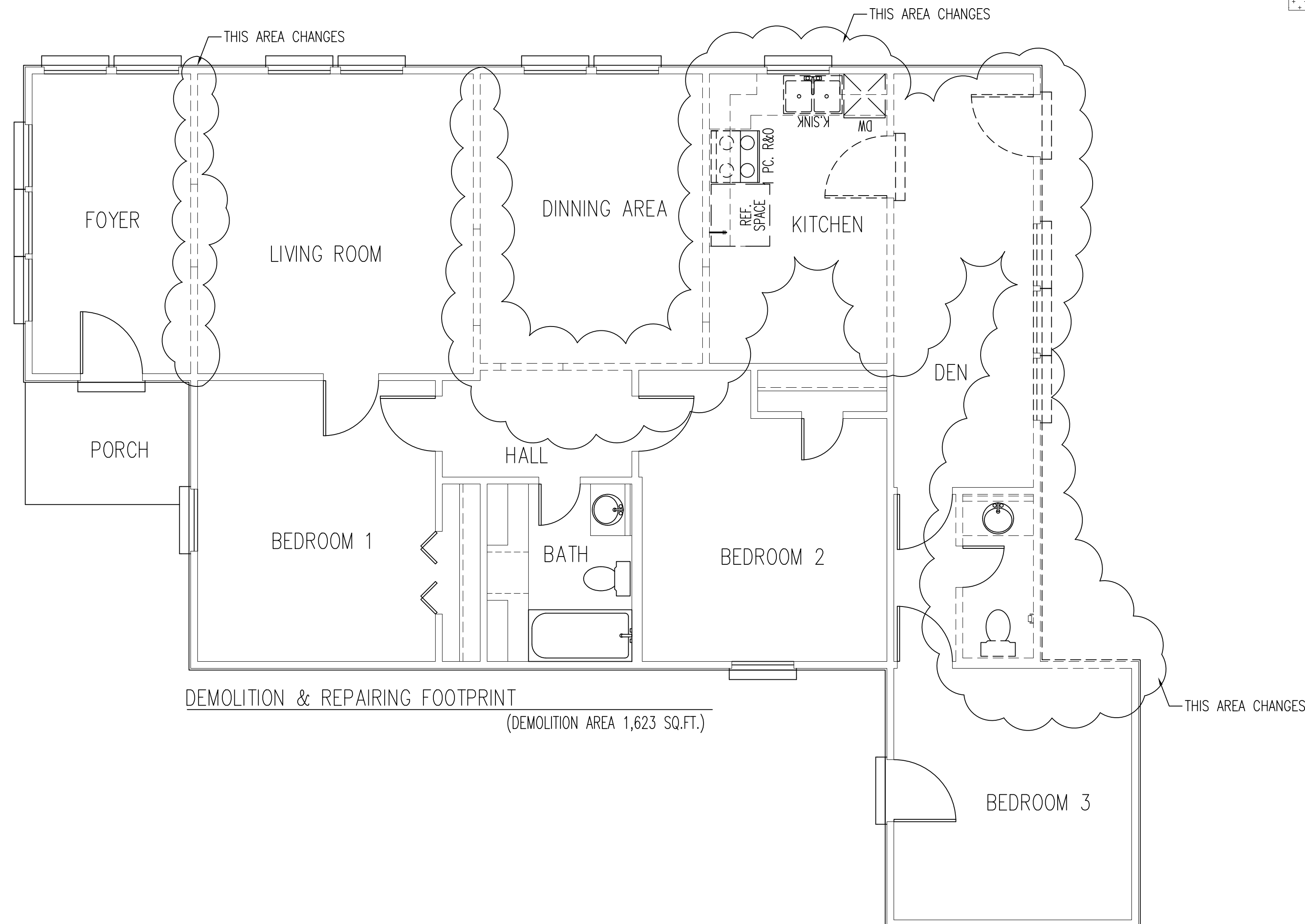
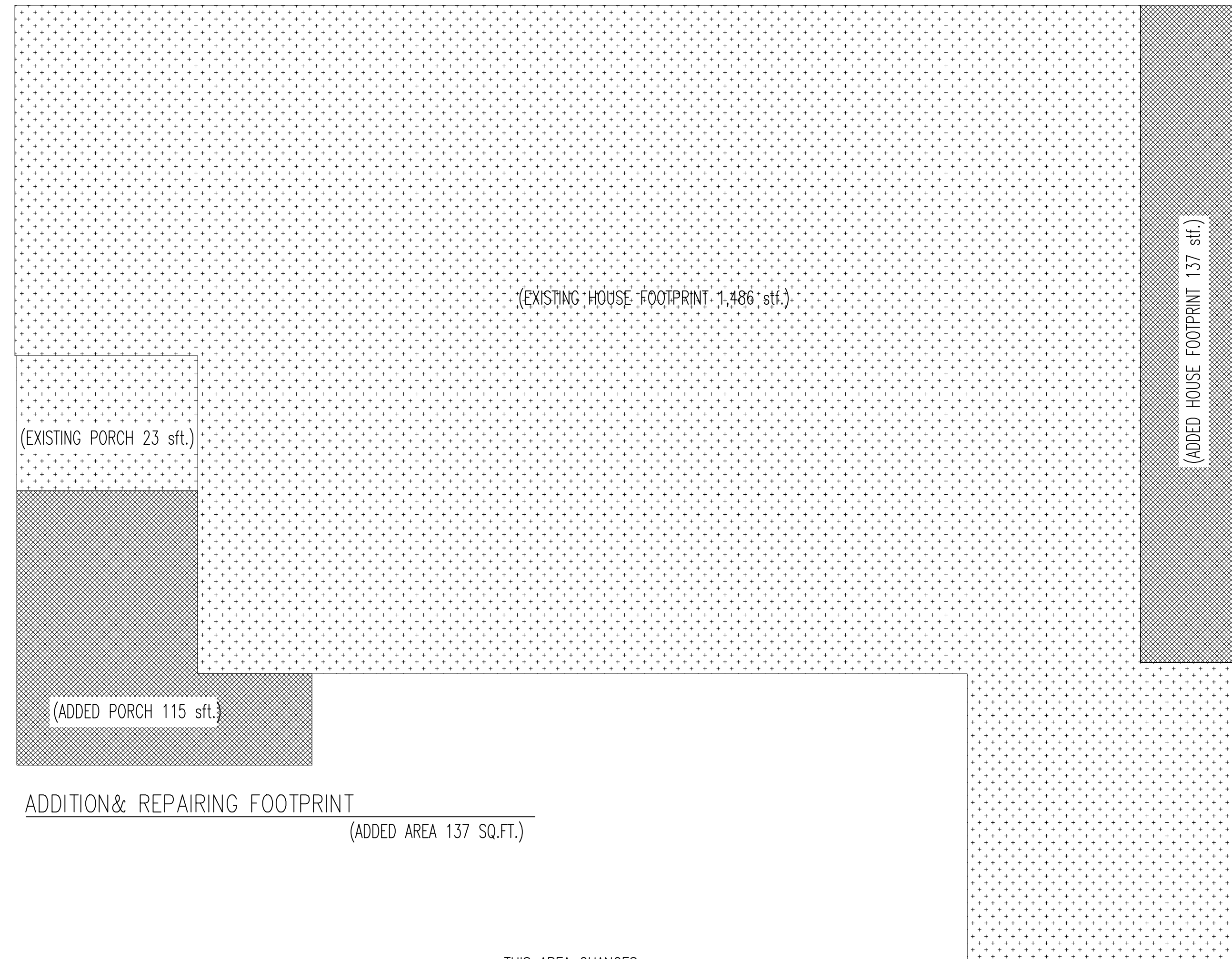
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### DEMOLITION GENERAL NOTES:

1. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO DEMOLITION OF ANY WALL OR ITEM.
2. ADEQUATELY BRACE ALL STRUCTURAL ITEMS WHICH ARE TO REMAIN PRIOR TO DEMOLITION OF REQUIRED ITEMS.
3. DEMOLISH OR MODIFY EXISTING ITEMS AS REQUIRED TO ACCEPT NEW CONSTRUCTION OR ITEMS. PATCH TO MATCH ADJACENT SURFACES.
4. ALL ITEMS REMOVED DURING DEMOLITION, UNLESS OTHERWISE DIRECTED BY OWNER, SHALL BE REMOVED FROM PROPERTY AND PROPERLY DISPOSED OF.
5. BUILDER SHALL PROPERLY PROTECT OWNER FROM THE EFFECTS OF DEMOLITION, I.E. DUST, SECURITY, WEATHER, PLANTS, SPRINKLER SYSTEMS, ETC.
6. CONDUCT DEMOLITION OPERATION AND REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH STREETS AND ADJACENT PROPERTIES.
7. OWNER MAINTAINS NO LIABILITY FOR MATERIAL REMOVED AND DISPOSED OF FROM THIS PROJECT.
8. AREAS WHERE DEMOLITION OCCURRED ARE TO BE SWEEP CLEAN OF ALL DEBRIS.
9. ALL REMOVED BRICK IS TO BE SALVAGED, CLEANED AND STACKED NEATLY ON SITE.
10. ALL REMOVED UTILITIES ARE TO BE CAPPED PER LOCAL CODES.
11. EMPLOY A CERTIFIED EXTERMINATOR AND TREAT THE ENTIRE BUILDING FOR INSECT AND RODENT CONTROL AFTER DEMOLITION IN ACCORDANCE WITH GOVERNING HEALTH REGULATIONS.
12. EXISTING BRICK CLEAN & PREP FOR REUSE. EXISTING BRICK WILL COVER REAR PORTION OF HOUSE, DEMO WITH CARE WITH IN MIND OF REUSE.

### GENERAL NOTES & SPECIFICATIONS

1. DO NOT SCALE DRAWINGS, USE GIVEN DIMENSIONS SHOWN ON DRAWINGS.
2. VERIFY ALL DIMENSIONS @ JOB SITE AND FROM ARCHITECTS PLAN AND REPORT ANY DESCREPARNCIES TO THE ARCHITECT.
3. ALL WORK SHALL BE PERFORMED PER APPLICABLE CODES AND ORDINANCES.
4. CMU BLOCK PEARS WILL MATCH EXISTING CMU BLOCK AND HEIGHT.
5. ALL ROOF PENETRATIONS SHALL BE COMPATIBLE WITH EXISTING ROOFING SYSTEM.
6. ALL FOUNDATION OR FLOORING SYSTEMS SHALL BE COMPATIBLE WITH EXISTING SYSTEMS.
7. PAINTING SHALL BE:
  - a) LATEX ON GYPSUM BOARD - ONE COAT TINTED LATEX WITH TEXTURE EMULSION, ONE COAT LATEX.
  - b) ENAMEL ON GYPSUM BOARD - ONE COAT TINTED ENAMEL PRIMER WITH TEXTURE EMULSION, ONE COAT SEMI-GLOSS ENAMEL.

### DEMOLITION PLAN LEGEND

	EXISTING TO REMAIN
	TO BE REMOVED
	EXISTING TO REMAIN
	TO BE REMOVED
	REMAIN & REPAIR AREA
	ADDED LIVING AREA

NEW AREA CALCULATION	
EXISTING LIVING AREA	1,486 SQ.FT.
EXISTING FRONT PORCH	23 SQ.FT.
ADDED LIVING AREA	137 SQ.FT.
ADDED FRONT PORCH	115 SQ.FT.
NEW TOTAL LIVING AREA	1,623 SQ.FT.
NEW TOTAL UNDER ROOF	1,761 SQ.FT.

### ADDITION, DEMOLITION & REPAIRING FOOTPRINT

SCALE: N/A" = 1' - 0"

PROPOSED REMODEL & ADDITION  
**KB&J Investments LLC**  
 4418 Noble Street  
 Houston, Texas 77020  
 RESIDENTIAL

DESIGNED: ATS  
 DRAWN: ATS  
 CHECKED: CG  
 DATE: 11/29/2021  
 REL. FOR CONST: 20211115-158

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### HANDRAIL & GUARDRAILS

Handrails and guardrails shall be designed for a minimum of 200 lb live load and single concentrated load applied in any direction at any point along the top of the rail.

### CITY OF HOUSTON GENERAL NOTES:

- All framing lumber to be #3 K.D. SYP
- All toe plates (downstairs only on multi-story home) to be wolmanized.
- All valleys, hips & ridge members to be minimum 2x8.
- All studs to be 16"o.c.
- Minimum 22" x 30" clear openings @ disappearing stair with 30" minimum clear head room above the access opening per Section 3205 (a). Rough opening to be 25 1/2" x 54".
- Water resistant sheetrock to ceiling @ all tub and showers. Recesses to conform with Section 1707 (a) & Section 2516 (k). See specifications for height and type of non-absorbent material over water resistant sheetrock to comply with Section 510 (b).
- Electric smoke detector @ all sleeping areas plus one @ hallway (HARDWARE WITH BATTERY BACKUP) Per Section 1210 (a).
- All exterior and bath receptacles to have ground fault interrupter.
- Insulation - see specifications for type. All insulation to have flame spread rating with the maximum of 25, and smoke developed rating with the maximum of 450 (per Section 1713).
- All firestopping, including furred spaces, to be of approved materials per Sections 2516 (f) 2A & 2516 (f) 3.
- All fasteners shall be corrosion resistant. Anchor ties of sheet metal shall have a minimum size of number 22 gauge By 1 Inch. Anchor ties of wire shall have a minimum of number 9 gauge (Section 3006 (d) ).
- Glass shower enclosure shall be made of approved tempered safety glass to comply with U.B.C. Section 5406.
- All glazing in hazardous locations subject to human impact shall be safety glazing that complies with Section 2406 and pass the requirements of U.B.C. Standard 24-2. This includes exterior doors and sidelights.

### UNLESS OTHERWISE NOTED

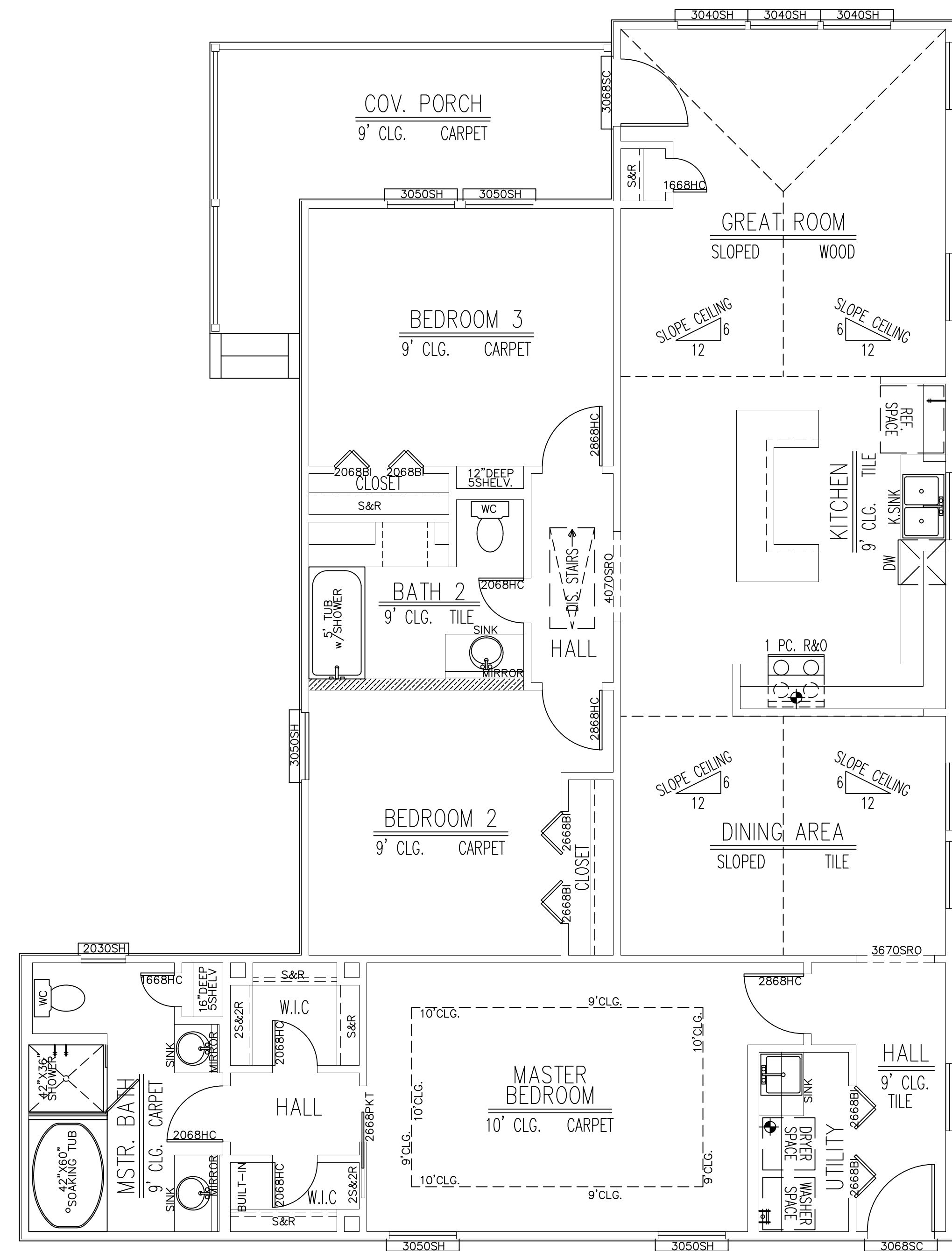
9'-0" CEILING HEIGHTS WITH 6'-8" WINDOW HEIGHTS.  
ALL ANGLES TO BE 45 DEGREES.  
CARPET FLOORS.  
SHEETROCK WALLS AND CEILINGS  
SINGLE HUNG, DOUBLE PANE, LOW E, VINYL WINDOWS.  
1-3/8" 6-PANEL INTERIOR DOORS X 6'-8" THROUGHOUT  
1-3/4" SOLID CORE EXTERIOR DOORS.  
SMOKE DETECTORS REQUIRE 110V. CONNECTION TO HOUSE WIRING.  
ALL FRAMING MATERIAL TO BE #2 KD 15 SOUTHERN YELLOW PINE.  
ALL STUDS TO BE STUD GRADE FIR.  
ALL BEAMS TO BE #2 KD SYP.  
ALL EXTERIOR WALLS AND MAIN PARTITIONS (LOAD BEARING) SHALL BE EFFECTIVELY BRACED AT EACH END, OR AS NEAR THERE TO AS POSSIBLE AND AT LEAST 25'-0" OF LENGTH AS SPECIFIED IN SECTION 2517 (C)-3.  
BEDROOM WINDOWS TO HAVE 5.7 SQUARE FEET NET FREE AREA WITH 20" WIDE AND 24" HIGH MINIMUM CLEAR OPENINGS, MAXIMUM 44" ABOVE FINISHED FLOOR.  
SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY TO UBC TABLE 25Q.  
ALL HEADER BEAMS TO BE 2-2X12 (#2)  
ATTIC ACCESSES ARE PROVIDED ON PLAN TO SERVICE MECHANICAL EQUIPMENT ONLY.

### BUILDING SECTION

ALL LOAD BEARING STUDS TO BE 16" O.C.  
ALL EXTERIOR WALLS AND MAIN CROSS-STUD PARTITIONS SHALL BE EFFECTIVELY BRACED AT EACH END, OR AS NEAR THERE TO AS POSSIBLE, AND AT LEAST EVERY 25' OF LENGTH (UBC #2517 g 3).  
PURLIN BRACES SHALL BE 45 DEGREES OR GREATER AND SHALL NOT EXCEED 8' IN LENGTH WITHOUT LATERAL SUPPORT OR STIFFER.  
ATTIC ACCESSES ARE PROVIDED ON PLAN TO SERVICE MECHANICAL EQUIPMENT AND LIMITED LIGHT STORAGE BUT IN NO CASE SHALL THE COMBINED DECKED AREAS EXCEED 500 SQUARE FEET.

### NEW AREA CALCULATION

EXISTING LIVING AREA	1,486 SQ.FT.
EXISTING FRONT PORCH	23 SQ.FT.
ADDED LIVING AREA	137 SQ.FT.
ADDED FRONT PORCH	115 SQ.FT.
NEW TOTAL LIVING AREA	1,623 SQ.FT.
NEW TOTAL UNDER ROOF	1,761 SQ.FT.



DESIGN & CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES, ORDINANCES, & SBC SECTIONS.

#### I. CODES & ORDINANCES

- INTERNATIONAL BUILDING CODE (2012 IRC)
- UNIFORM PLUMBING CODE (2012)
- UNIFORM MECHANICAL CODE (2012)
- UNIFORM GAS CODE (2015)
- NATIONAL ELECTRIC CODE (2017)
- ZONING ORDINANCE #1298 (W/ AMENDMENTS)
- CHAPTER 6 BUILDING REGULATIONS
- CHAPTER 17 PLUMBING & GAS REGULATIONS
- CHAPTER 8 ELECTRICAL REGULATIONS
- CHAPTER 19 STREET & SIDEWALK REGULATIONS

#### II. SBC SECTIONS

- STAIRS (SEC 1108)
- MASONRY FIREPLACES (SEC. 804)
- PREFAB FIREPLACES (SEC. 804 & MANUFACTURER'S SPECS.)
- SKYLIGHTS (SEC. 2605)
- GLASS (CHAPTER 27)
- PLUMBING ACCESS PANELS (SEC. 905.2 & 905.3)

#### III. MISC. DATA

- TYPE "M" COPPER PIPE & TUBING NOT ALLOWED.
- SCHEDULE 40 PVC MAY BE USED FOR WATER DISTRIBUTION OUTSIDE, UNDERGROUND ONLY.
- FENCES REQUIRE A SEPERATE PERMIT
- POOLS REQUIRE A SEPERATE PERMIT
- POOLS REQUIRE A SEPERATE PERMIT
- PROVIDE FOR AT LEAST ONE QUALIFIED TREE IN FRONT YARD
- THE REMOVAL, DAMAGE, OR DEATH OF ANY LARGE TREE, EXCEPT AS AUTHORIZED BY AN APPROVED TREE DISPOSITION PLAN, IS PROHIBITED.

#### IV. NOTES:

- FRONT & SIDE SETBACKS PER ZONING ORDINANCE # 1298.
- DRIVEWAY LOCATION COMPLIES W/ ZONING ORDINANCE.
- UNDERGROUND DRAINAGE SYSTEM DESIGNED AND INSTALLED TO DRAIN ENTIRE LOT TO THE STREET, NOT ADJACENT PROPERTIES. 4" MIN. SIZE GUTTER DOWNSPOUT CONNECT TO SYSTEM. 4" MAX. SIZE THRU CURB PER CHAPTER 6. (SEE LANDSCAPE DESIGNERS PLANS)

### FLOOR LAYOUT

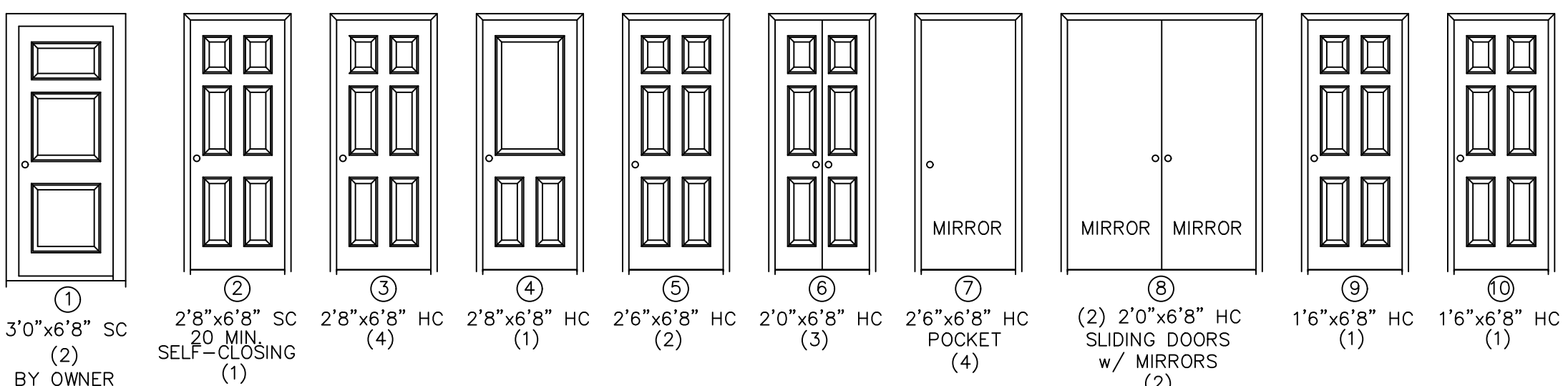
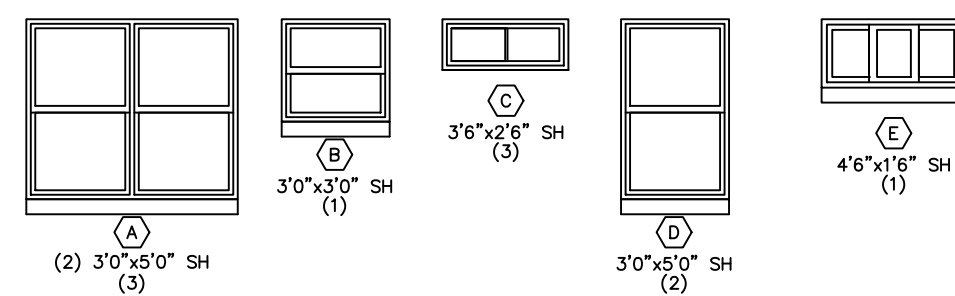
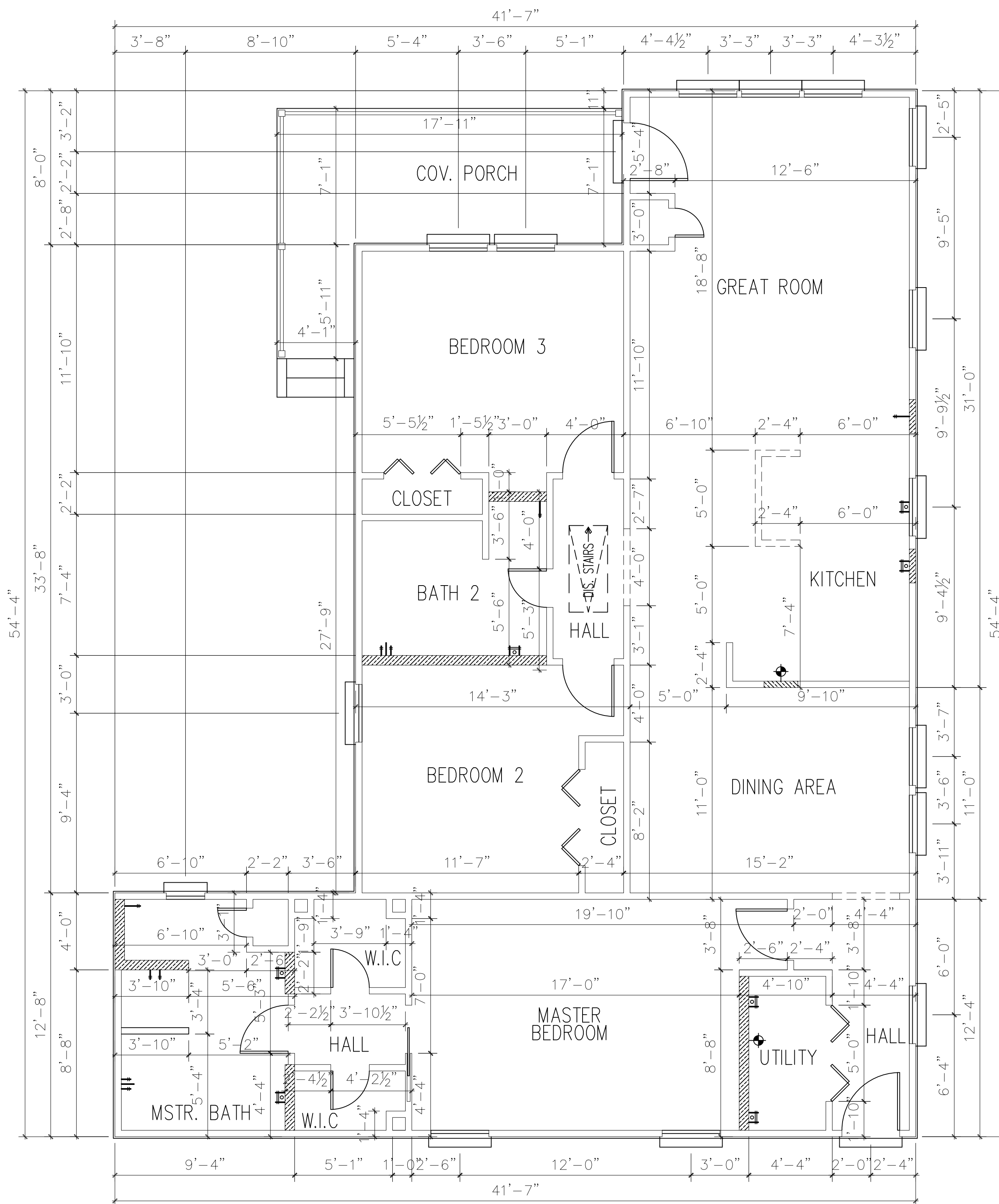
SCALE: 1/4" = 1' - 0"

PROPOSED REMODEL & ADDITION  
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 Houston, Texas 77020  
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DRAWN	ATS
CHECKED	CG
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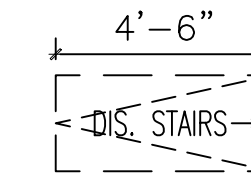


DOOR & WINDOW SCHEDULE

Attic Access (Pull down stair)

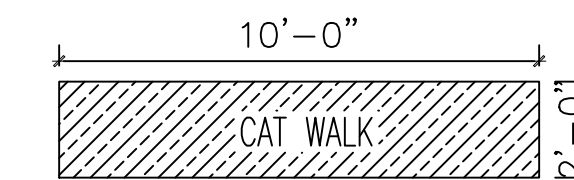
An attic access opening shall be provided to attic areas that exceed 30 square feet and have a vertical height of 30" or greater. The rough opening shall not be less than 22 inches by 30".

Attic Access Appliances (Pull down stair) M1305.1.3 2012 IRC Amendments Attics containing appliances shall be provided with a pull down stairway with a clear opening not less than 22 inches in width and a load capacity of not less than 350 pounds.



Attic Access Appliances (Catwalk)

Attic Access Appliances (Catwalk) M1305.1.3 2012 IRC Amendments Provide an unobstructed passageway not more than 20 feet in length when measured along the centerline of the passage way from the opening to the appliance with a minimum headroom height of 30 inches and a minimum width of 30 inches.



Attic Access Appliances (Clearance)

Attic Access Appliances (Clearance) M1305.1.3 2012 IRC Amendments A level surface space at least 30 inches deep and 30 inches wide shall be present along all sides of the appliance where access is required.

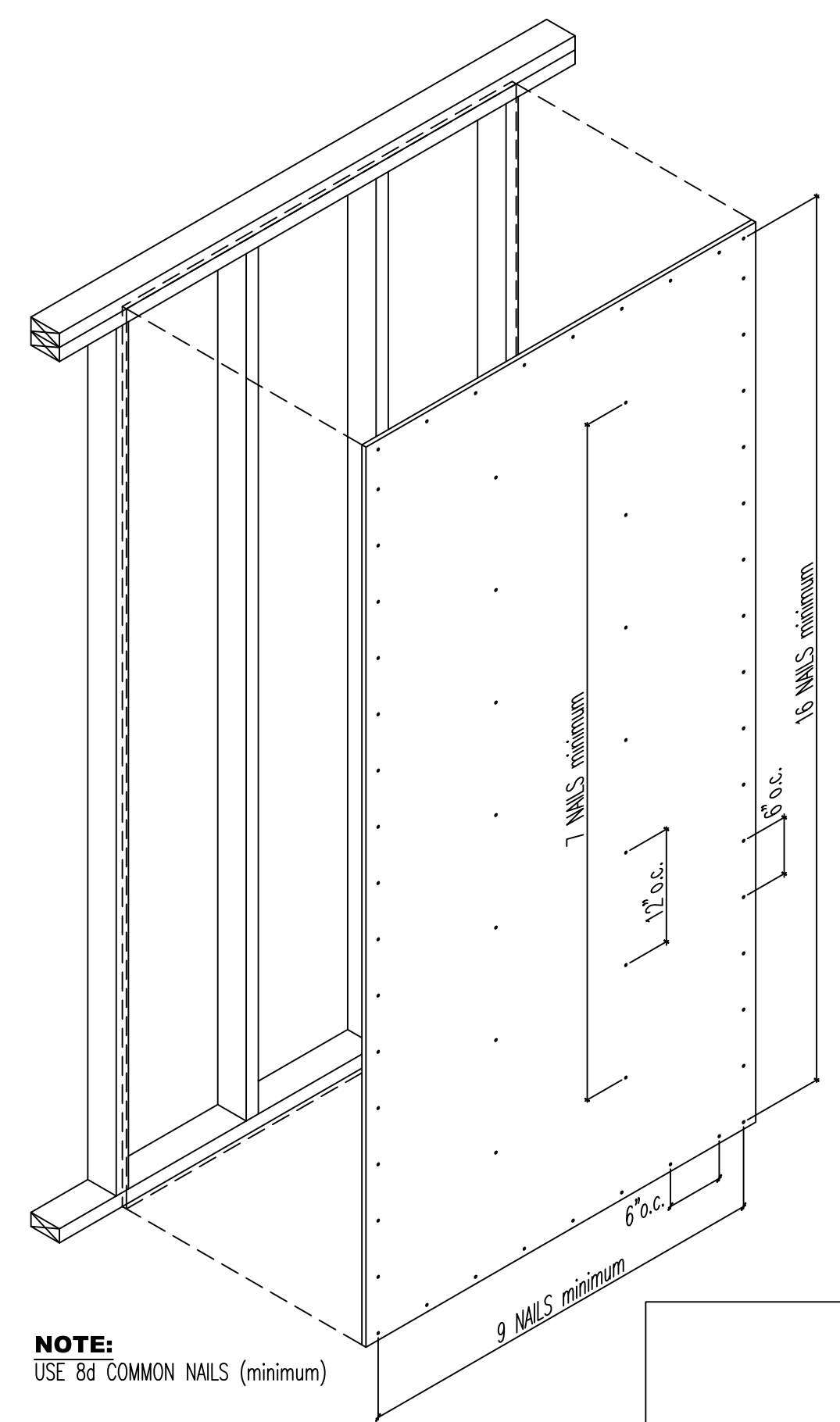
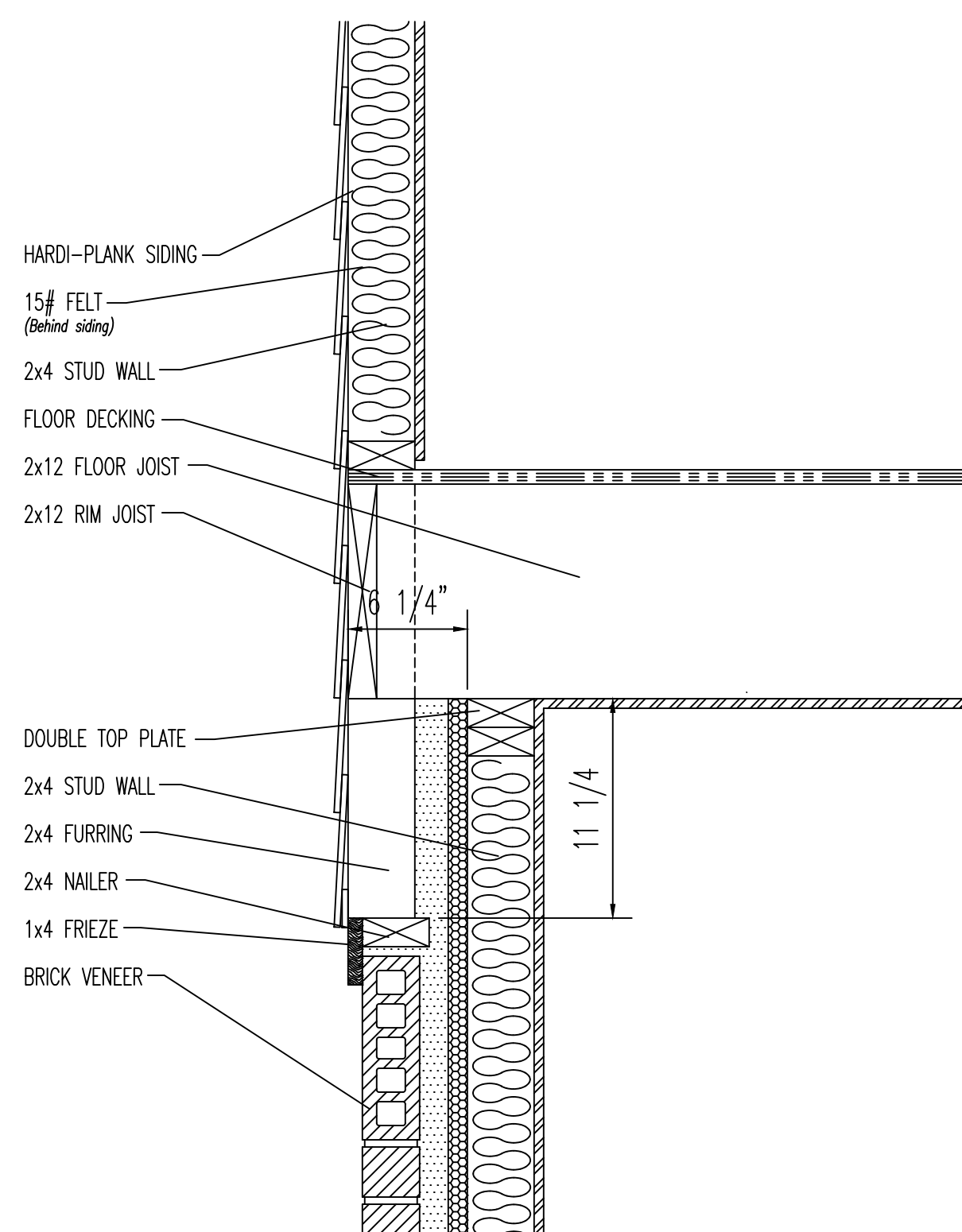
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  - ENAMEL ON GYPSUM BOARD - ONE COAT TINTED ENAMEL PRIMER WITH TEXTURE EMULSION, ONE COAT SEMI-GLOSS ENAMEL.
- TOILET ROOM ACCESSORIES REQUIRED:
  - TOILET PAPER HOLDERS
  - MIRROR OVER LAVATORIES

WALL DIMENSIONS

SCALE: 1/4" = 1' - 0"

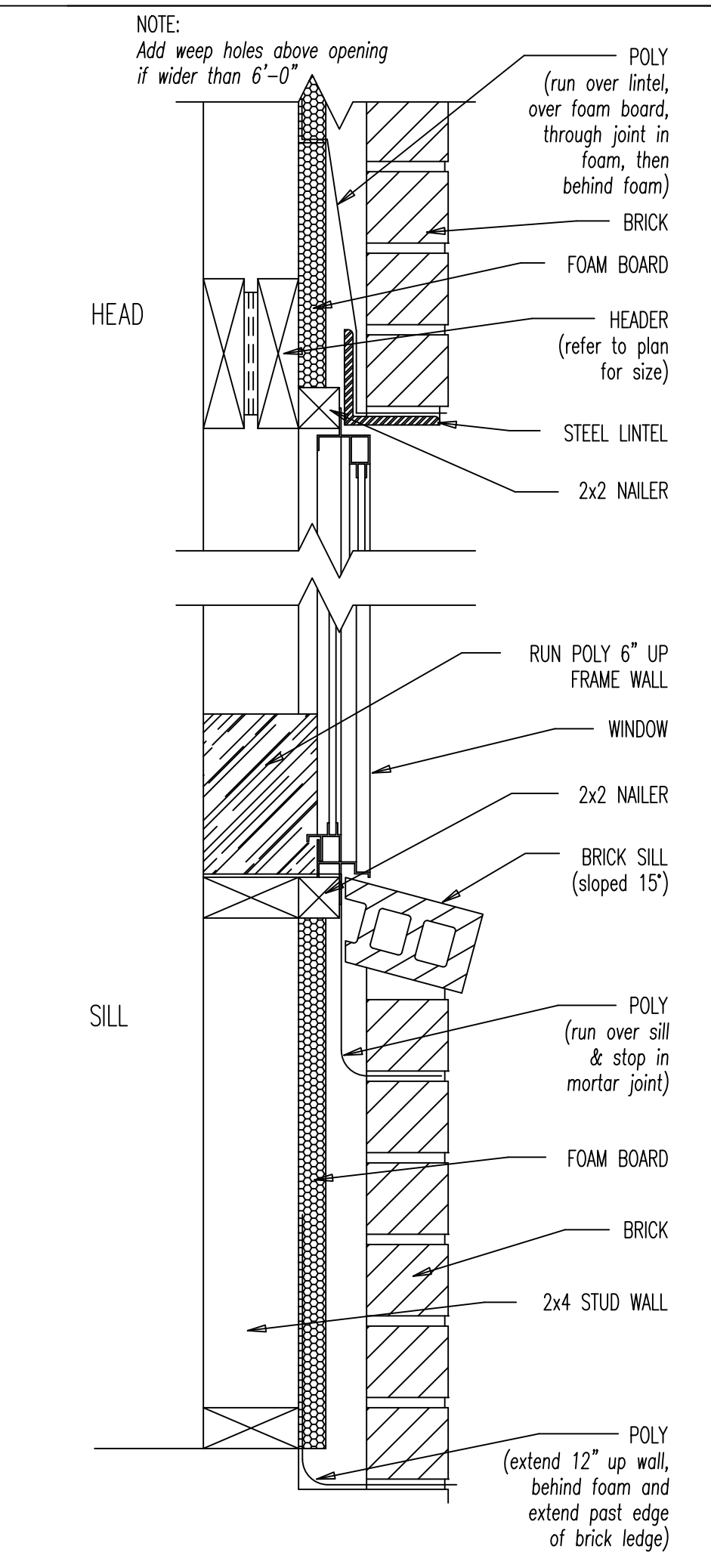
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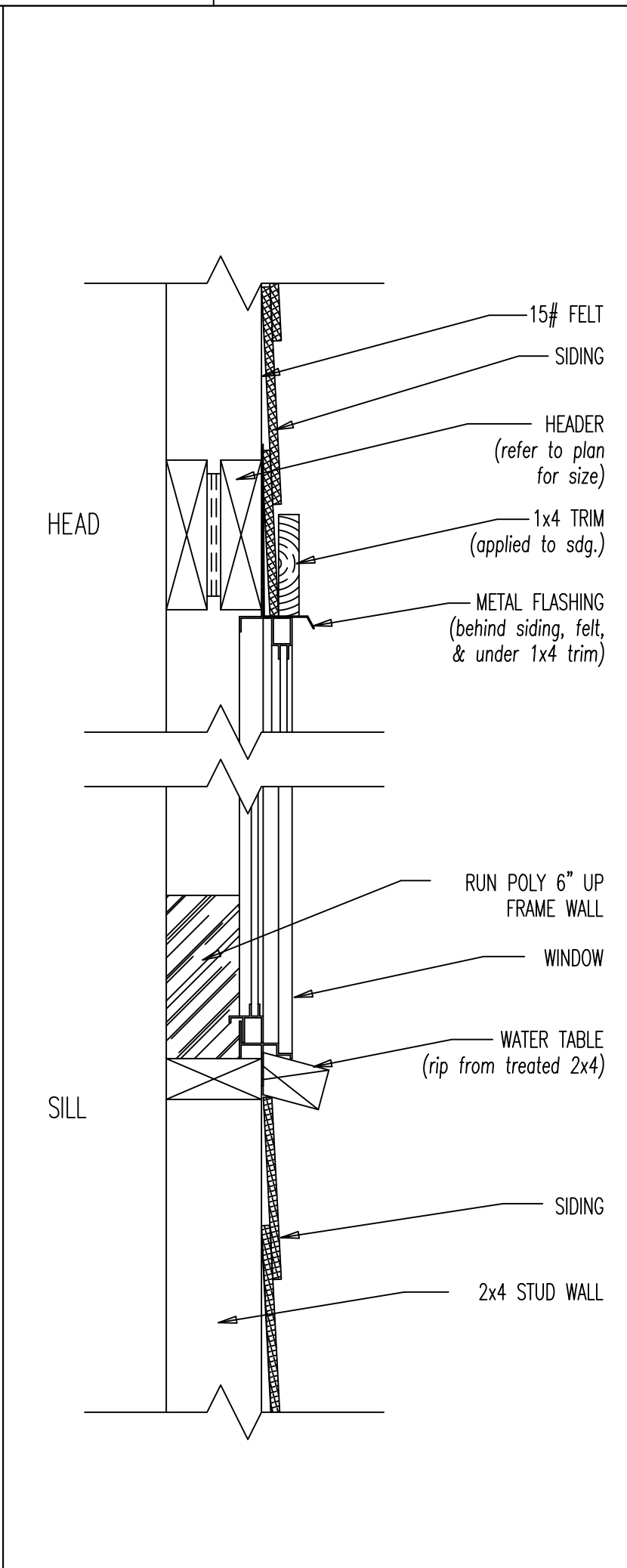
**NOTE:**  
USE 8d COMMON NAILS (minimum)

**SHEARWALL DETAIL - NAILING 6"o.c.**

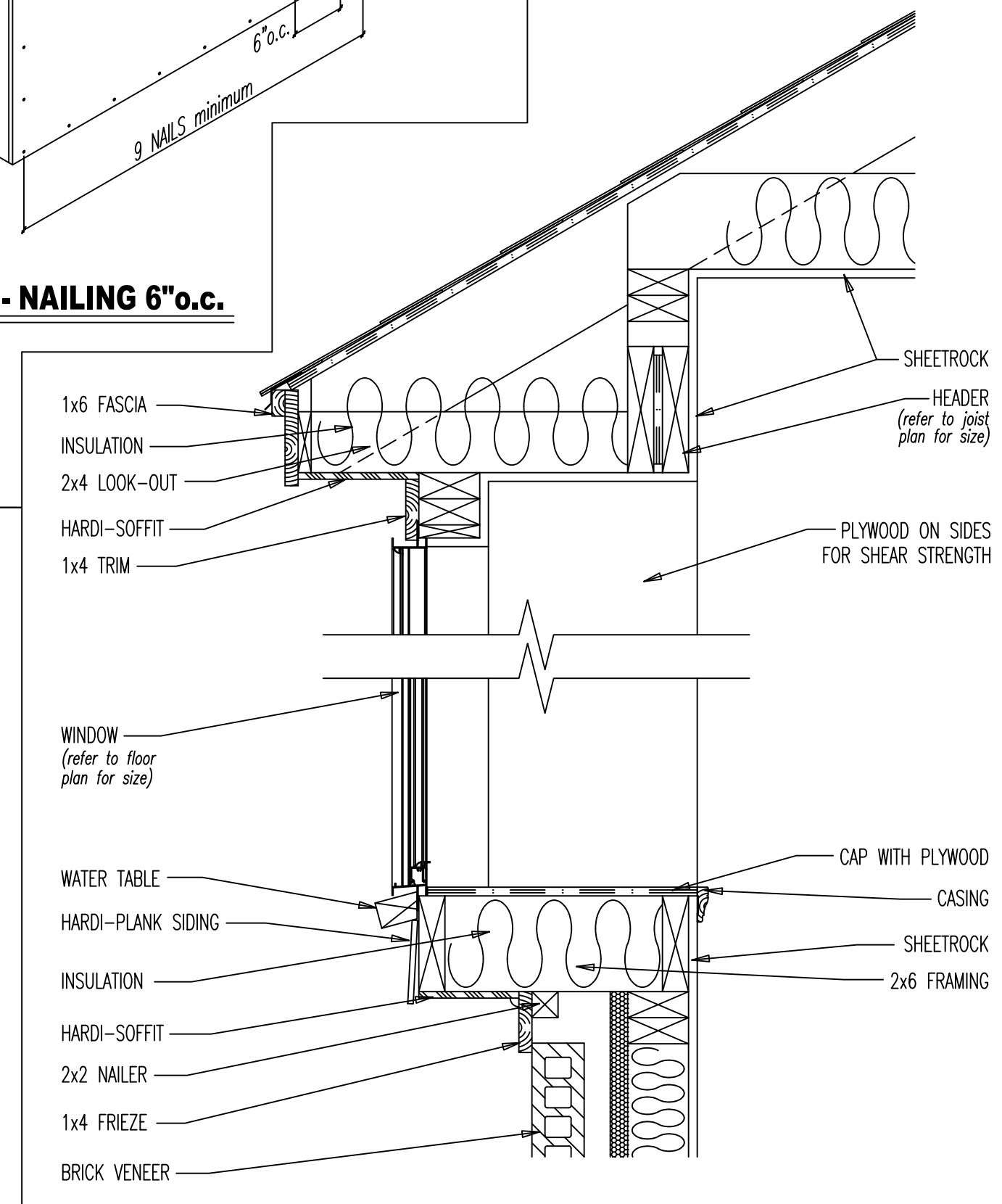
**CANTILEVER OVER BRICK**



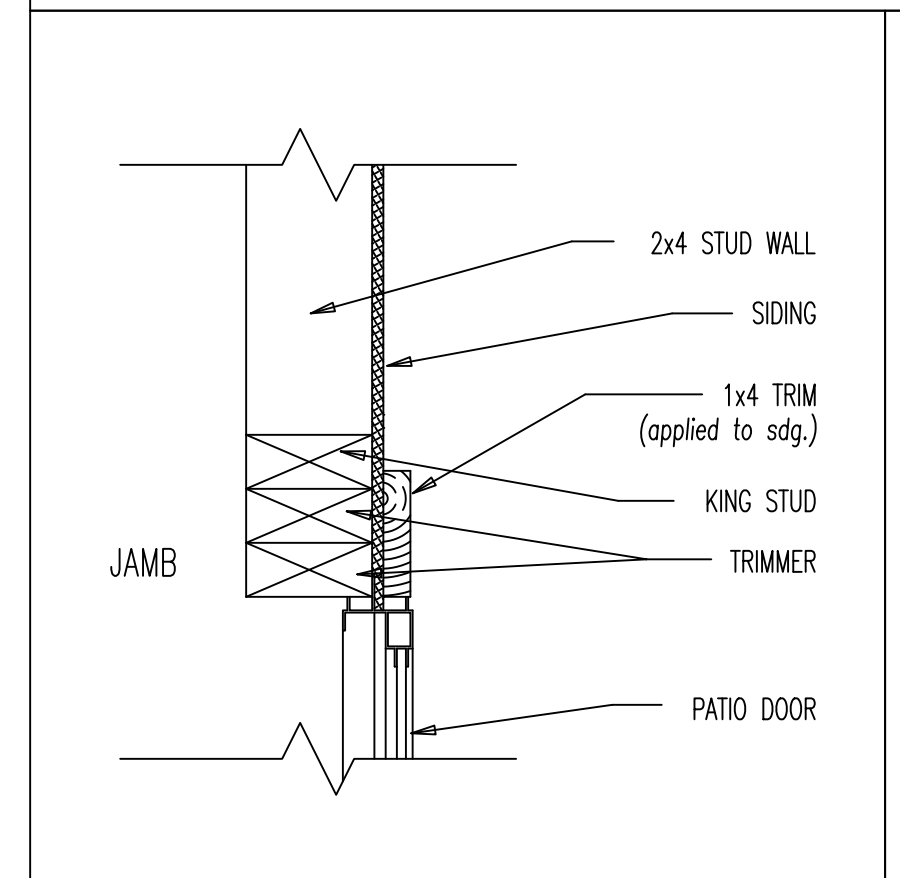
**WINDOW - Brick**



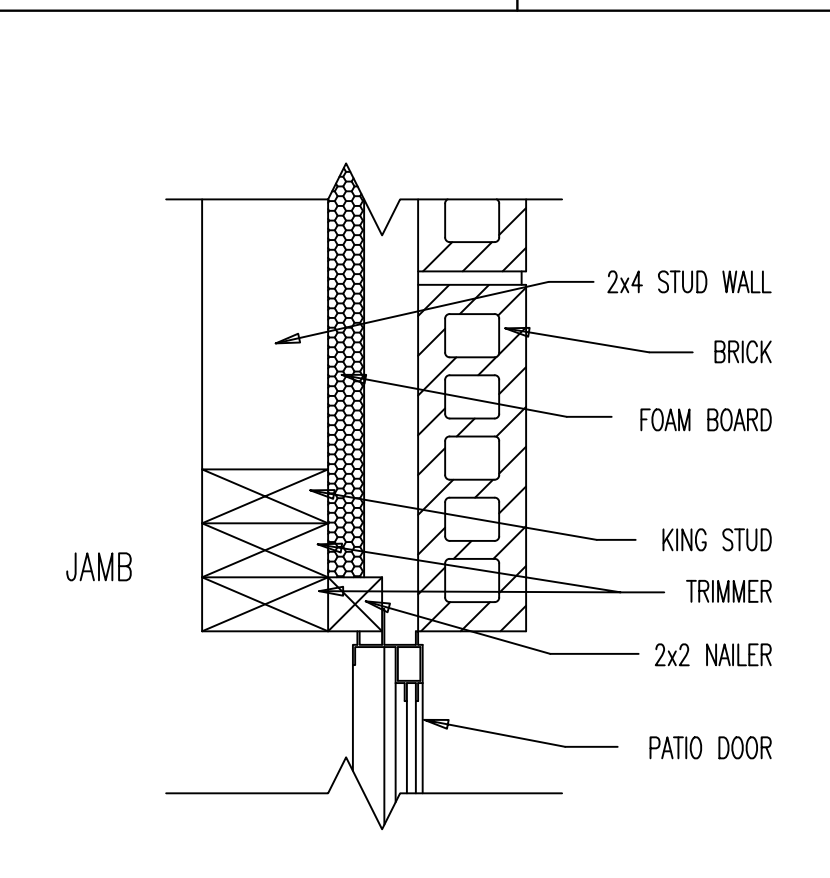
**WINDOW - Siding**



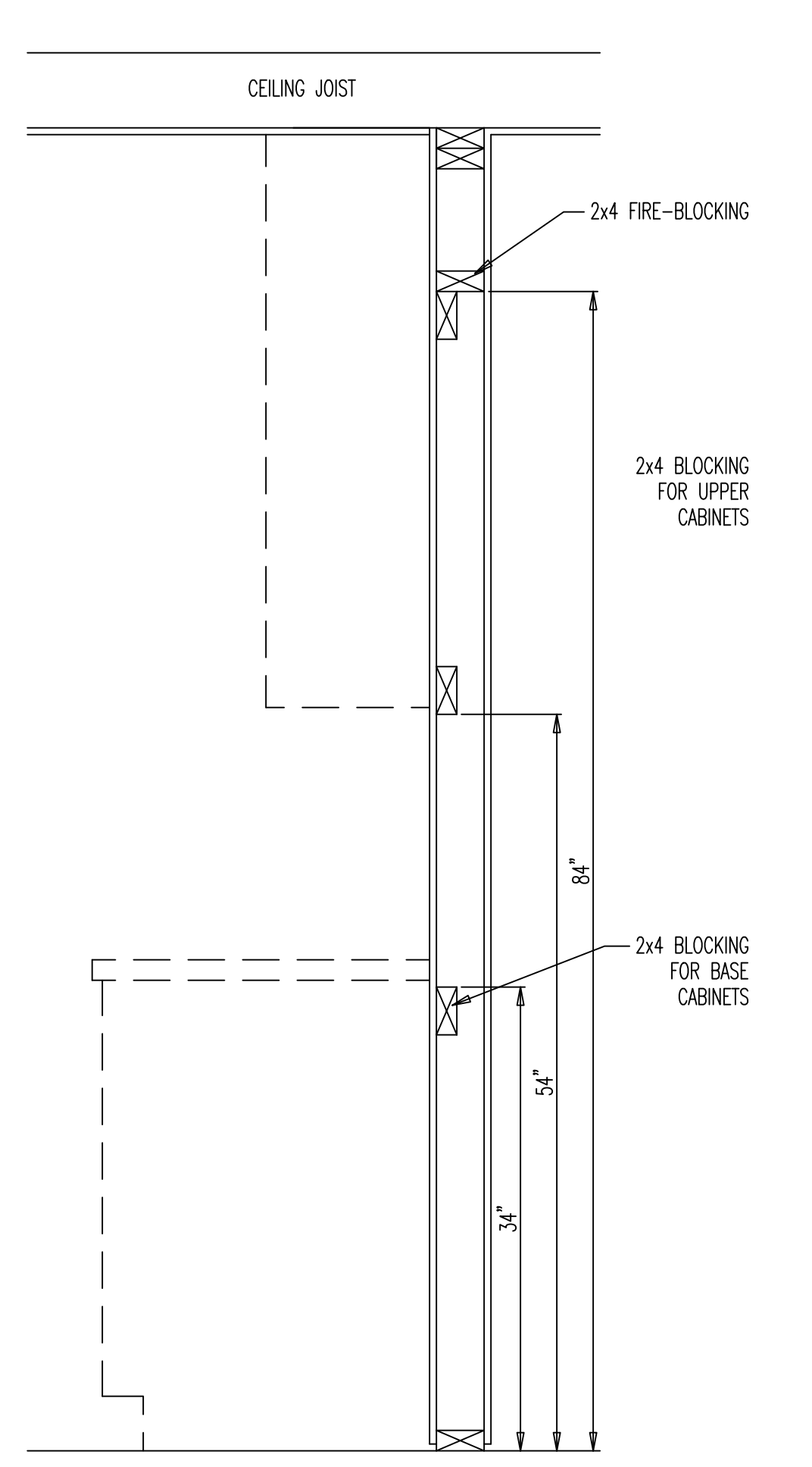
**BOX-OUT DETAIL**



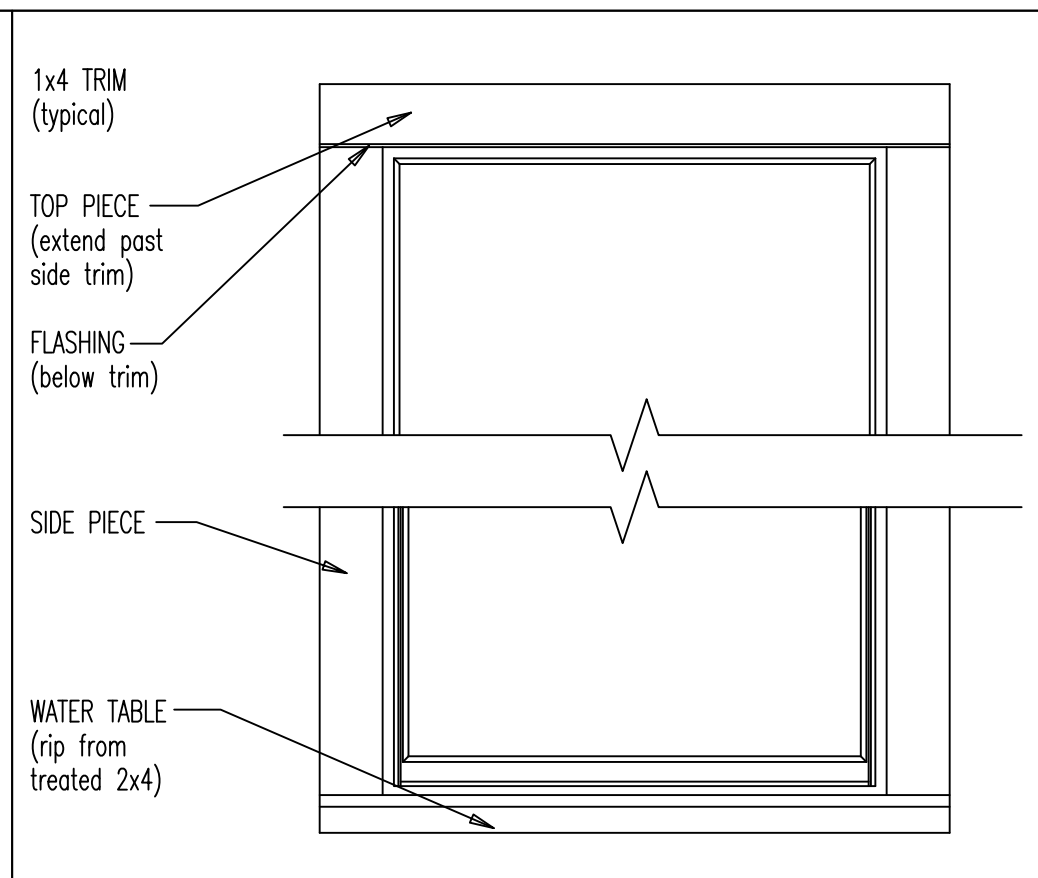
**PATIO DOOR - Siding**



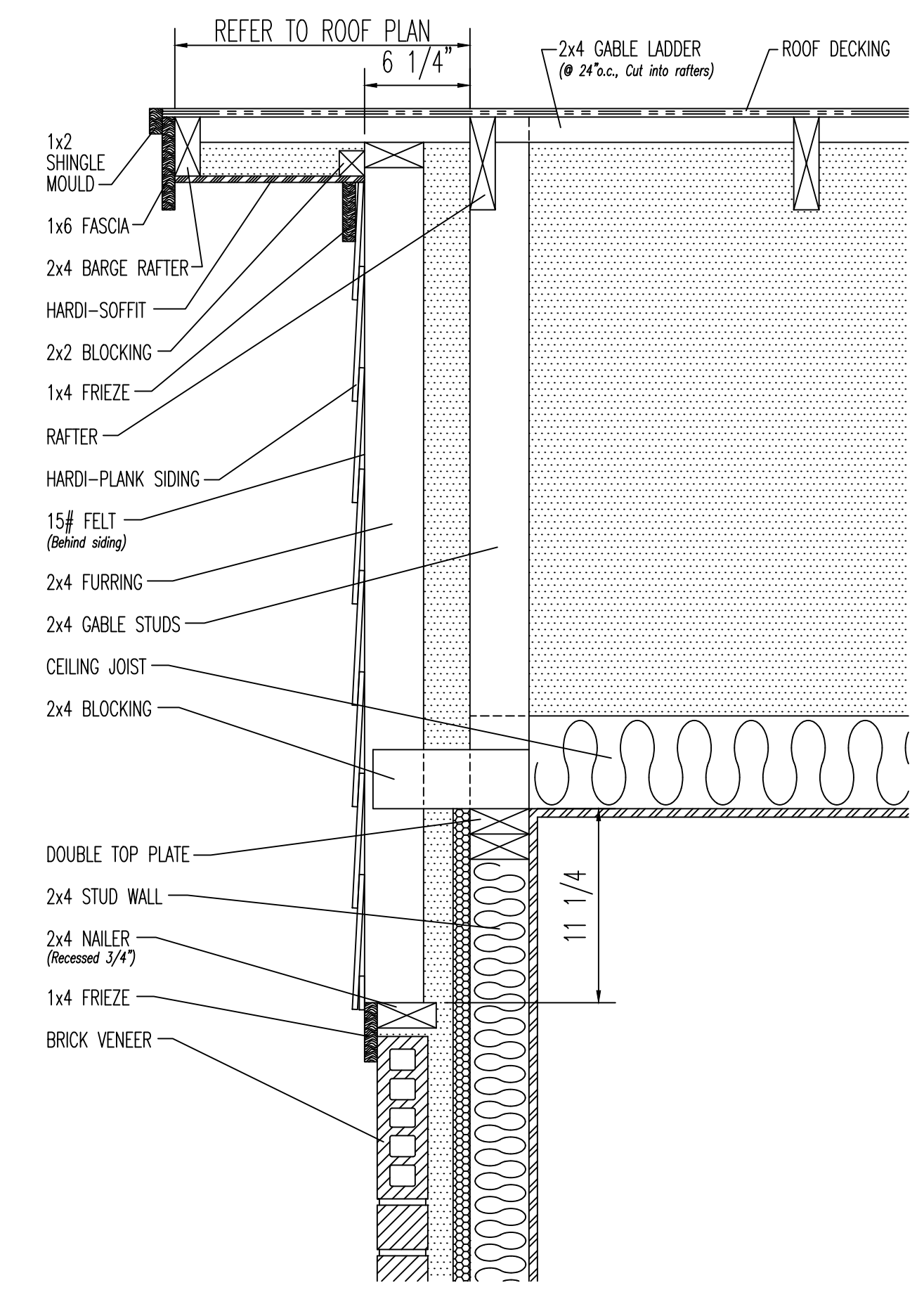
**PATIO DOOR - Brick**



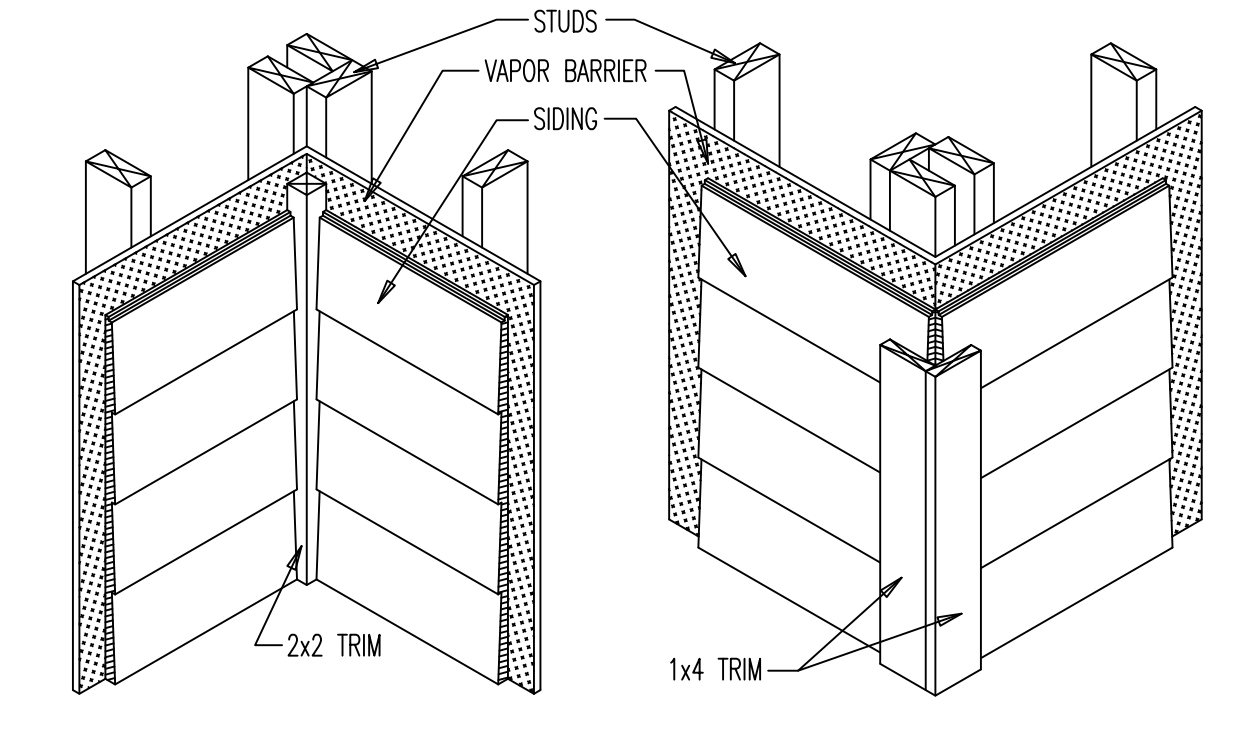
**FURR DOWN DETAIL**



**WINDOW TRIM DETAIL**



**GABLE END - SIDING OVER BRICK**



**CORNER TRANSITIONS w/ SIDING**

**SECTION & DENTALS**

SCALE: 1/4" = 1' - 0"

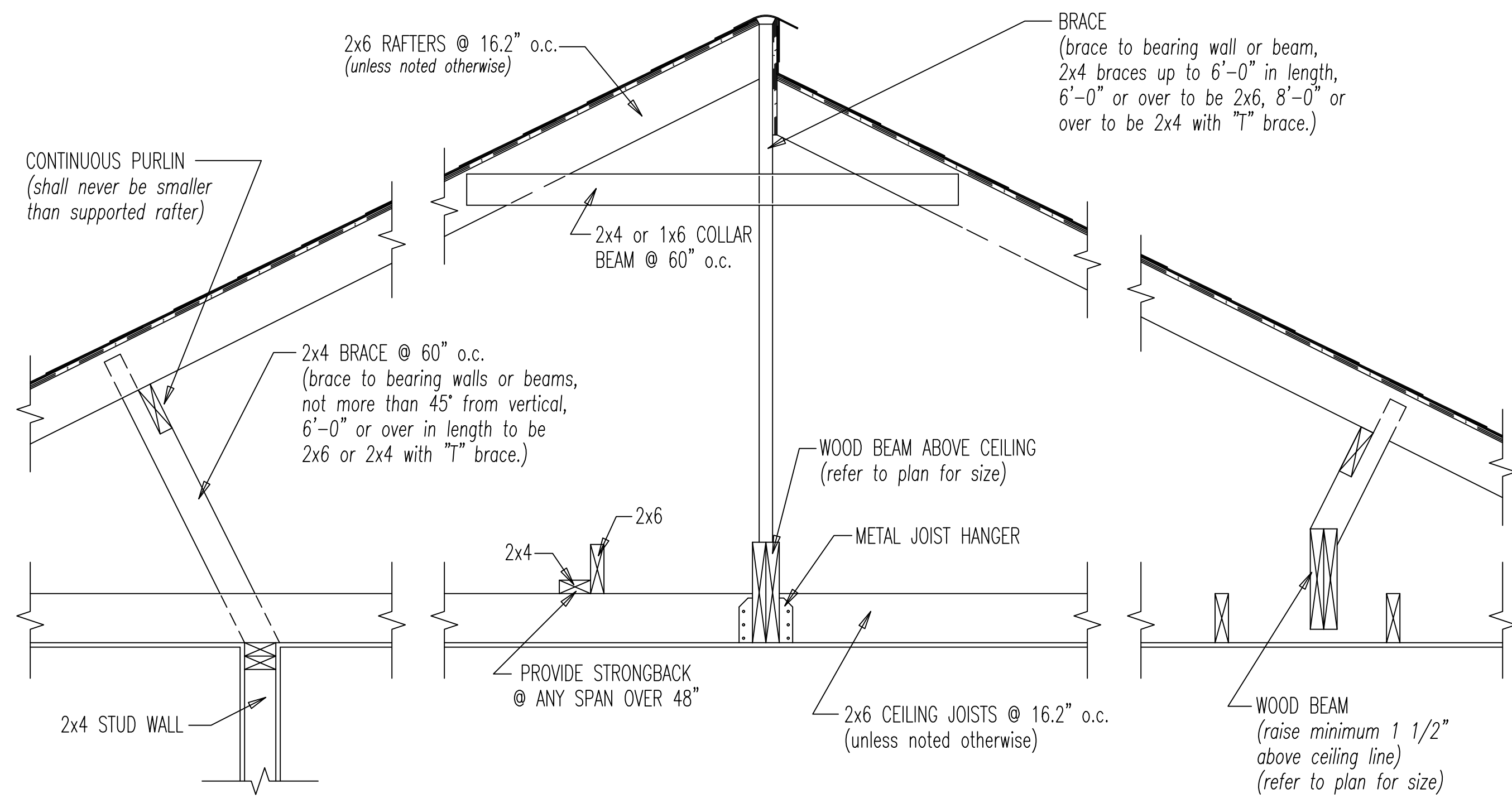
DESIGNED BY: ATTS  
 DRAWN BY: ATTS  
 CHECKED BY: CG  
 DATE: 11/29/2021  
 REL. FOR CONST. 20211115-158

PROPOSED REMODEL & ADDITION  
**KB&J Investments LLC**  
 4418 Noble Street  
 Houston, Texas

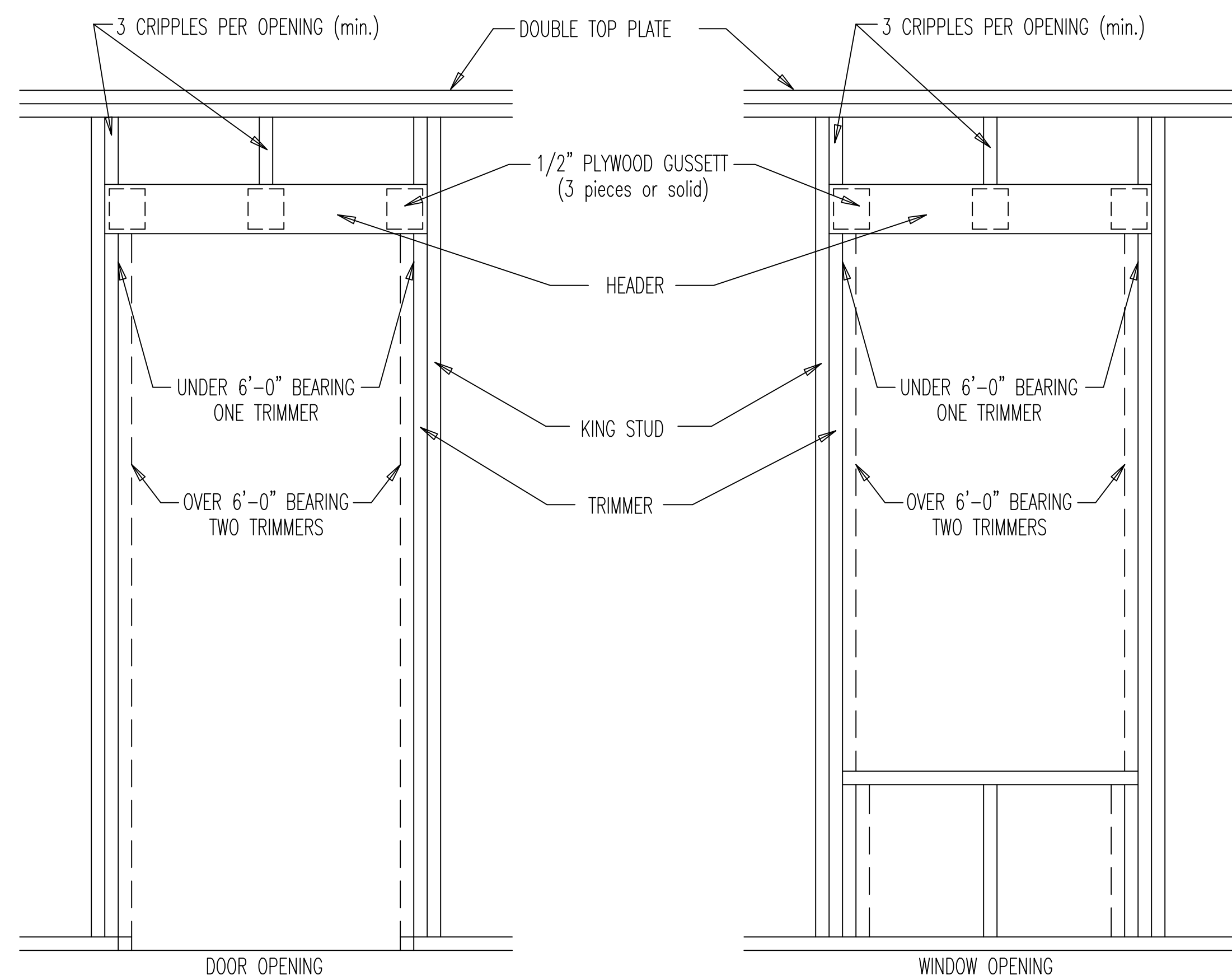
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 77020

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 (281) 686-6268

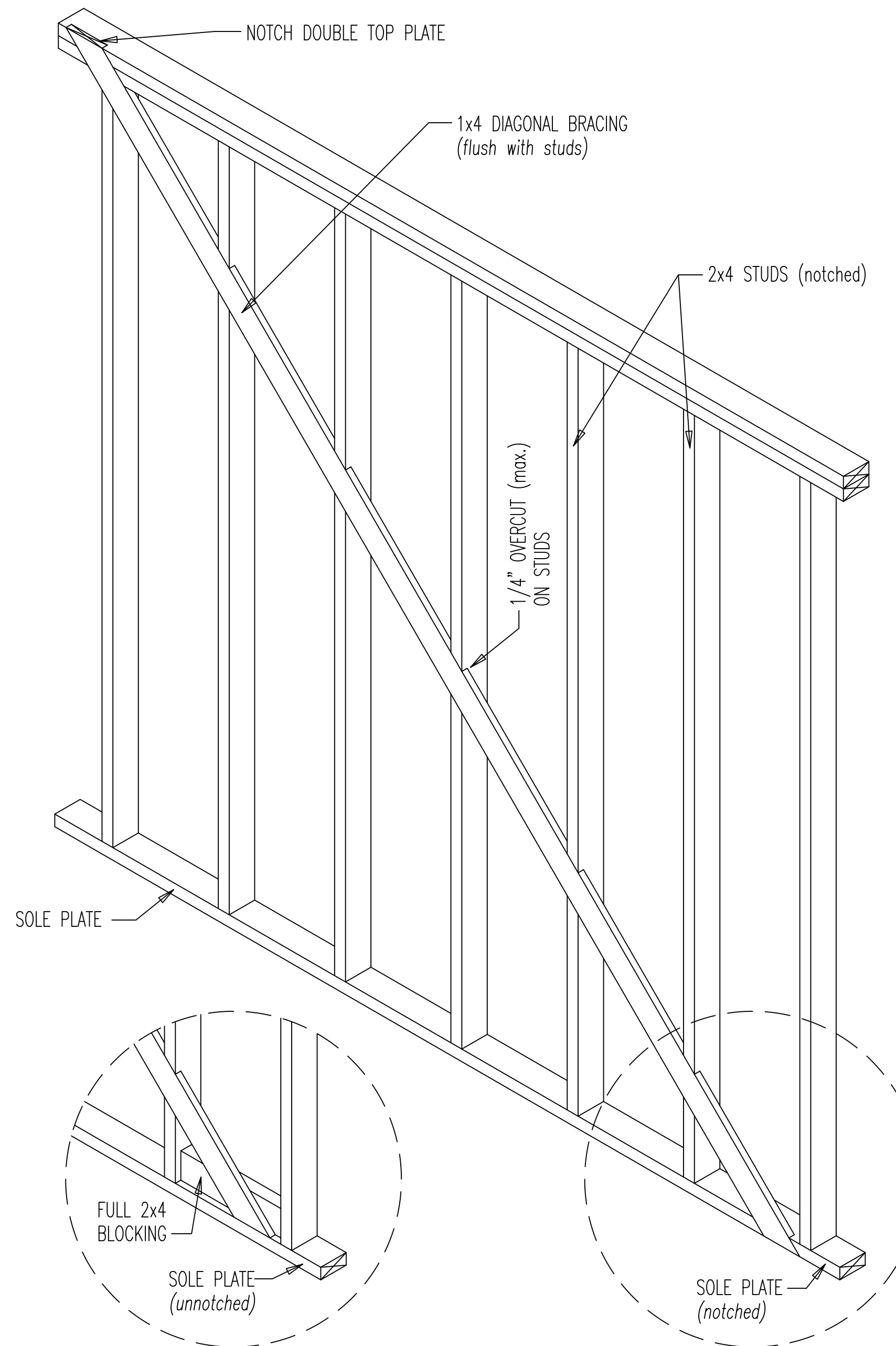
20211117-159  
**A7**



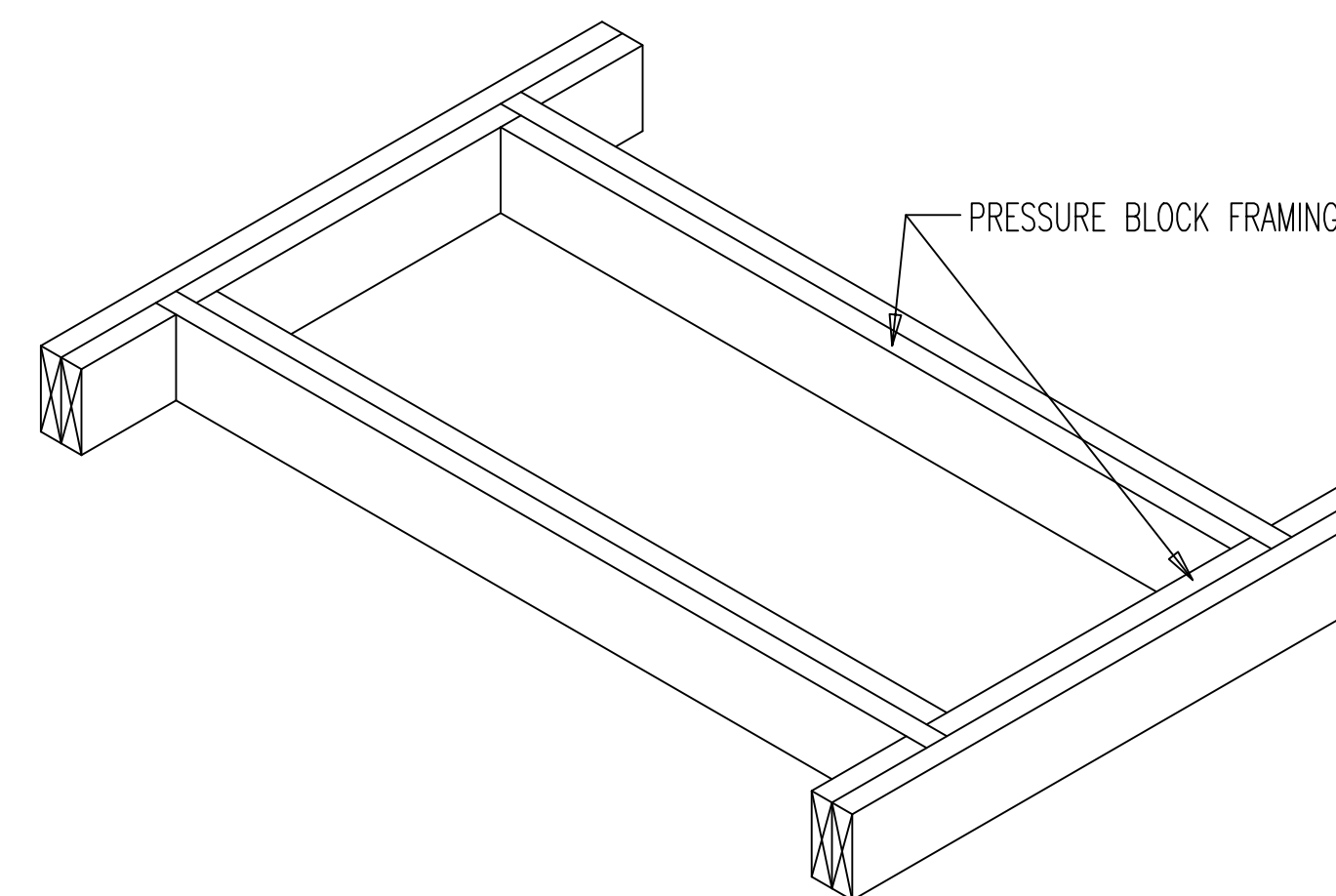
**ROOF FRAMING DETAILS**



**FRAME OPENING DETAILS**



**LET-IN BRACING DETAIL**



**ATTIC STAIR FRAMING**

**Attic Access (Pull down stair)**

An attic access opening shall be provided to attic areas that exceed 30 square feet and have a vertical height of 30" or greater. The rough opening shall not be less than 22 inches by 30".

Attic Access Appliances (Pull down stair) M1305.1.3 2012 IRC Amendments Attics containing appliances shall be provided with a pull down stairway with a clear opening not less than 22 inches in width and a load capacity of not less than 350 pounds.

**Attic Access Appliances (Catwalk)**

Attic Access Appliances (Catwalk) M1305.1.3 2012 IRC Amendments Provide an unobstructed passageway not more than 20 feet in length when measured along the centerline of the passage way from the opening to the appliance with a minimum headroom height of 30 inches and a minimum width of 30 inches.

**Attic Access Appliances (Clearance)**

Attic Access Appliances (Clearance) M1305.1.3 2012 IRC Amendments A level surface space at least 30 inches deep and 30 inches wide shall be present along all sides of the appliance where access is required.

**WALL DETAILS & NOTES**

SCALE: 1/4" = 1' - 0"

DESIGNED: ATS  
 DRAWN: ATS  
 CHECKED: CG  
 DATE: 11/29/2021  
 REL. FOR CONST.: 20211115-158

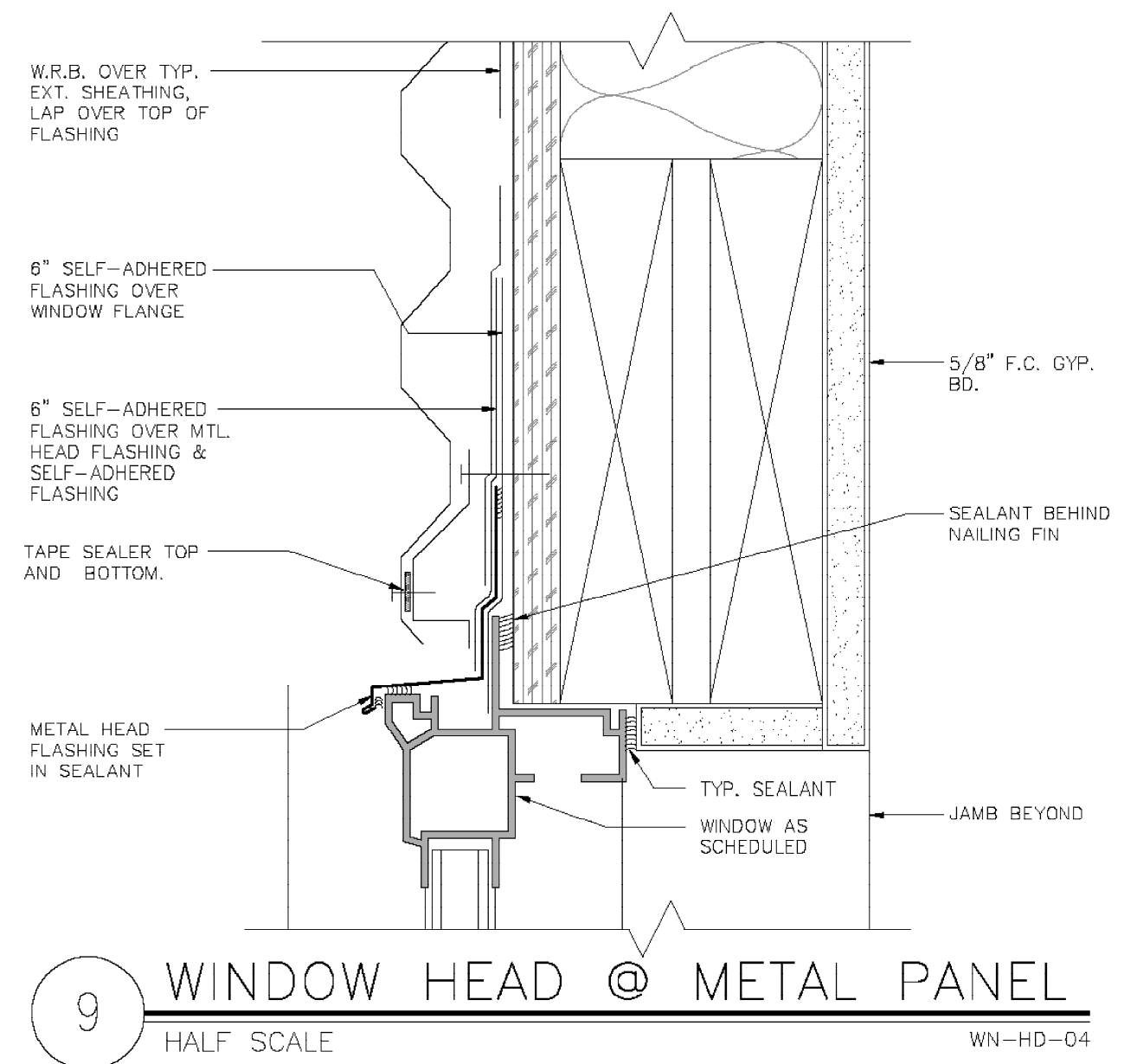
PROPOSED REMODEL & ADDITION  
**KB&J Investments LLC**  
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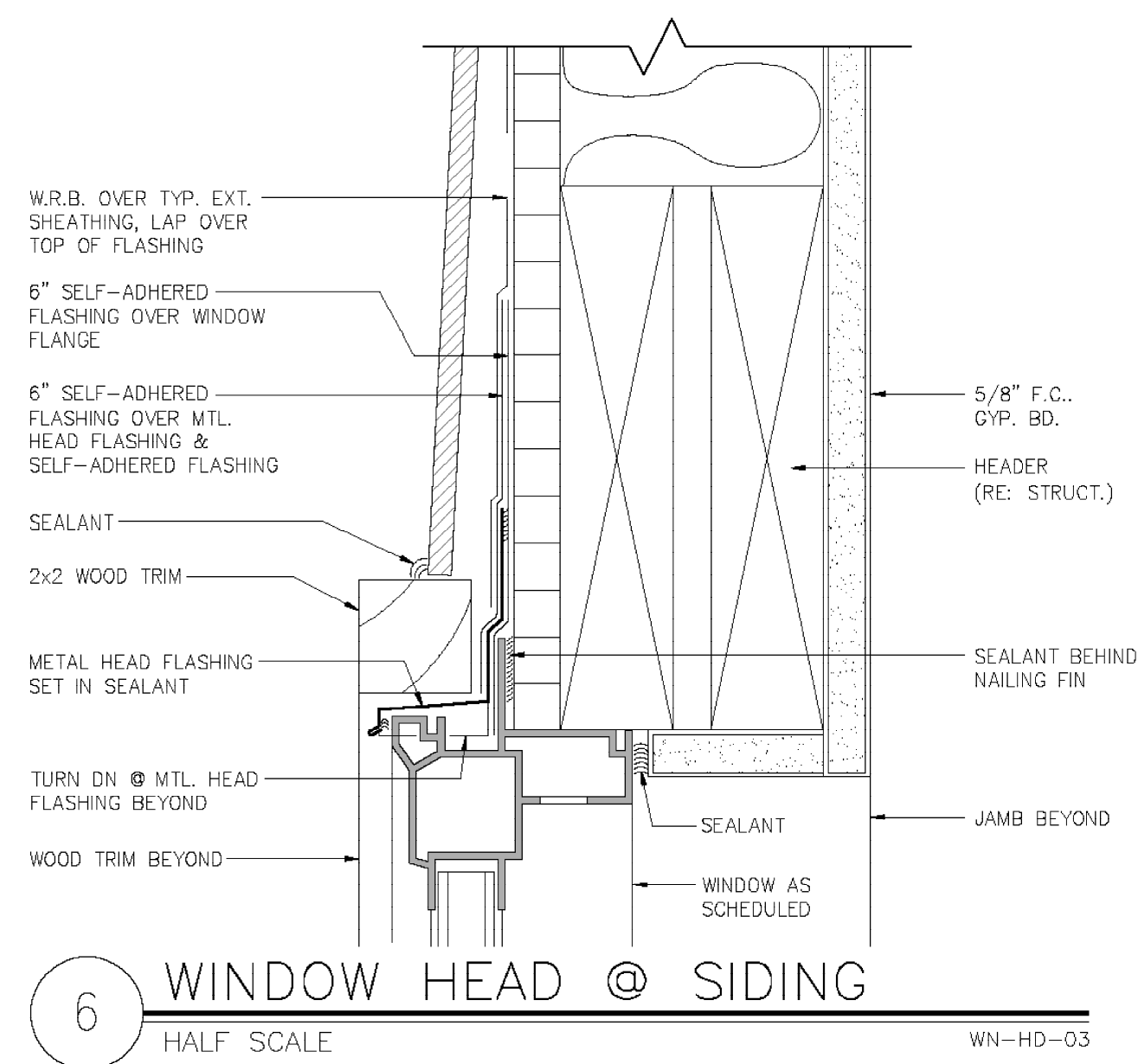
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20211117-159  
**A8**

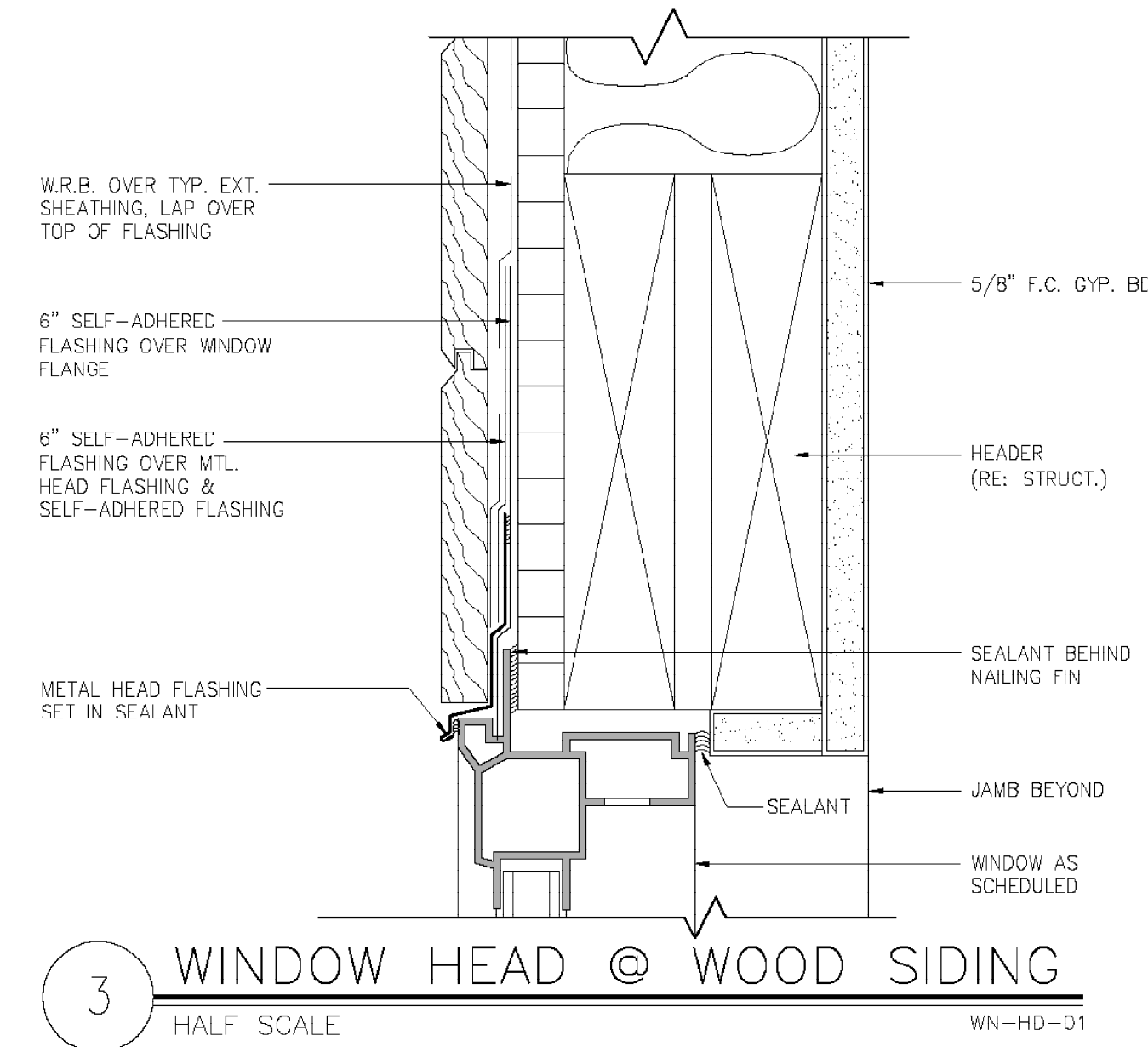




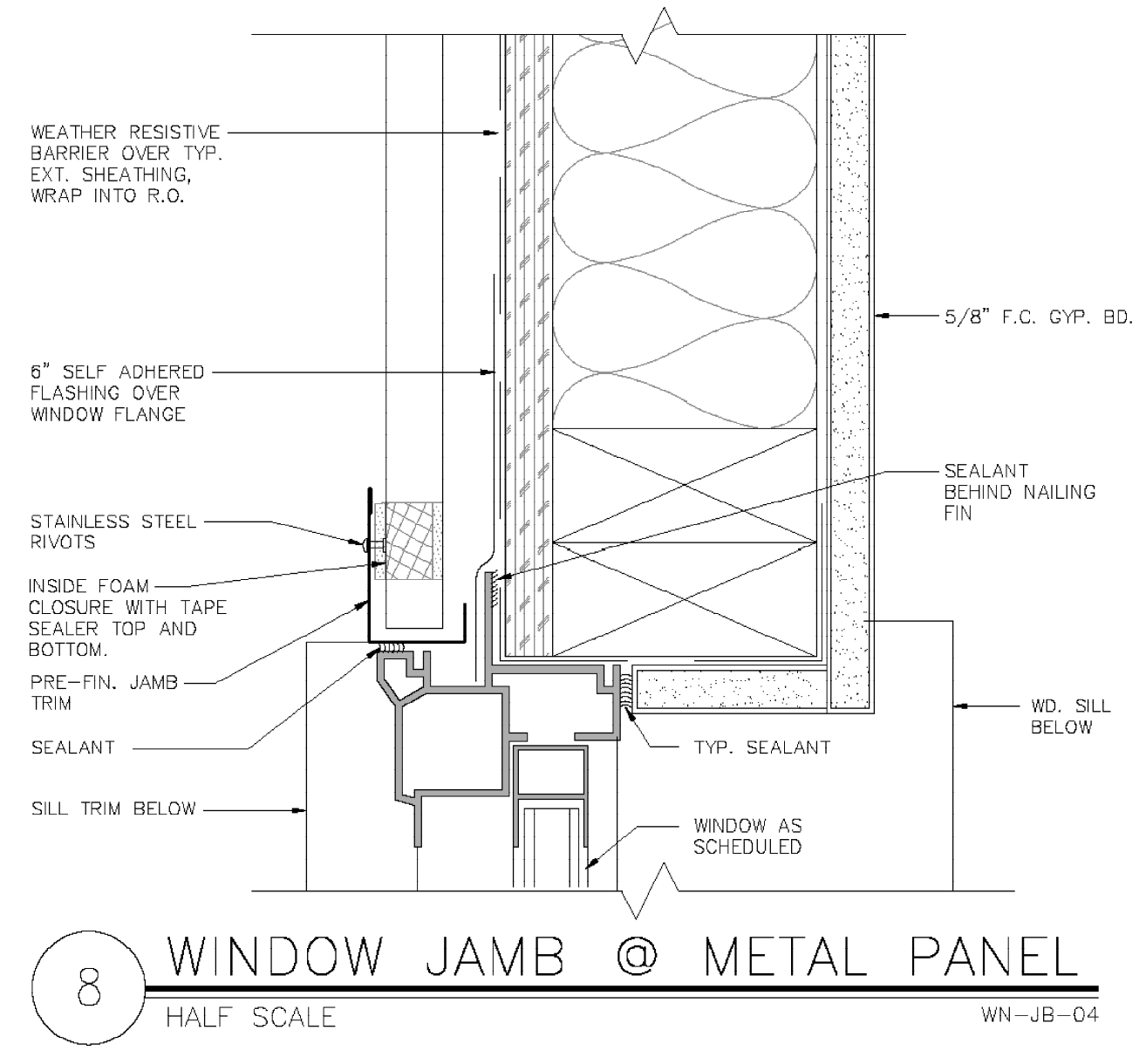
**9 WINDOW HEAD @ METAL PANEL**  
 HALF SCALE WN-HD-04



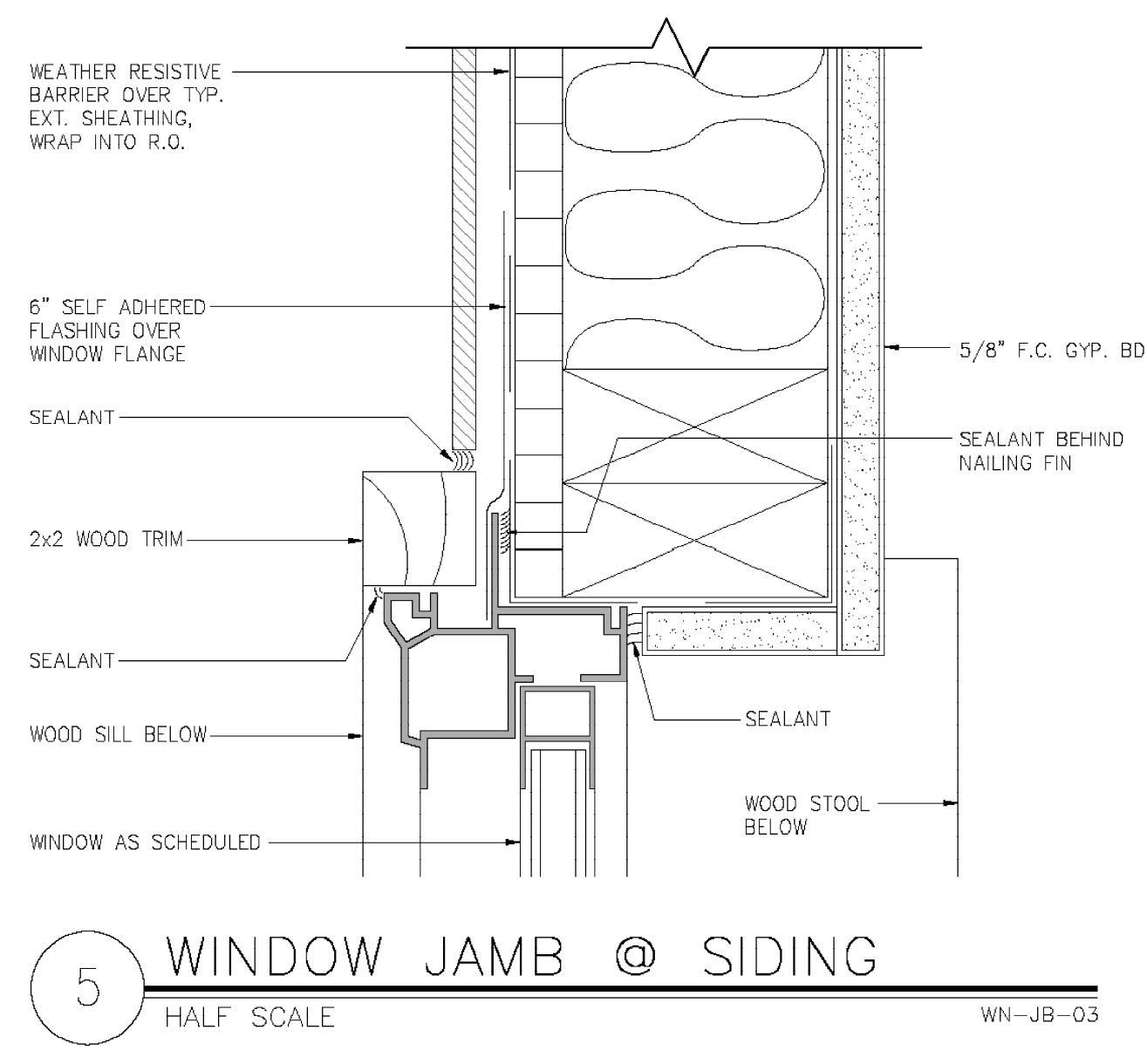
**6 WINDOW HEAD @ SIDING**  
 HALF SCALE WN-HD-03



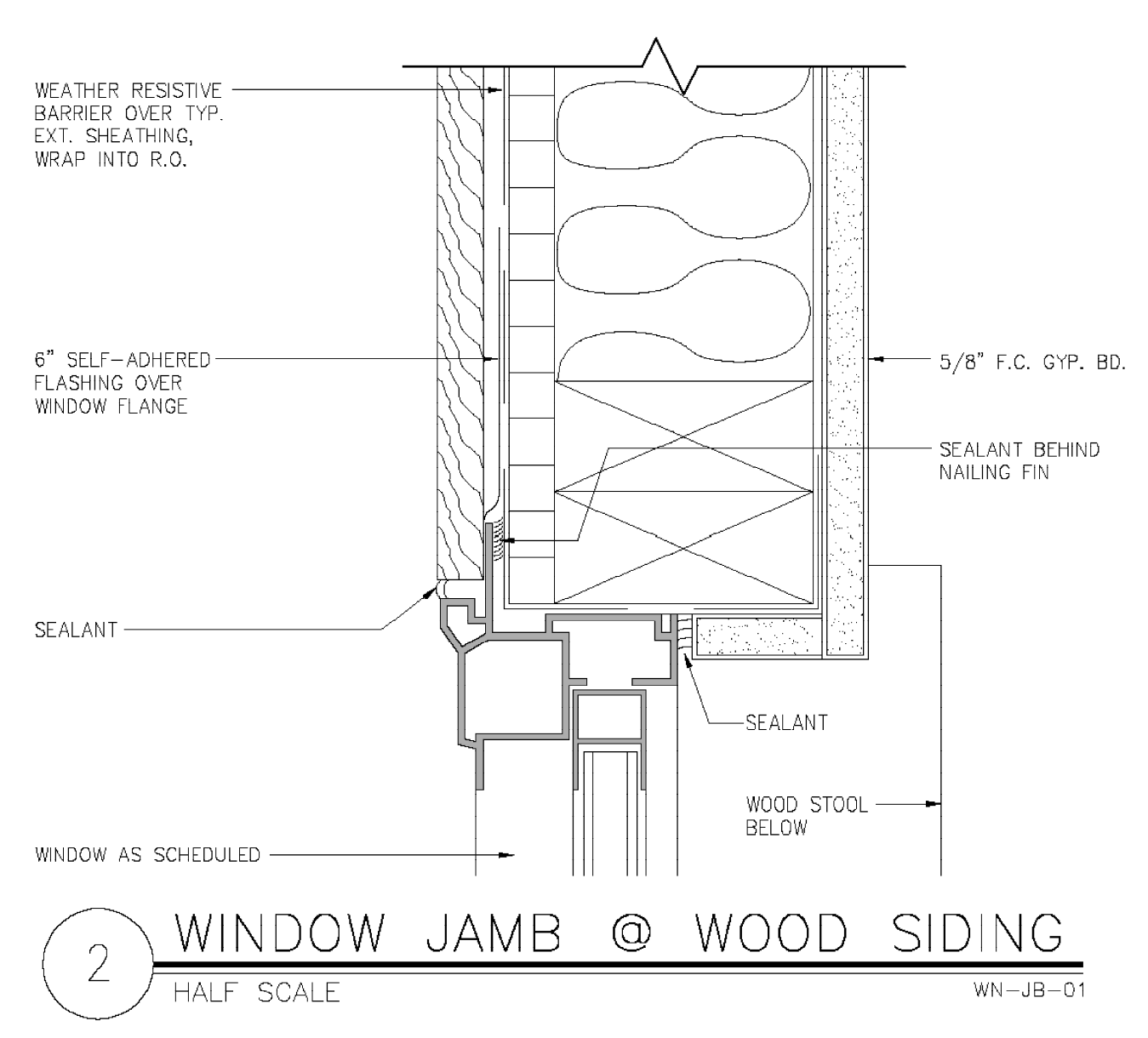
**3 WINDOW HEAD @ WOOD SIDING**  
 HALF SCALE WN-HD-01



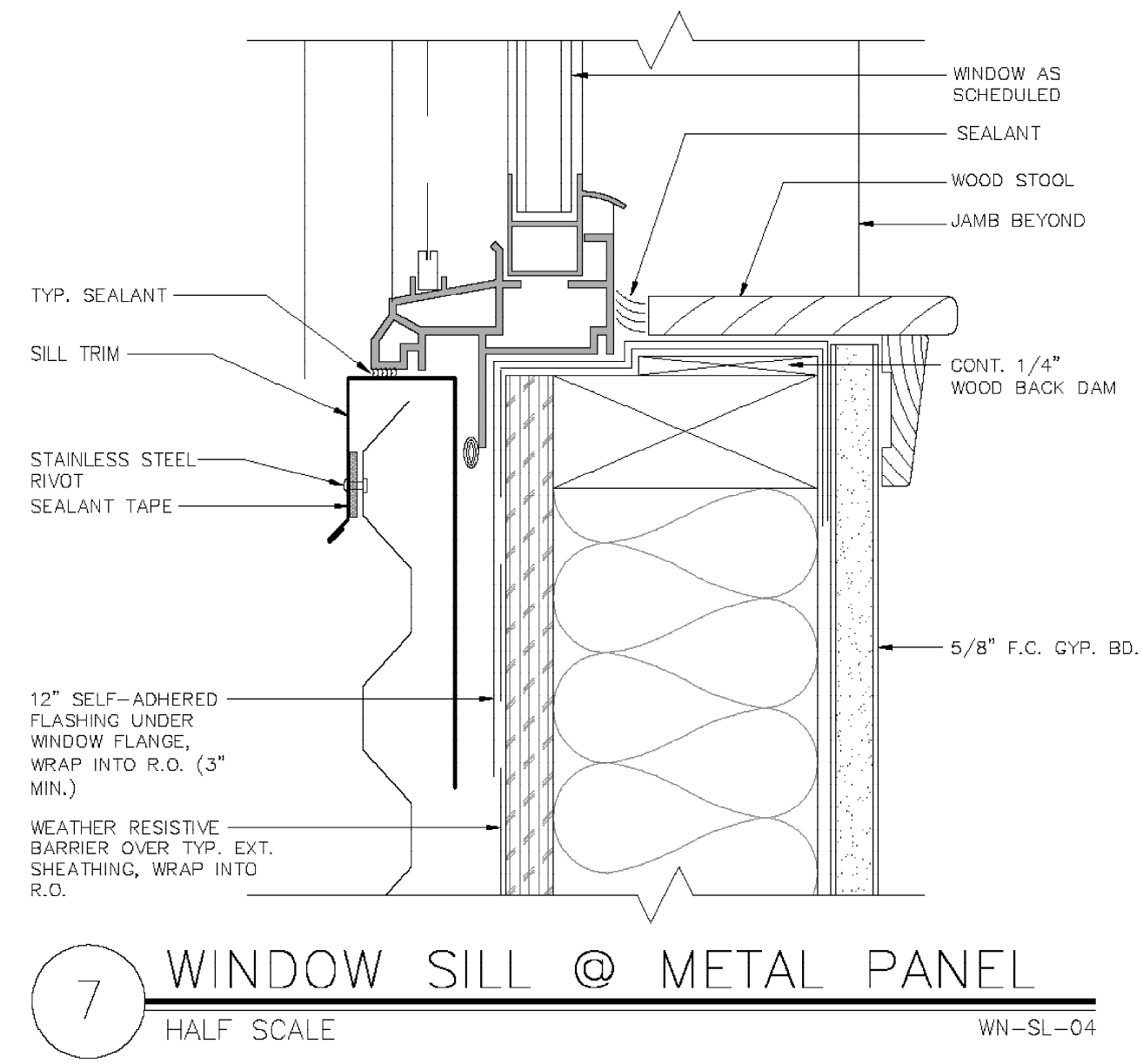
**8 WINDOW JAMB @ METAL PANEL**  
 HALF SCALE WN-JB-04



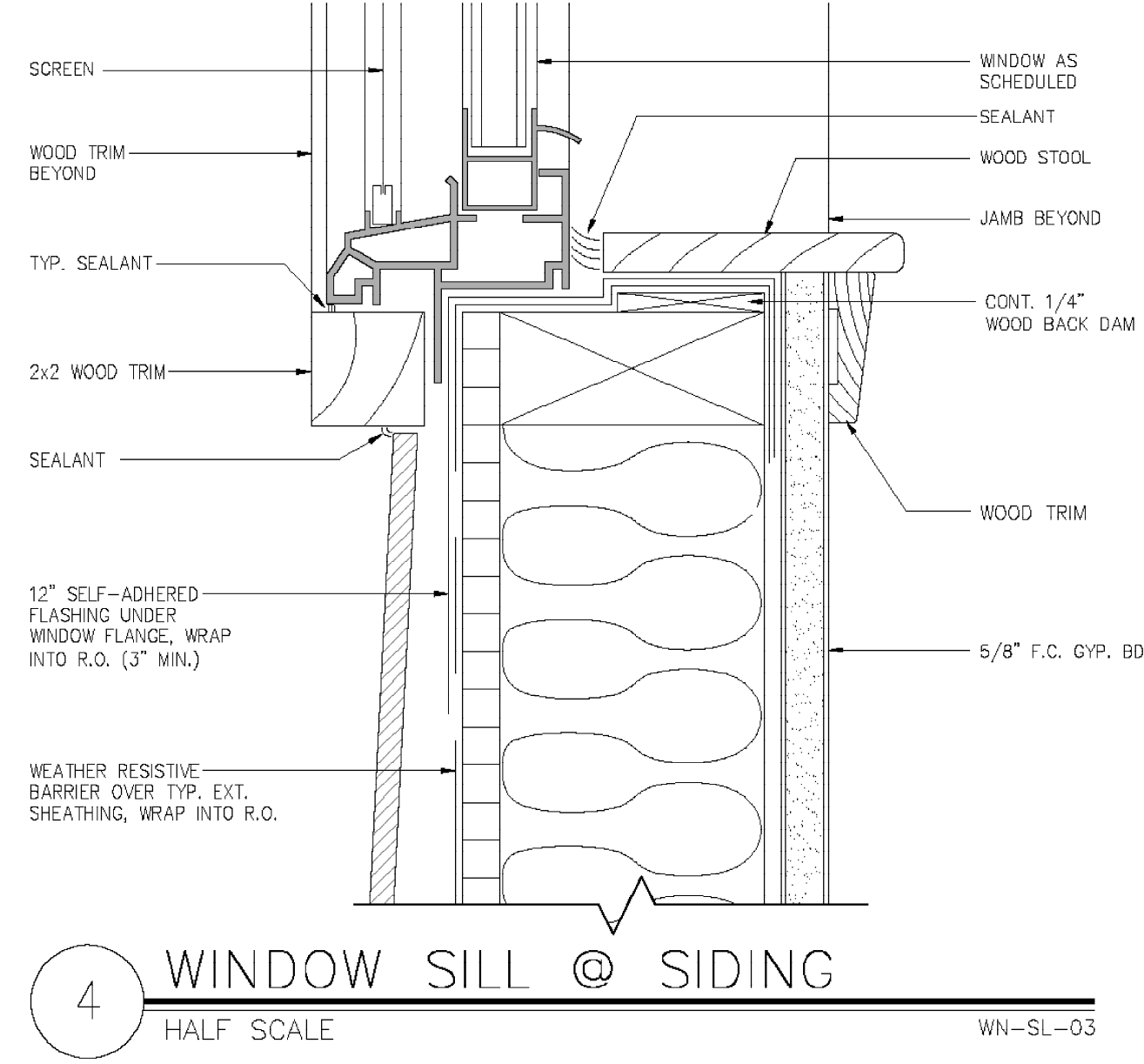
**5 WINDOW JAMB @ SIDING**  
 HALF SCALE WN-JB-03



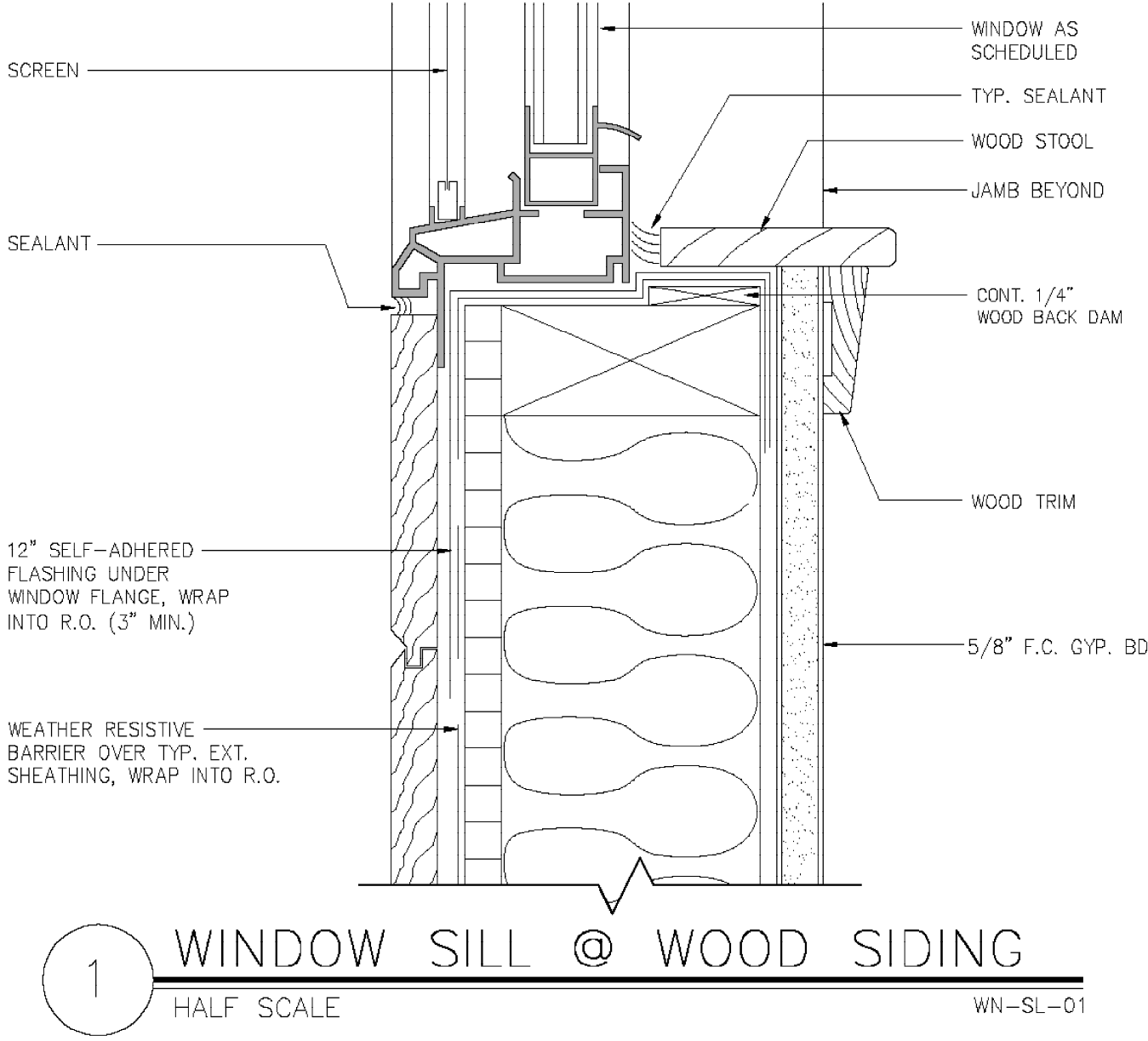
**2 WINDOW JAMB @ WOOD SIDING**  
 HALF SCALE WN-JB-01



**7 WINDOW SILL @ METAL PANEL**  
 HALF SCALE WN-SL-04



**4 WINDOW SILL @ SIDING**  
 HALF SCALE WN-SL-03



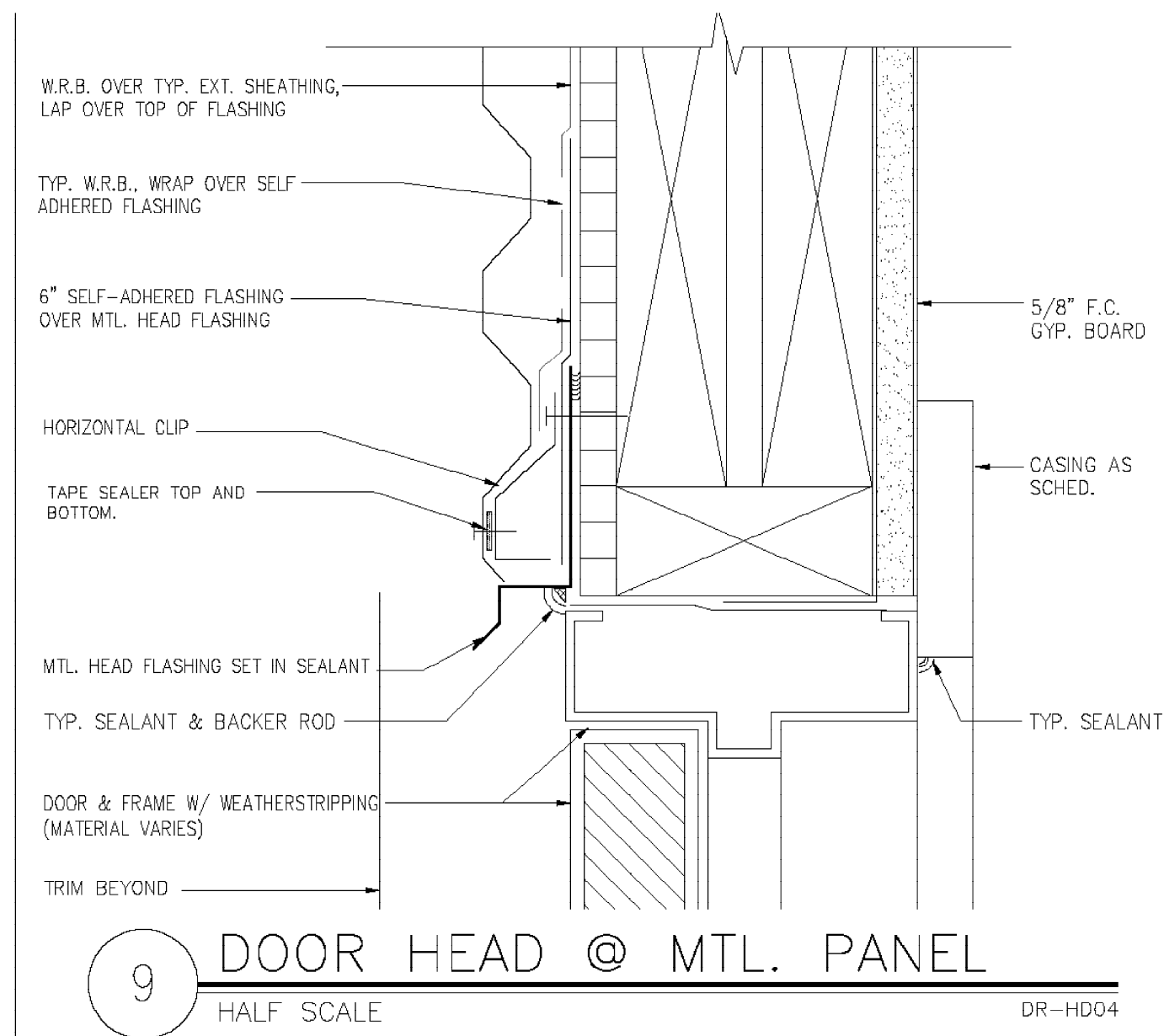
**1 WINDOW SILL @ WOOD SIDING**  
 HALF SCALE WN-SL-01

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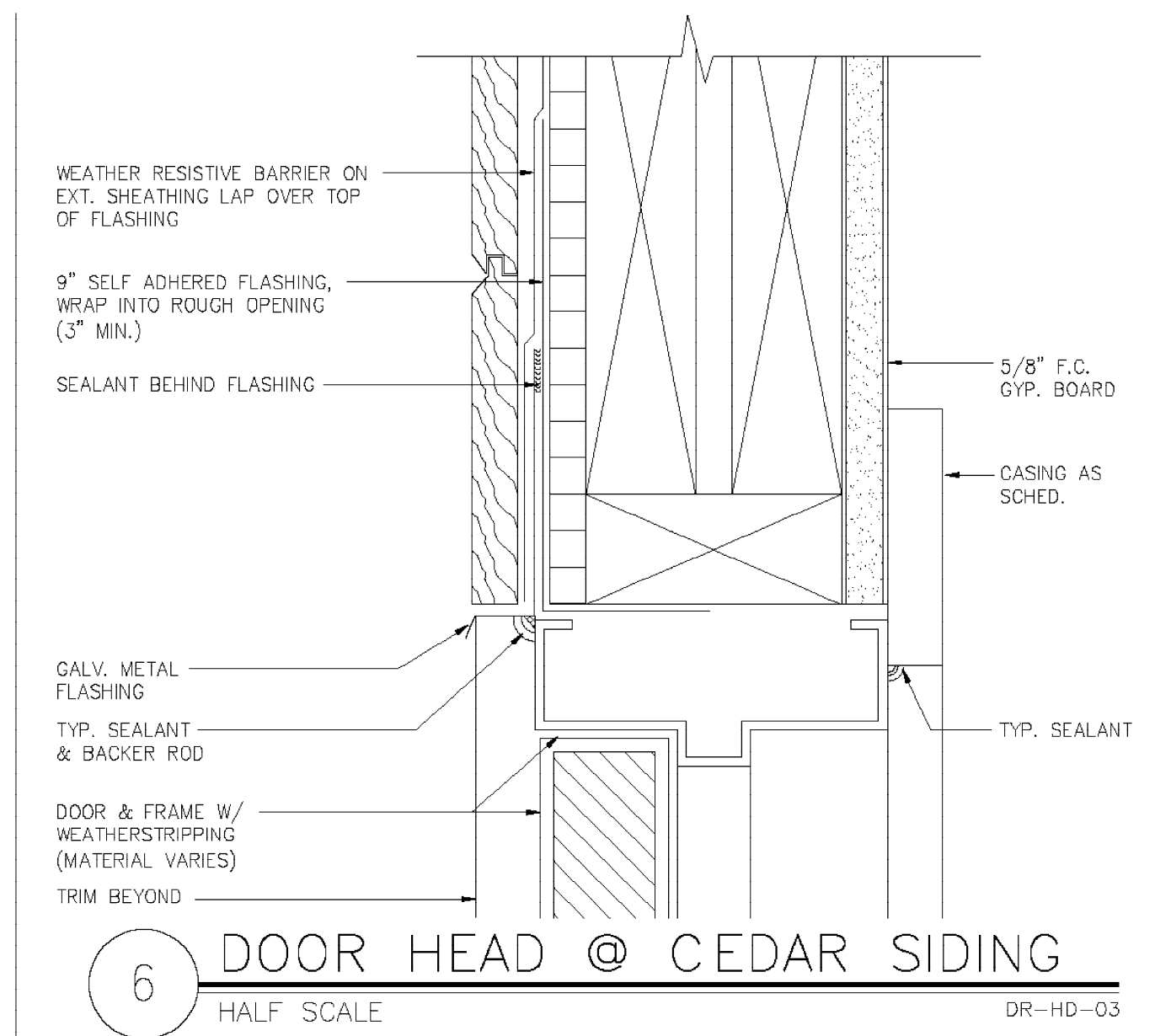
DESIGNED	ATS
DRAWN	ATS
CHECKED	CG
DATE	11/29/2021
REL. FOR CONST.	20211115-158

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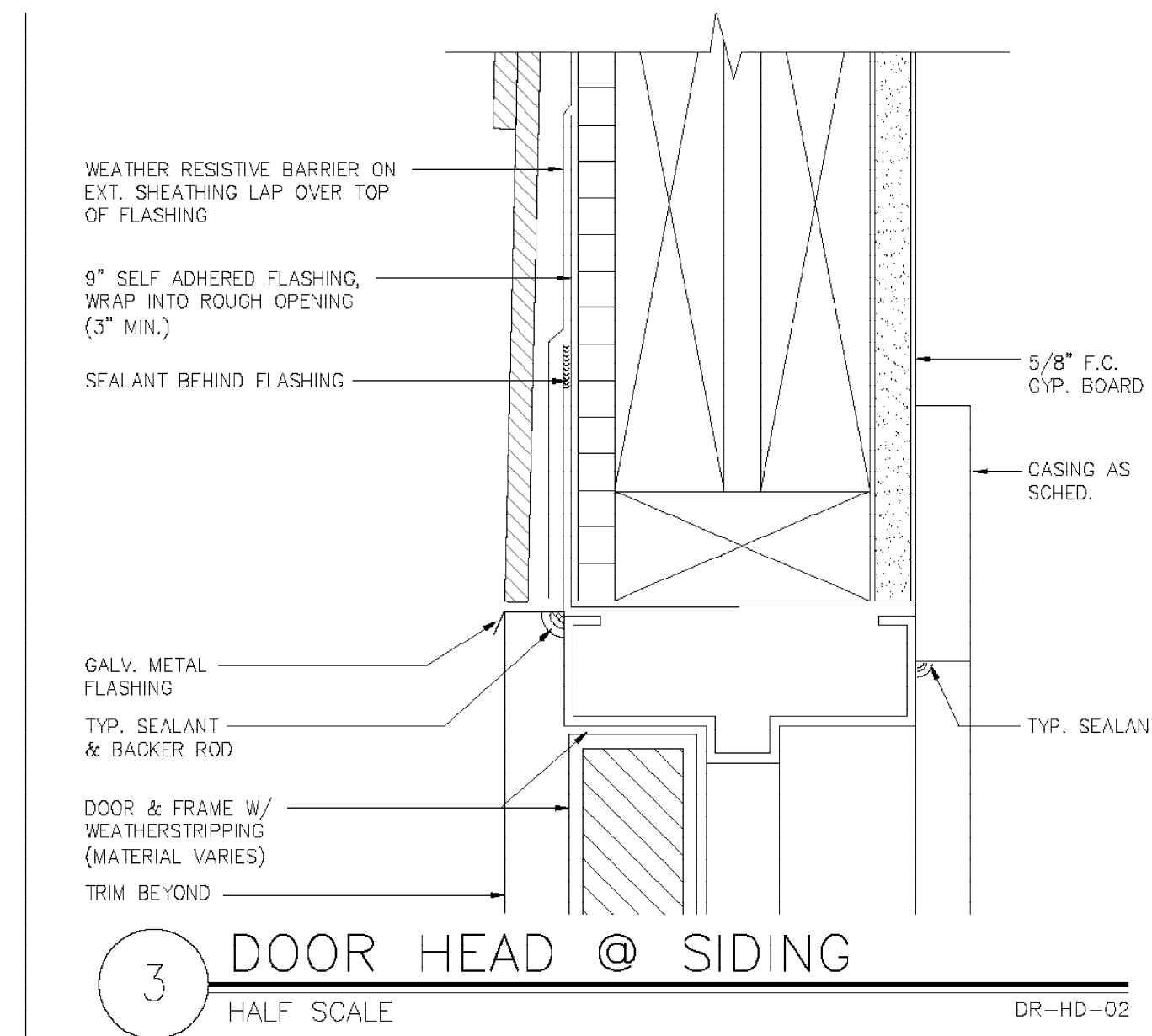
20211117-159  
**A9**



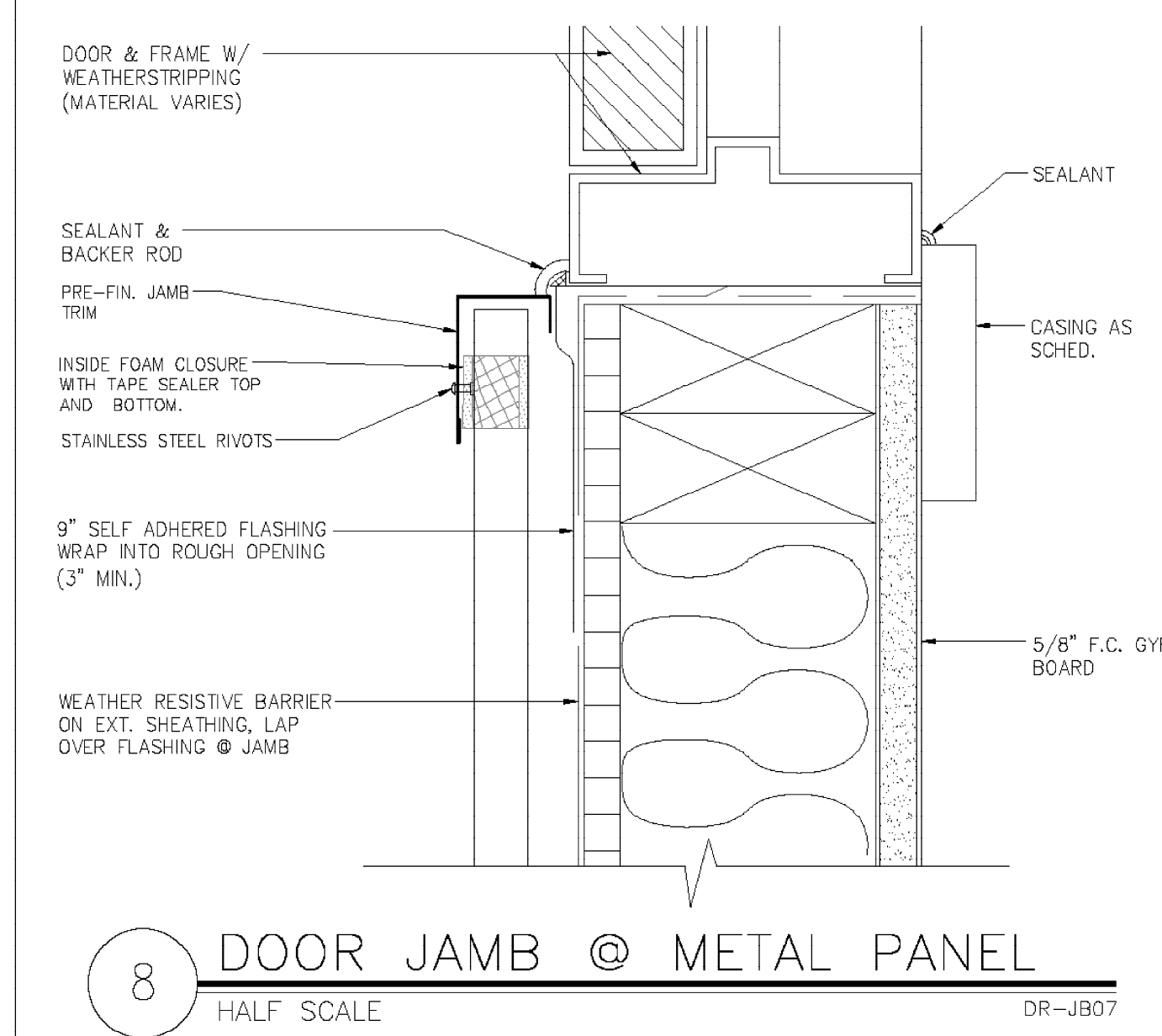
**9 DOOR HEAD @ MTL. PANEL**  
 HALF SCALE DR-HD-04



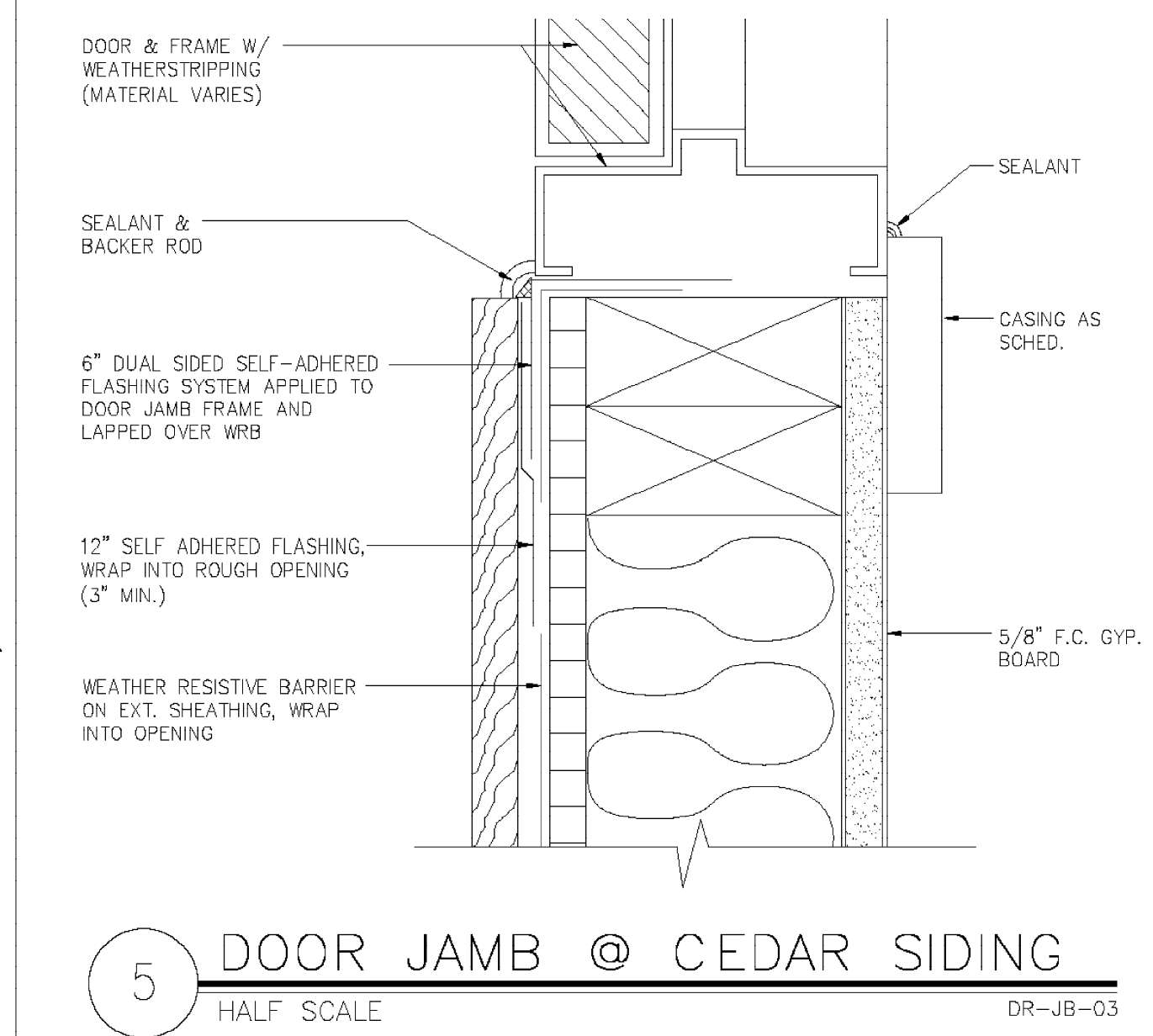
**6 DOOR HEAD @ CEDAR SIDING**  
 HALF SCALE DR-HD-03



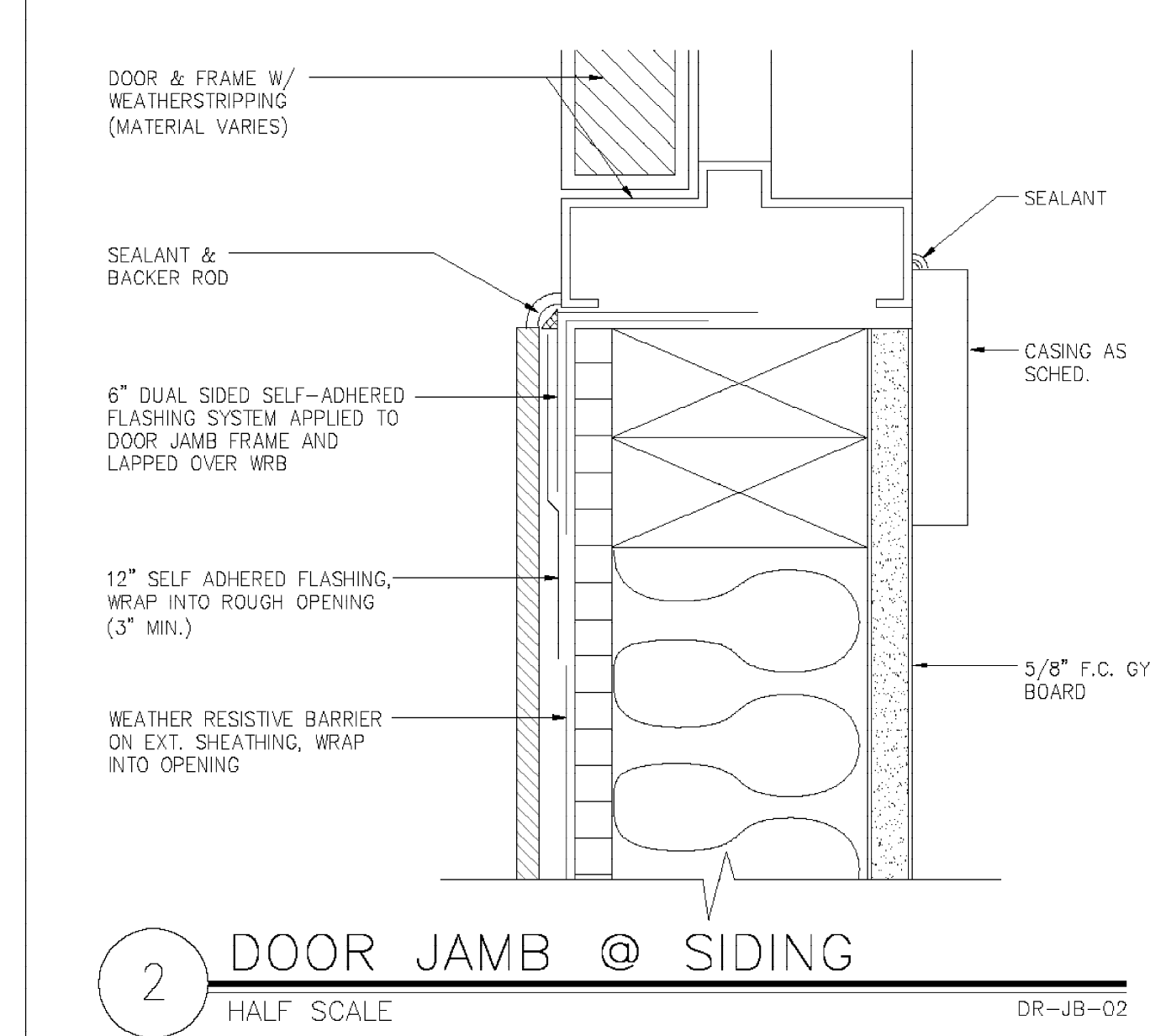
**3 DOOR HEAD @ SIDING**  
 HALF SCALE DR-HD-02



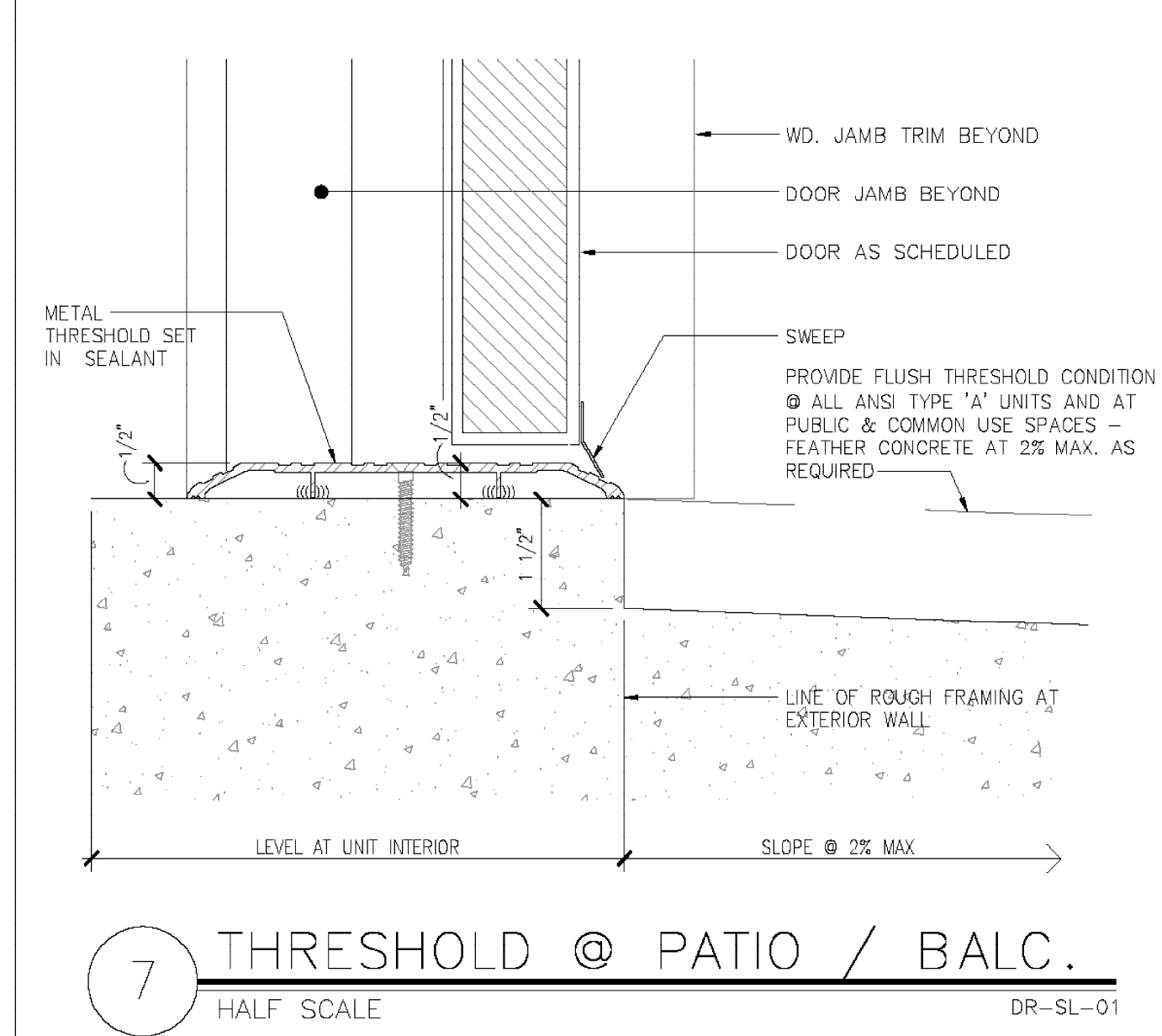
**8 DOOR JAMB @ METAL PANEL**  
 HALF SCALE DR-JB-07



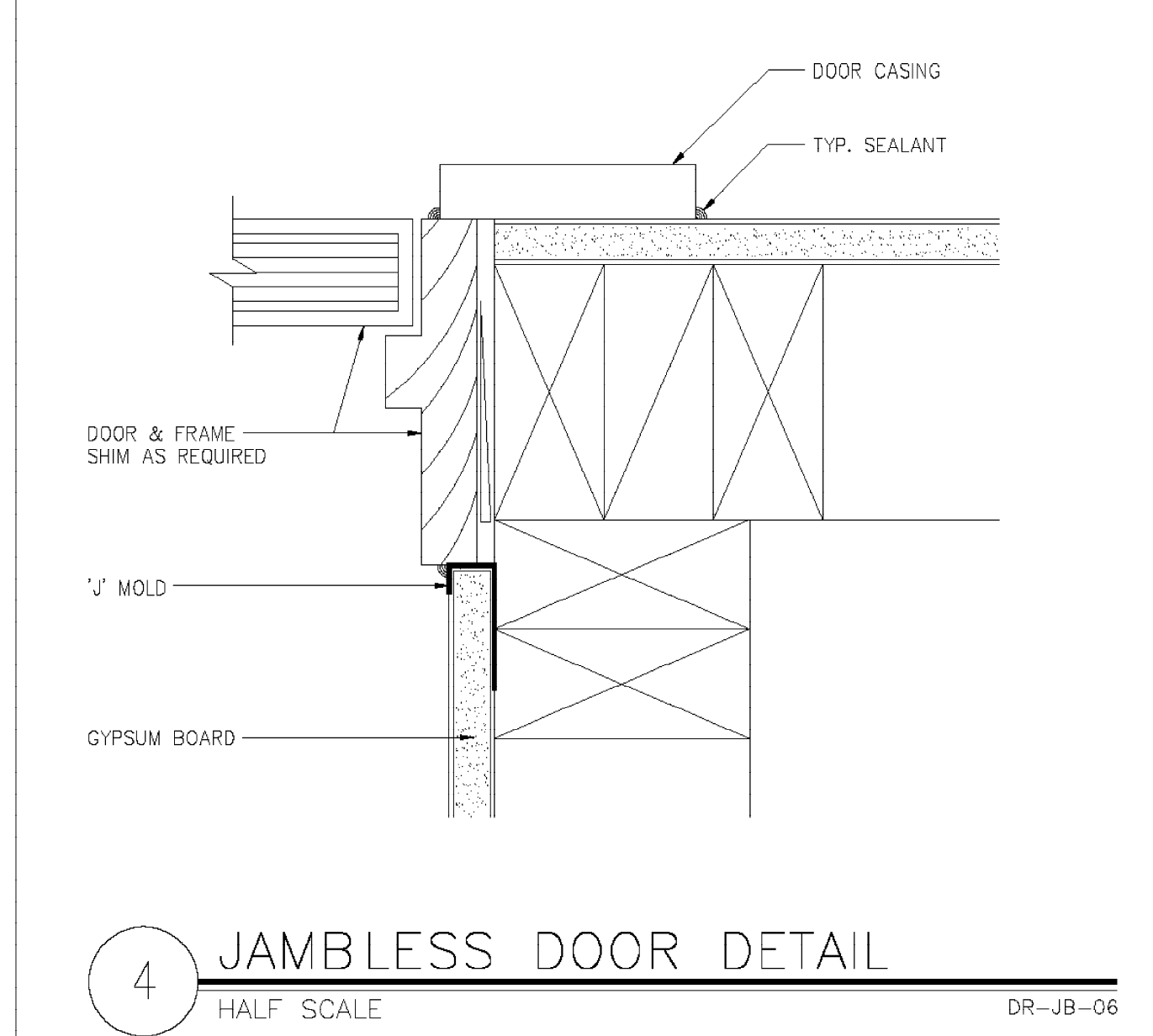
**5 DOOR JAMB @ CEDAR SIDING**  
 HALF SCALE DR-JB-03



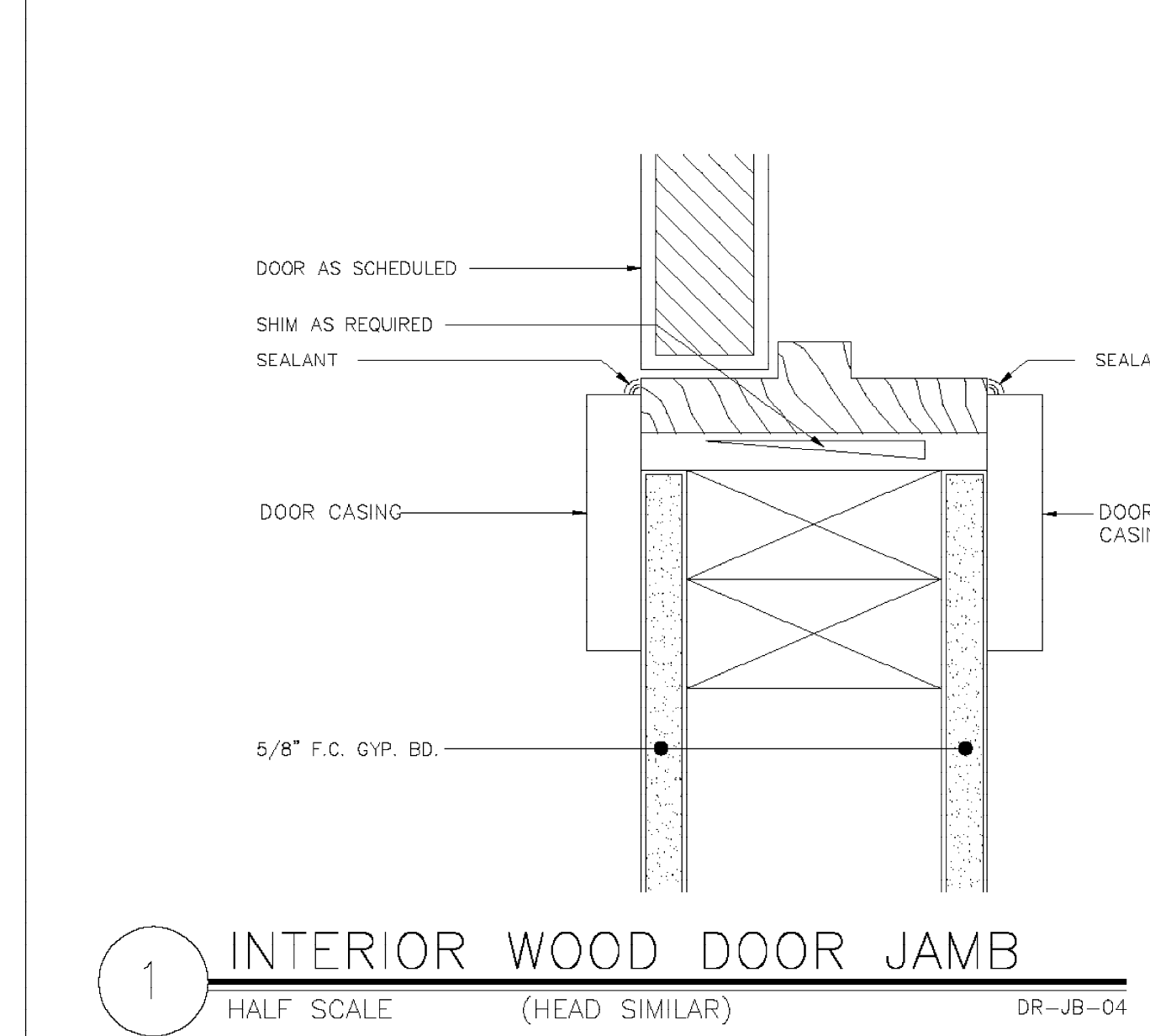
**2 DOOR JAMB @ SIDING**  
 HALF SCALE DR-JB-02



**7 THRESHOLD @ PATIO / BALC.**  
 HALF SCALE DR-SL-01



**4 JAMBLESS DOOR DETAIL**  
 HALF SCALE DR-JB-06



**1 INTERIOR WOOD DOOR JAMB**  
 HALF SCALE (HEAD SIMILAR) DR-JB-04

**DOOR JAMB SECTIONS**

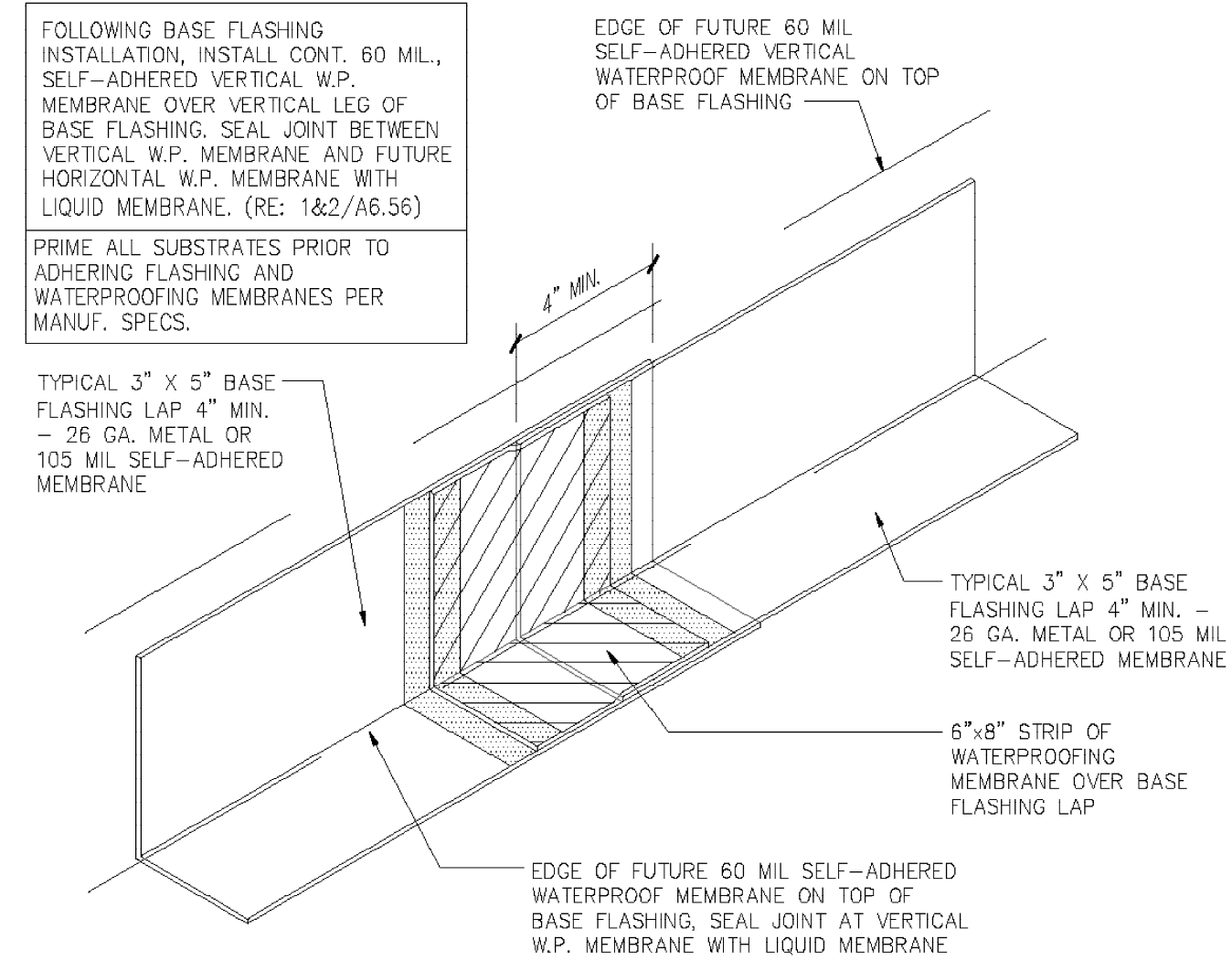
SCALE: 1/4" = 1' - 0"

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 Houston, Texas 77020  
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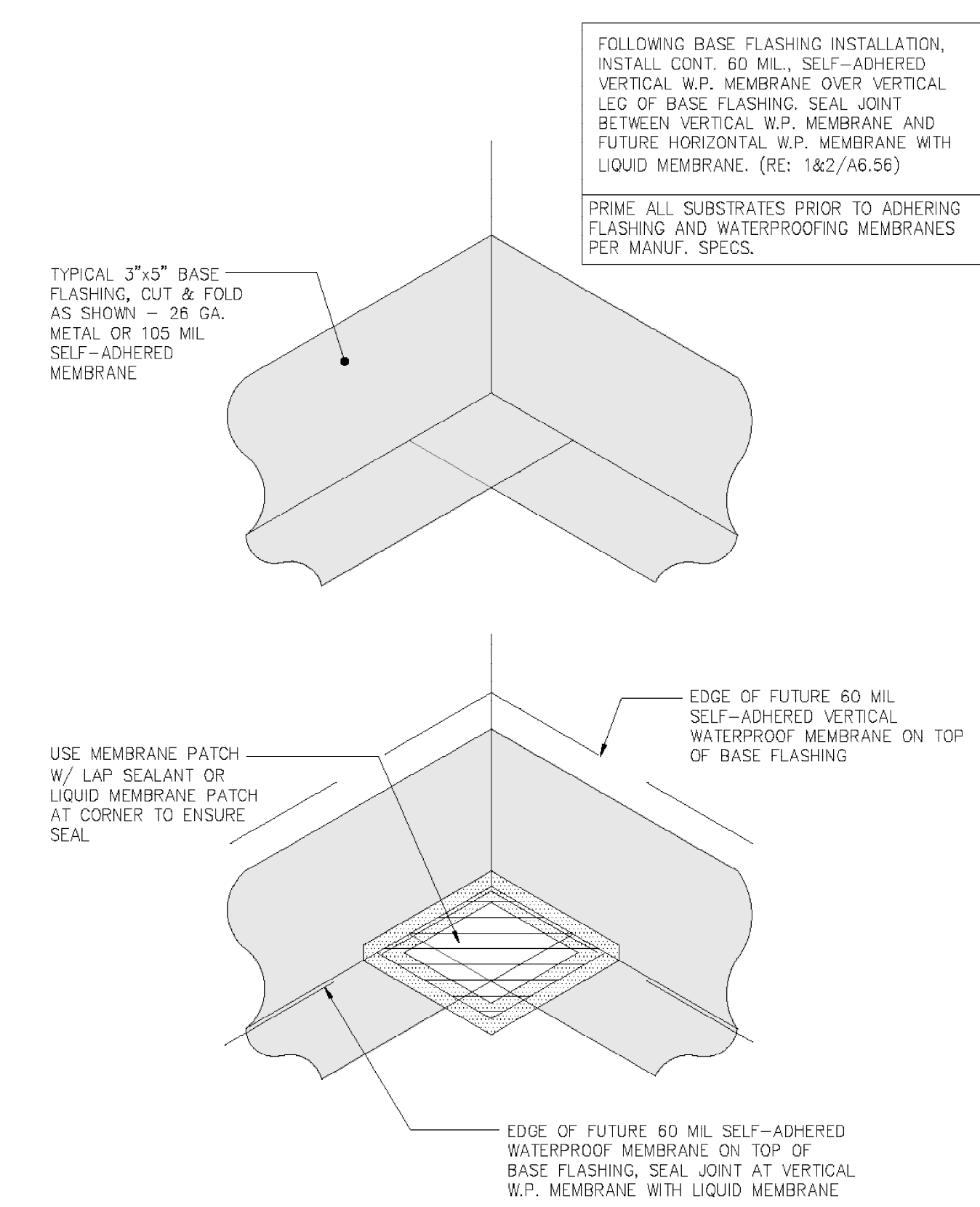
DESIGNED	ATS
DRAWN	ATS
CHECKED	CG
DATE	11/29/2021
REL. FOR CONST.	20211115-158

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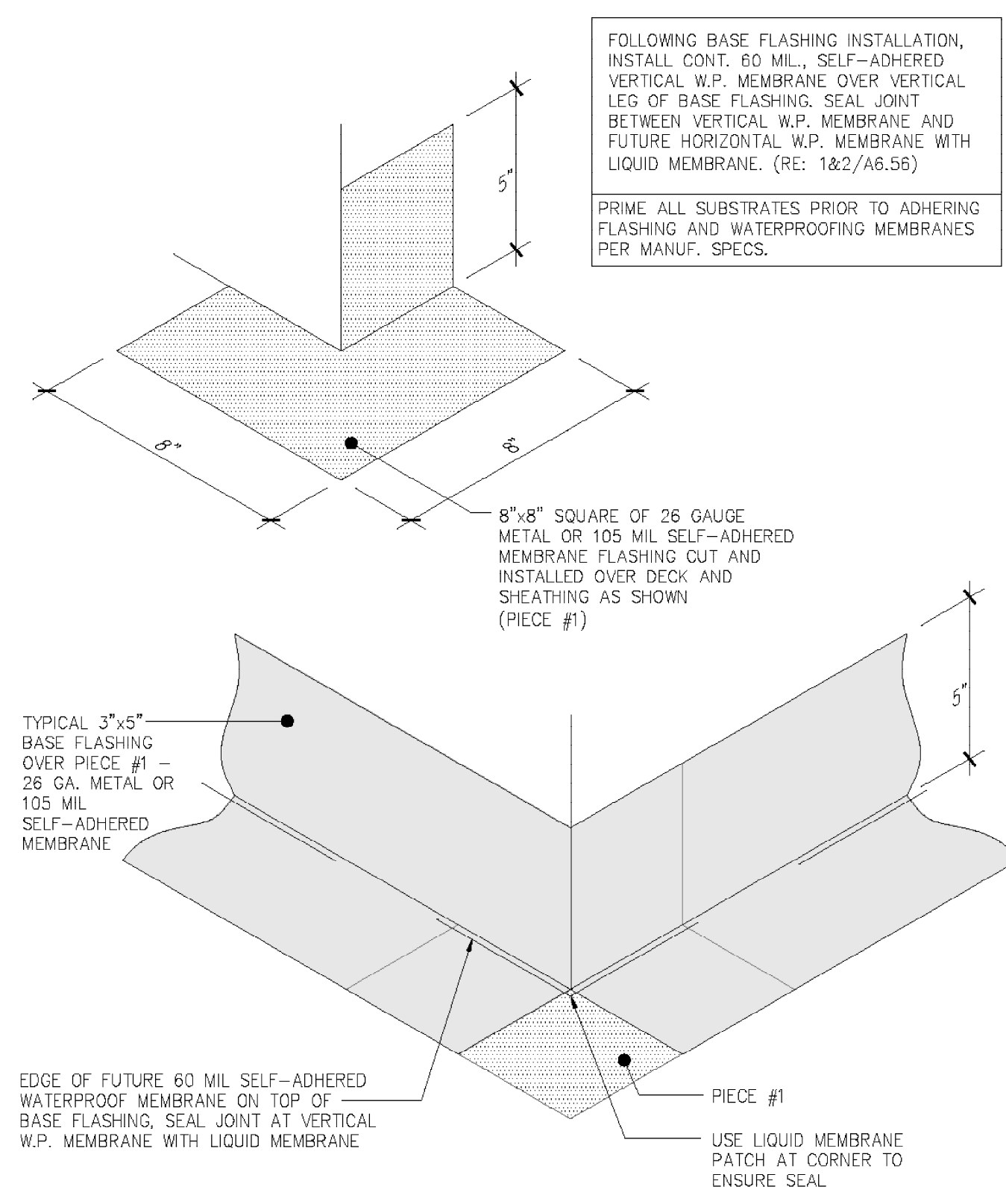
20211117-159  
**A10**



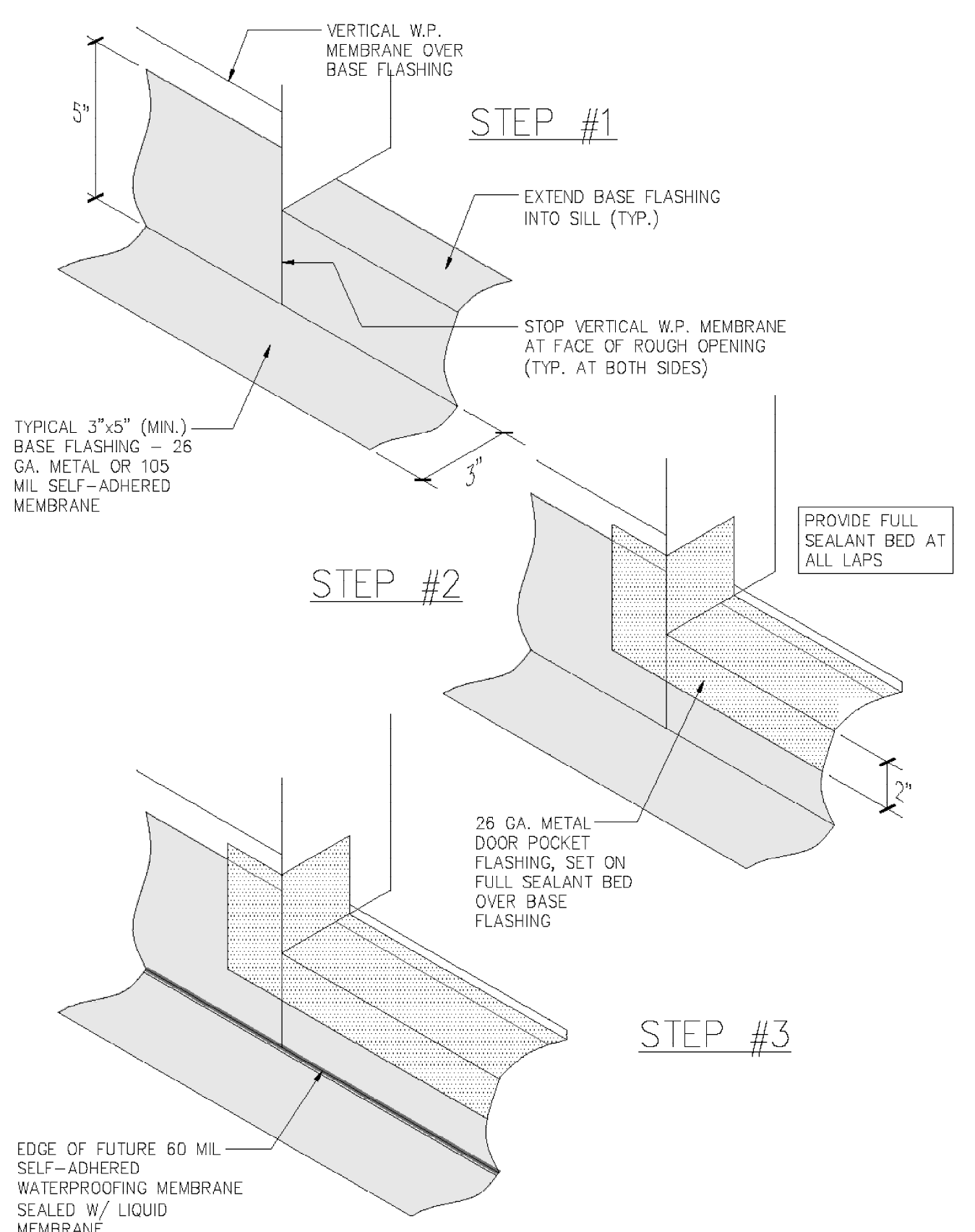
**7 BASE FLASHING LAP DETAIL**  
3"=1'-0" WP-FLASH-LAP



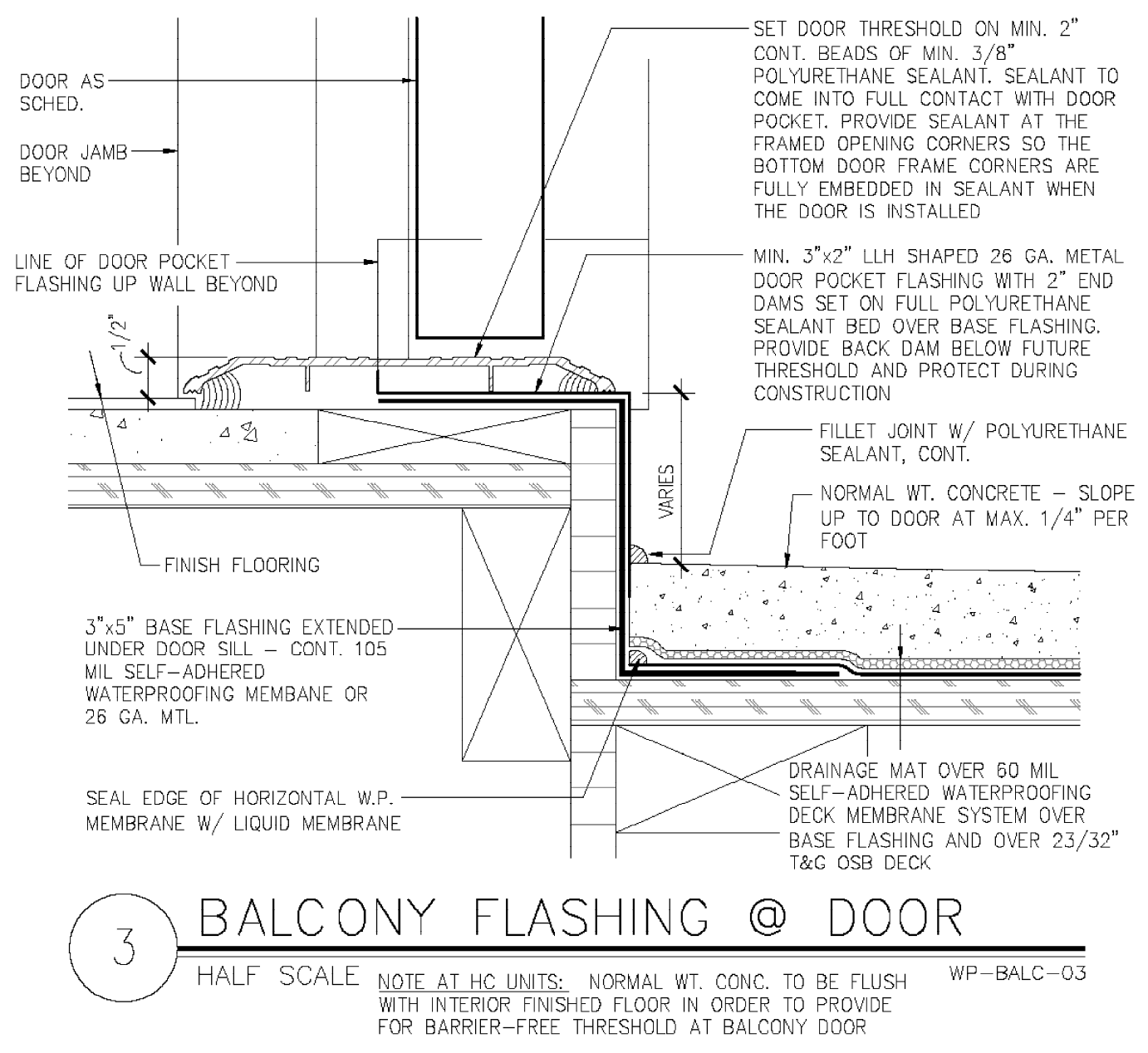
**6 BASE FLASHING (INSIDE CORNER)**  
3"=1'-0" WP-BALC-08



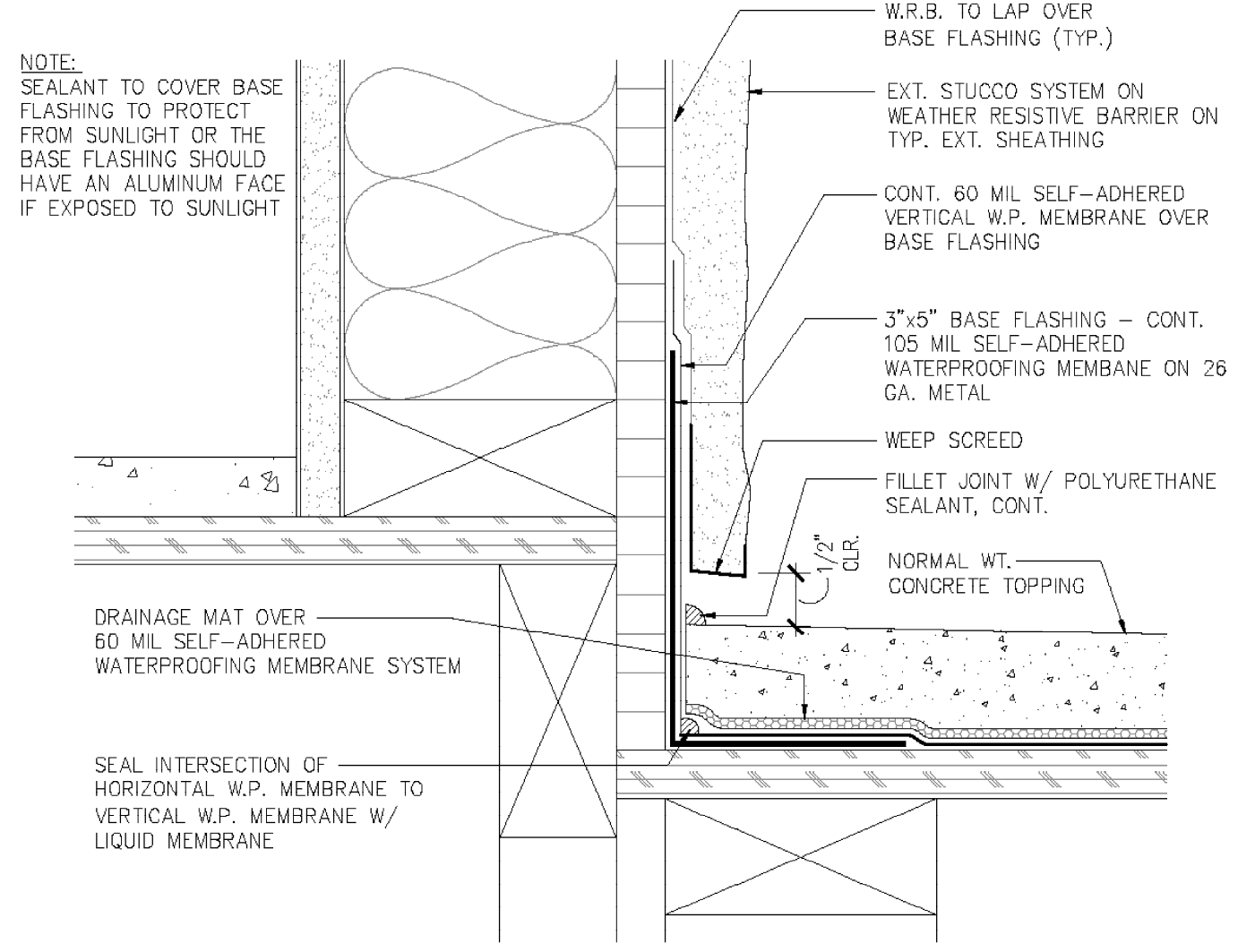
**5 BASE FLASHING (OUTSIDE CORNER)**  
3"=1'-0" WP-BALC-07



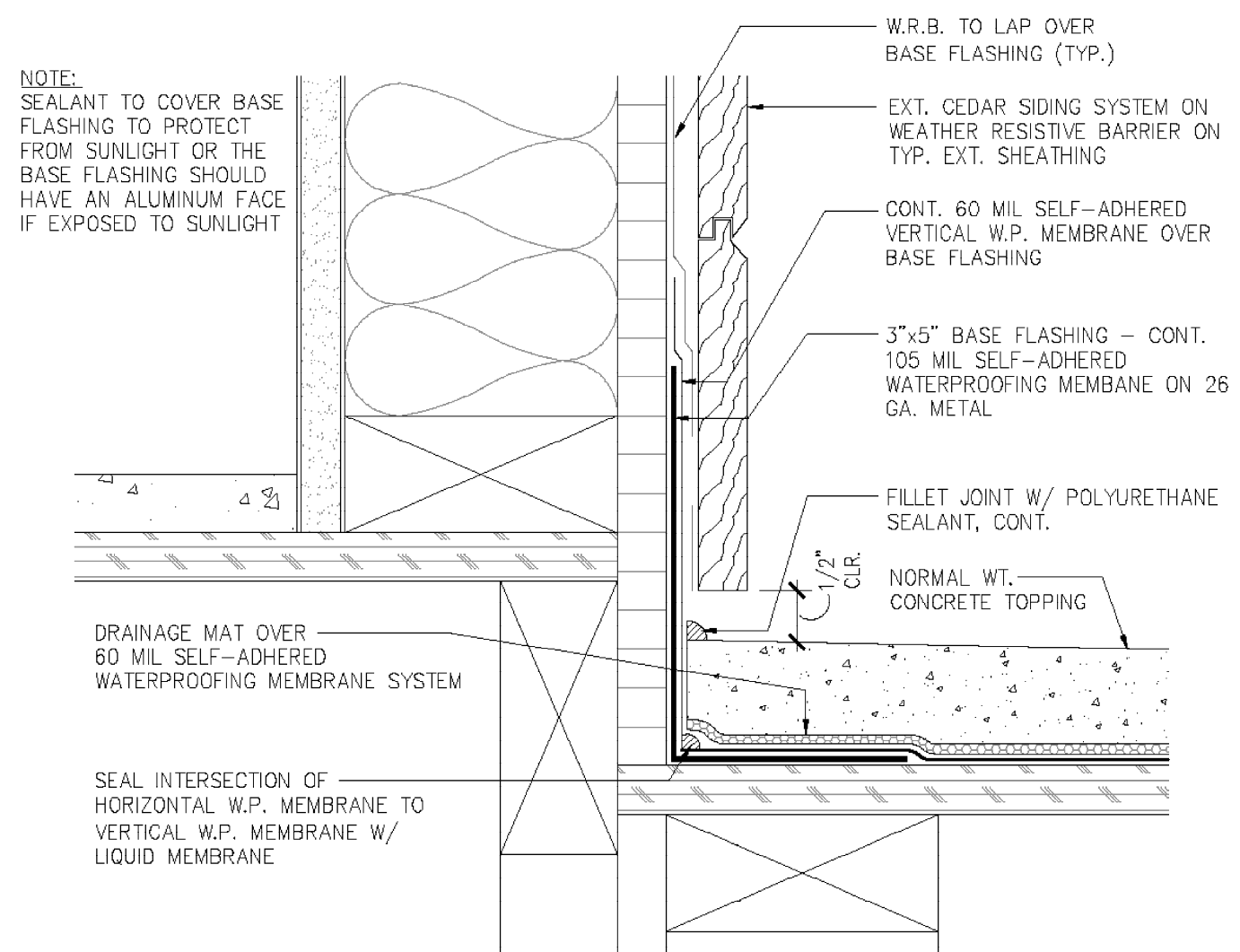
**4 DOOR POCKET FLASHING**  
3"=1'-0" WP-DOOR-PKT



**3 BALCONY FLASHING @ DOOR**  
HALF SCALE NOTE AT HC UNITS: NORMAL WT. CONC. TO BE FLUSH WITH INTERIOR FINISHED FLOOR IN ORDER TO PROVIDE FOR BARRIER-FREE THRESHOLD AT BALCONY DOOR WP-BALC-03



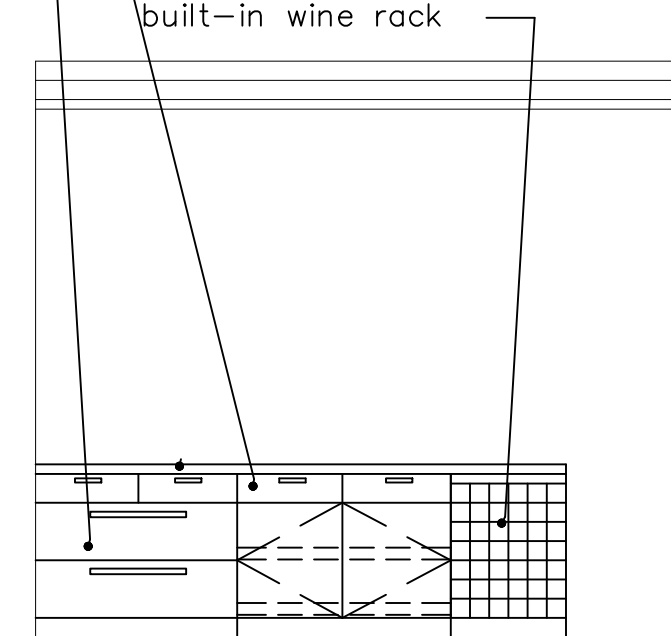
**2 BALCONY FLASHING @ UNIT WALL**  
HALF SCALE WP-BALC-02



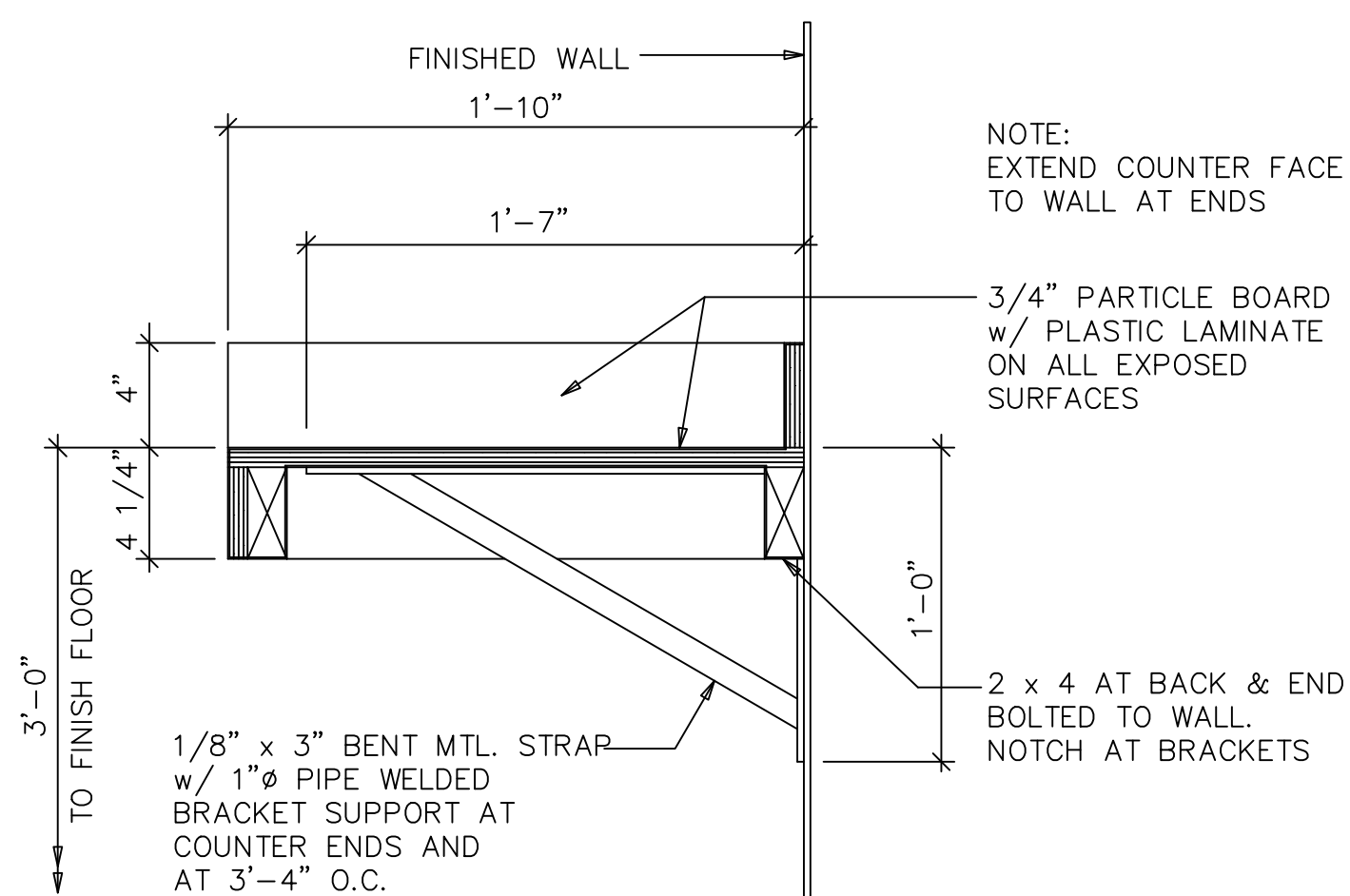
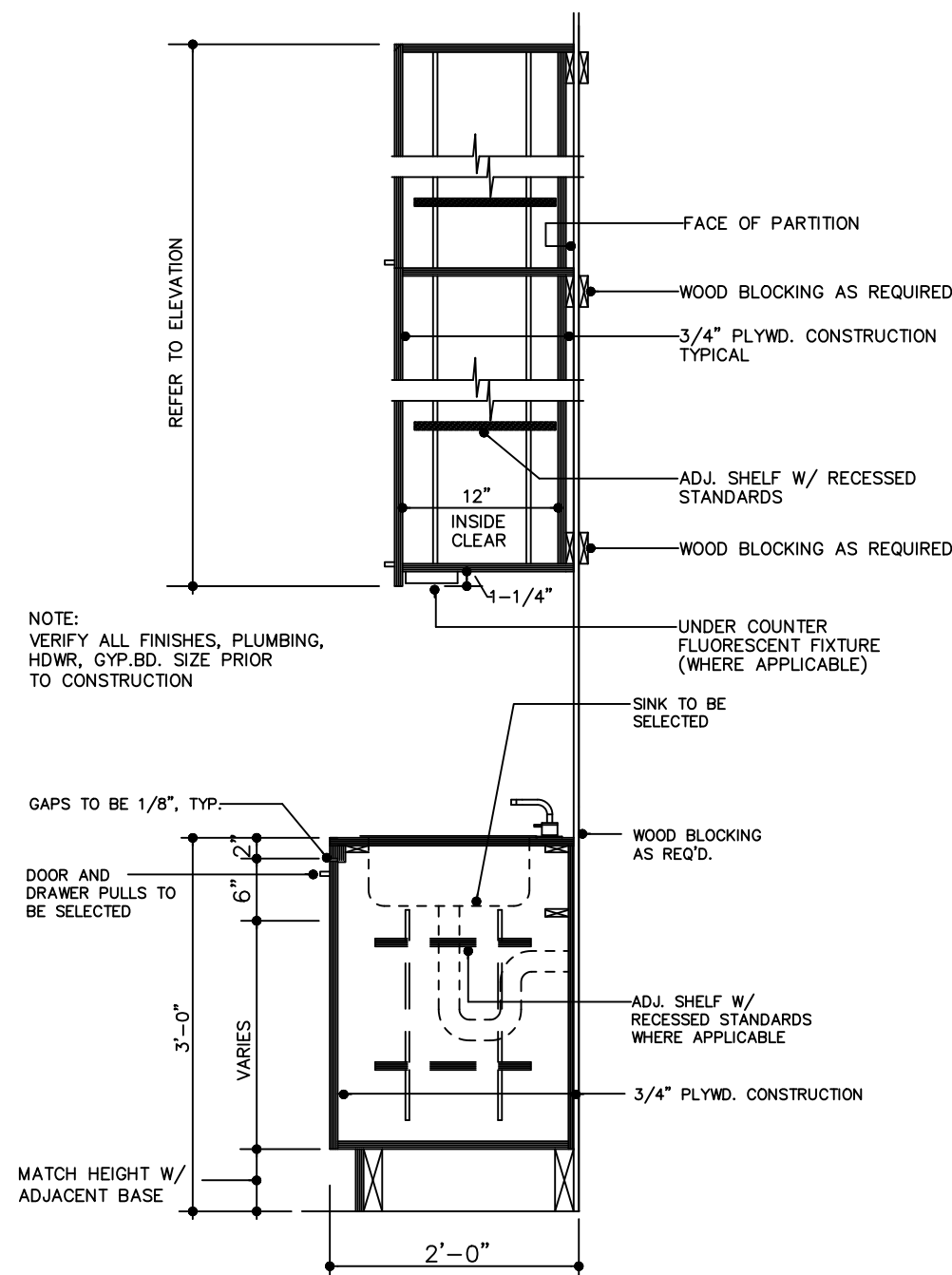
**1 BALCONY FLASHING @ UNIT WALL**  
HALF SCALE WP-BALC-05

PROPOSED REMODEL & ADDITION  
**KB&J Investments LLC**  
 4418 Noble Street  
 Houston, Texas 77020  
 RESIDENTIAL  
 DESIGNED BY: **ATS**  
 DRAWN BY: **ATS**  
 CHECKED BY: **CG**  
 DATE: 11/29/2021  
 REL. FOR CONST. 20211115-158  
**ATS DESIGN INC.**  
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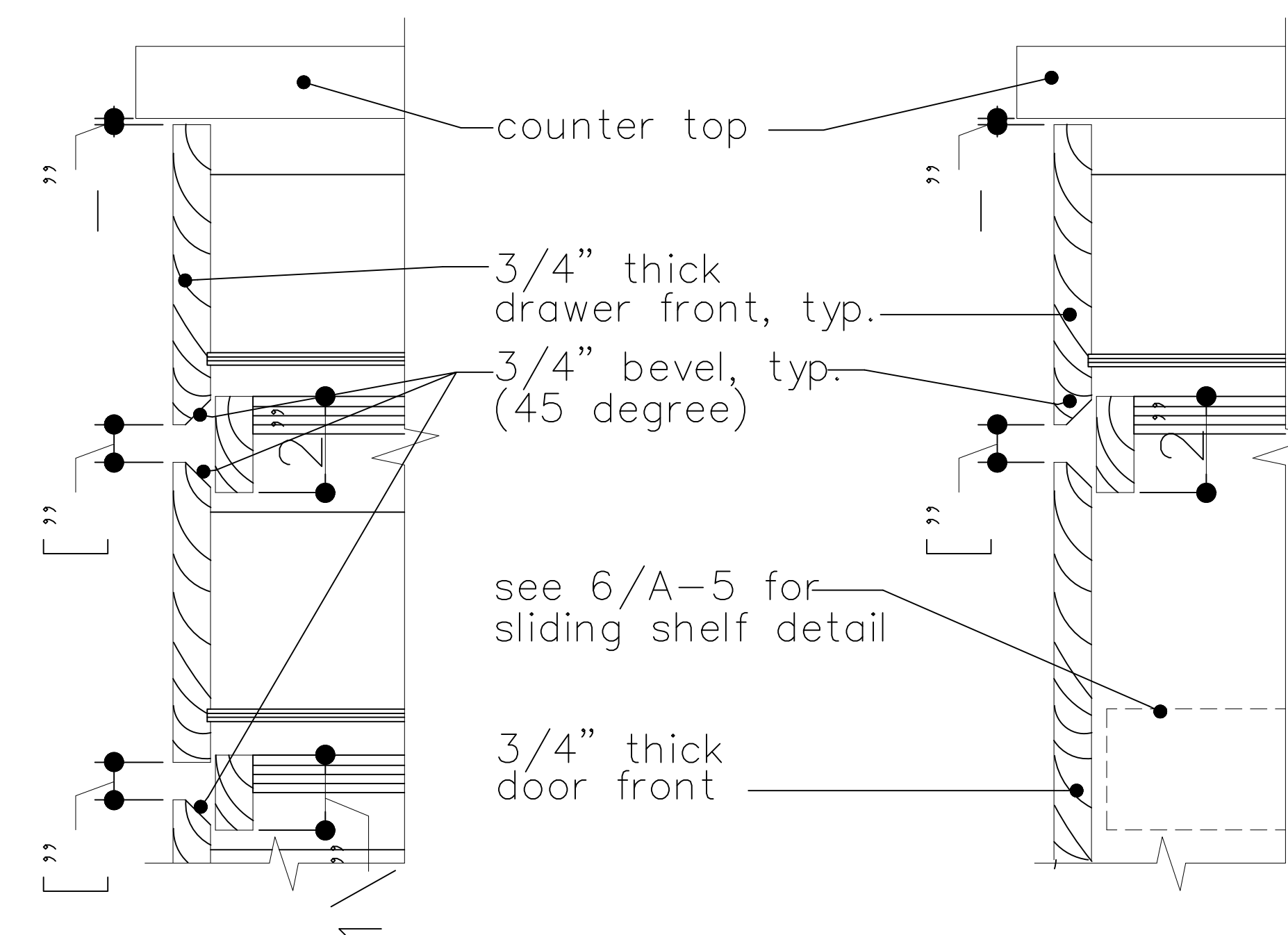
42"W, 2 drw. legal size lateral file  
 6" drawer with enclosed pull-out shelves below on heavy duty epoxy coated glides, typ.  
 lacquer box with drawers and pull-out shelves beyond doors  
 built-in wine rack



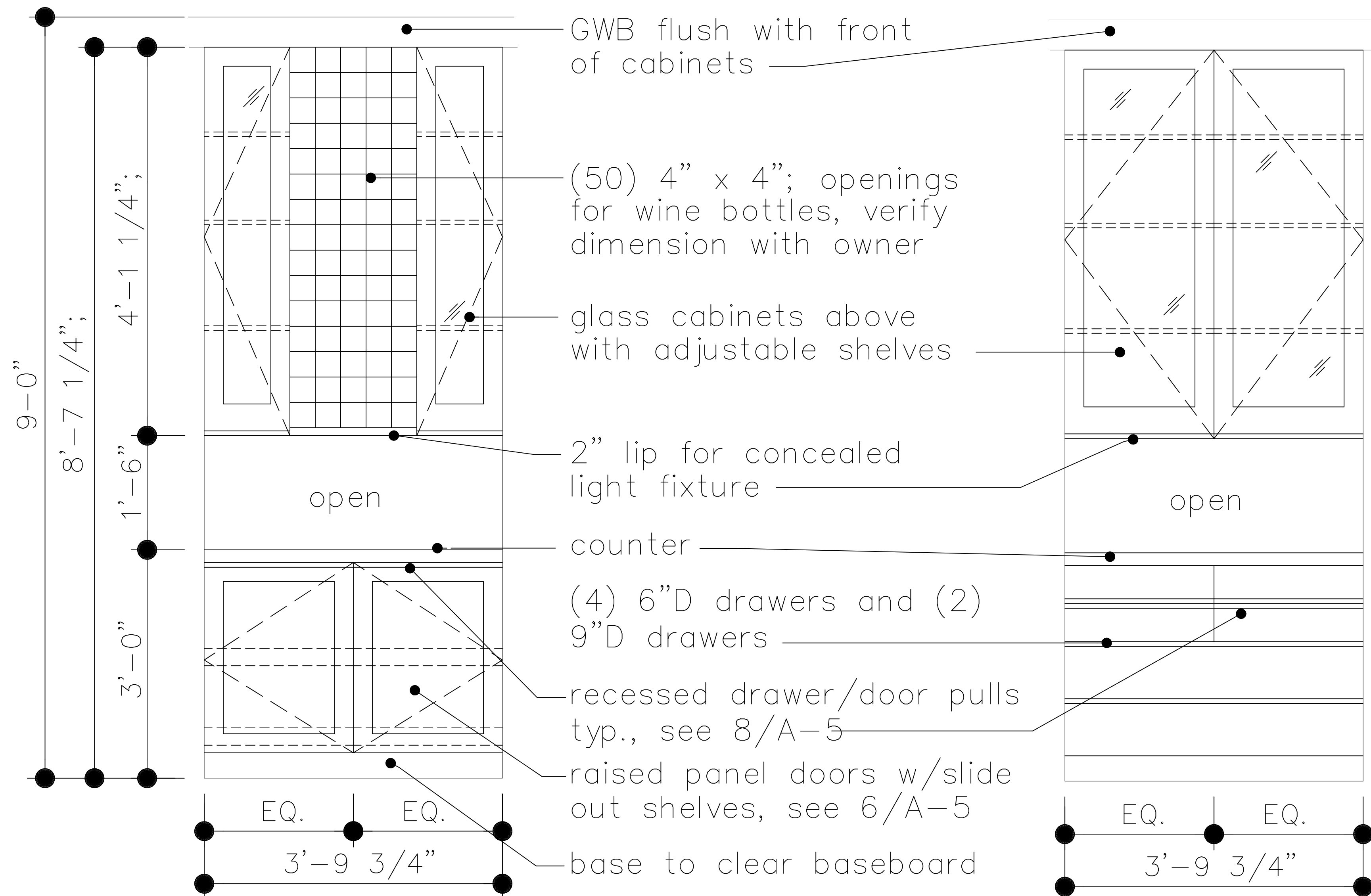
KITCHEN BAR



LAUNDRY COUNTER

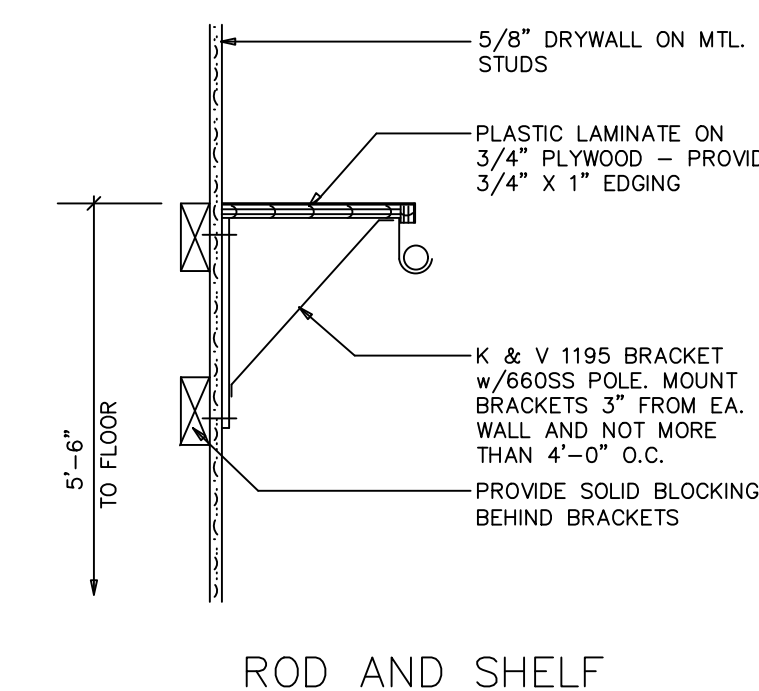
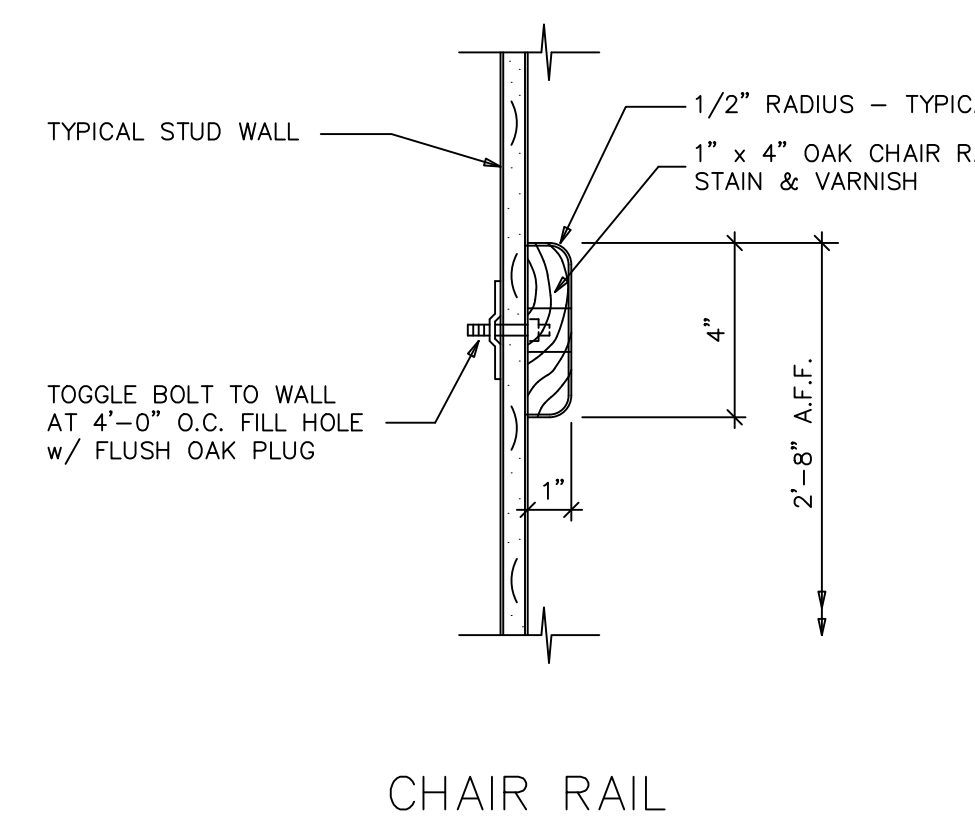
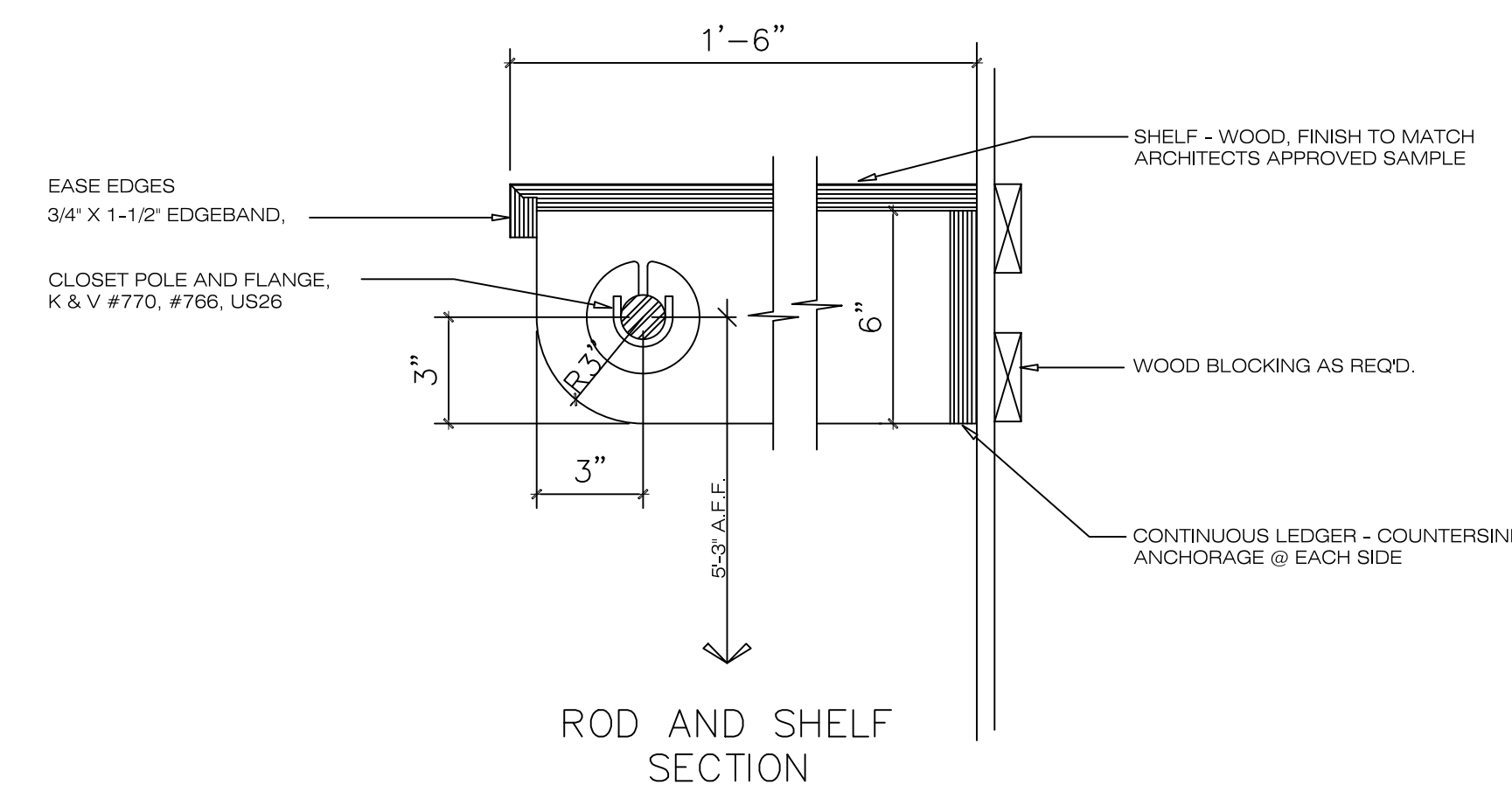


Detail @ Kitchen Counter/Cabinets



OPTION A

OPTION B



SECTIONS & DETAILS

SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE

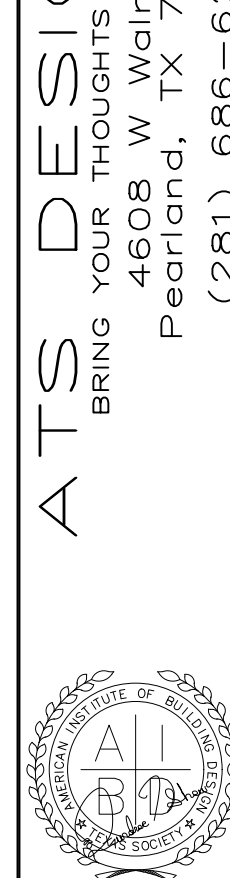
NO.	DESCRIPTION	DATE

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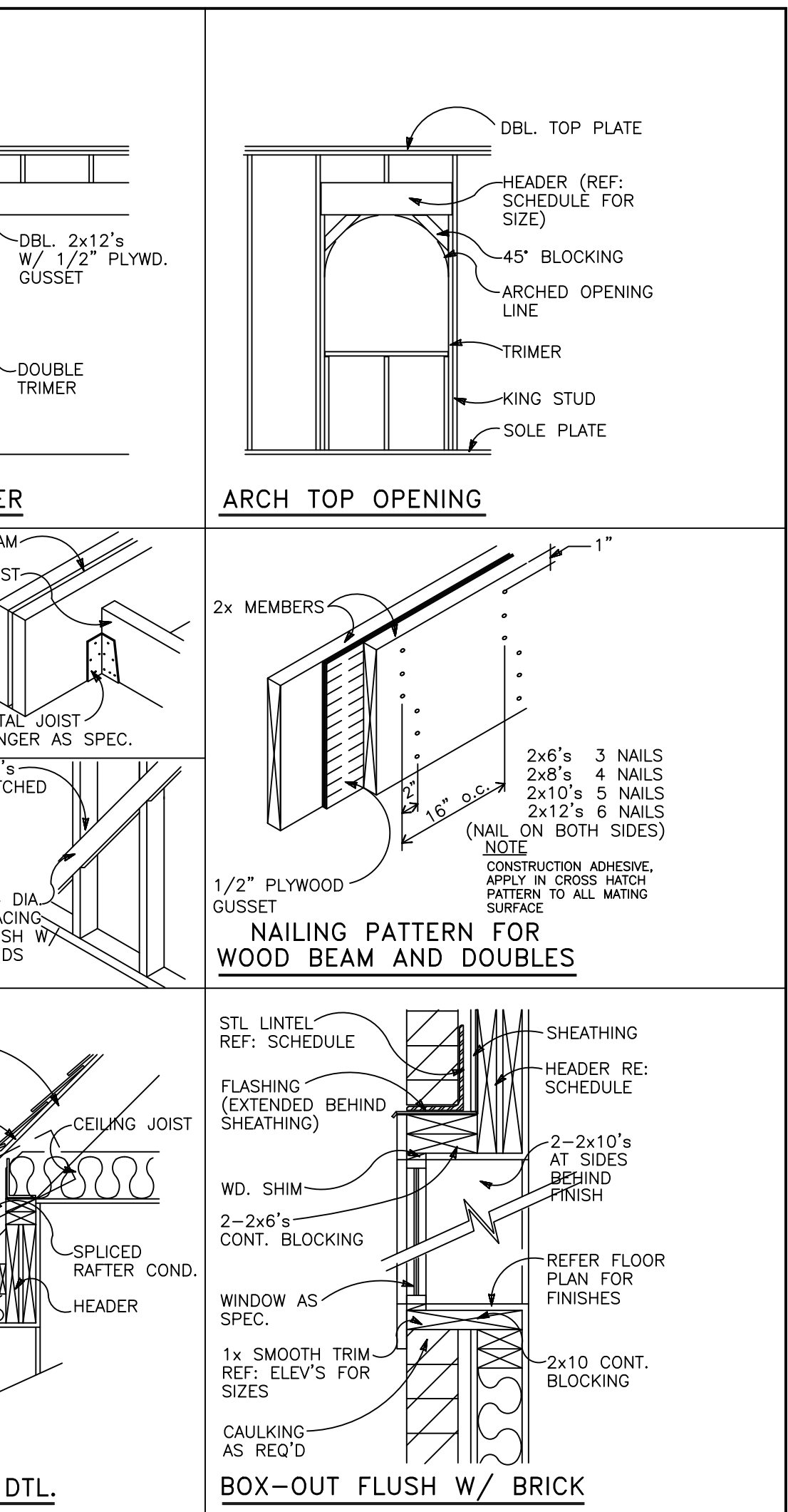
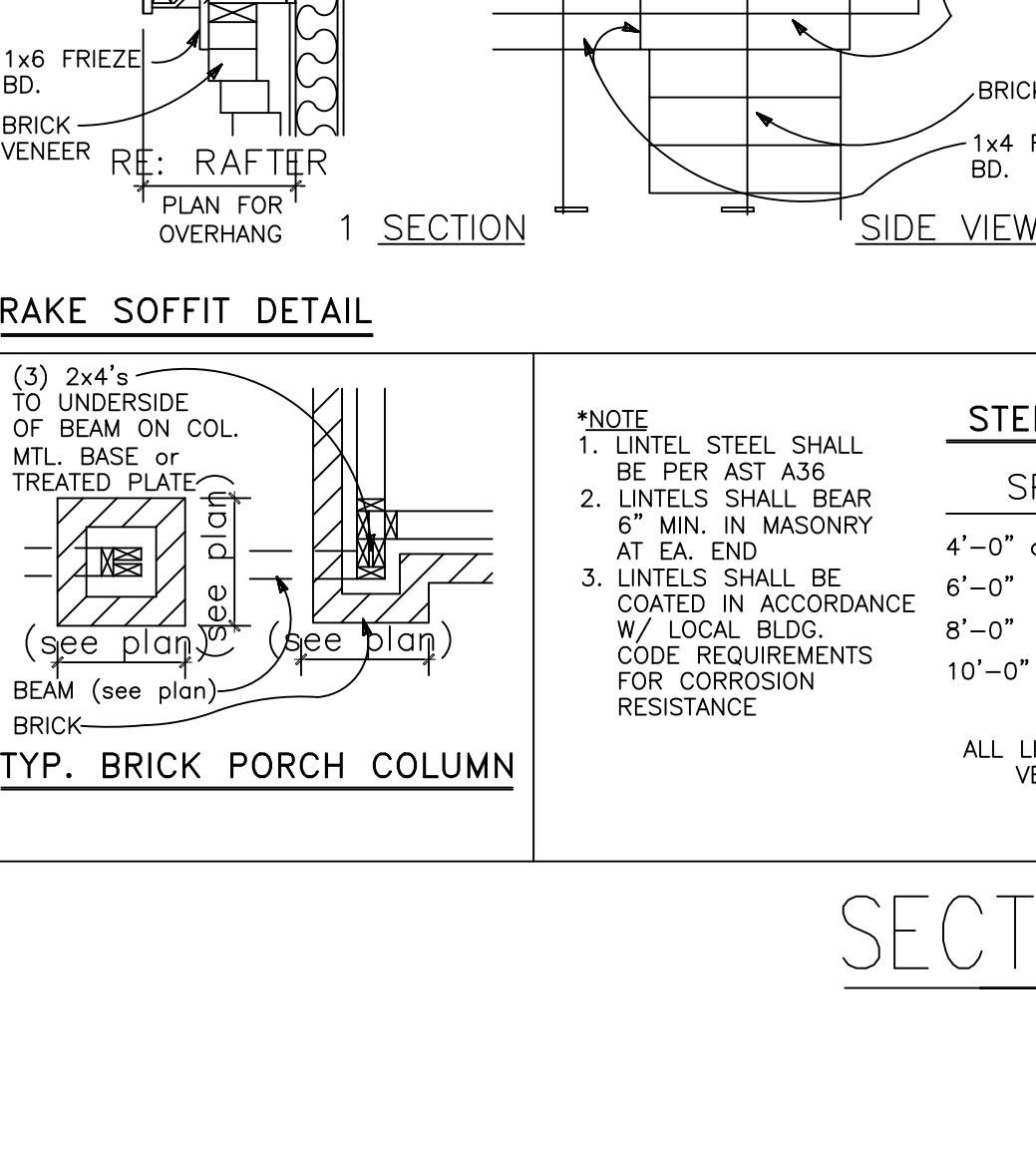
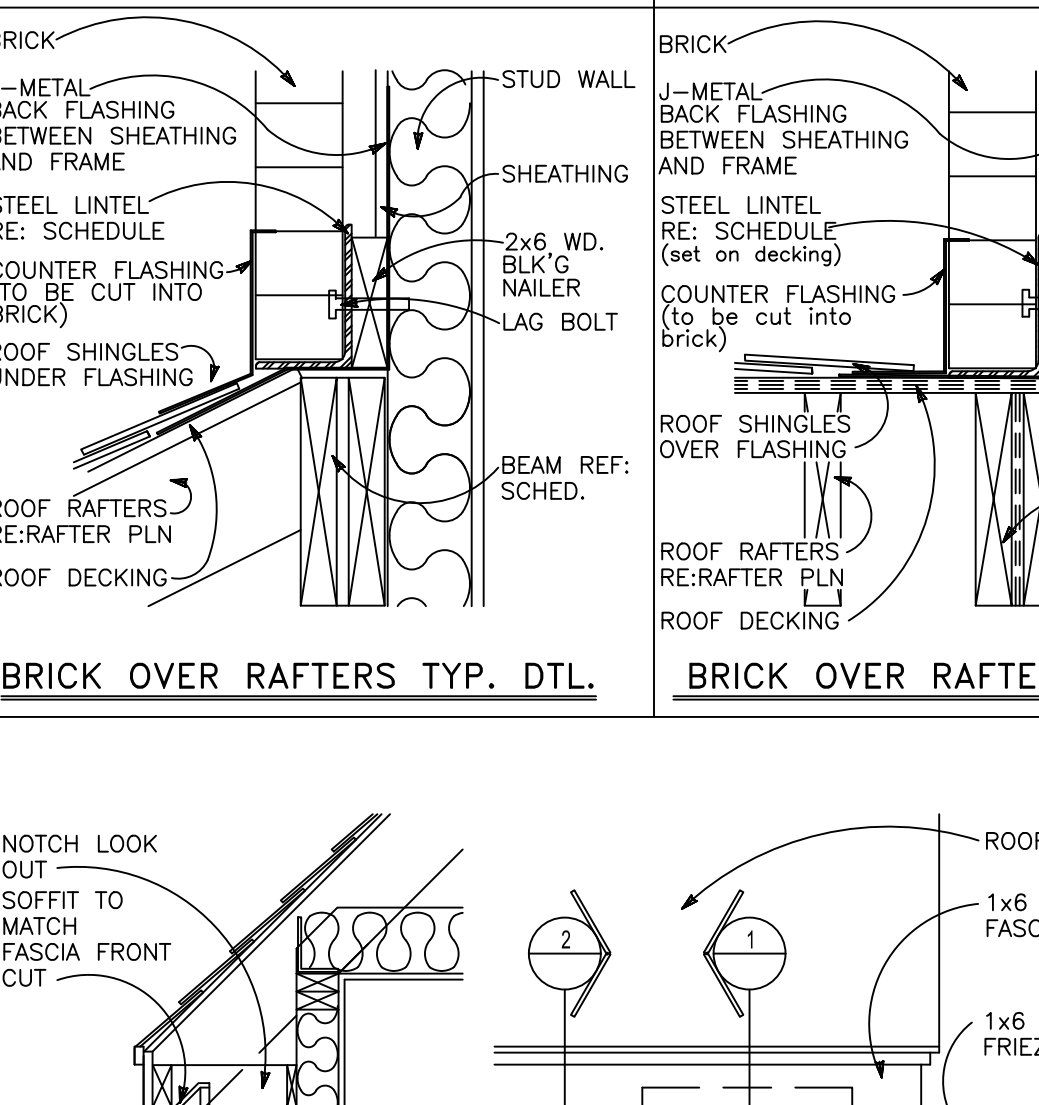
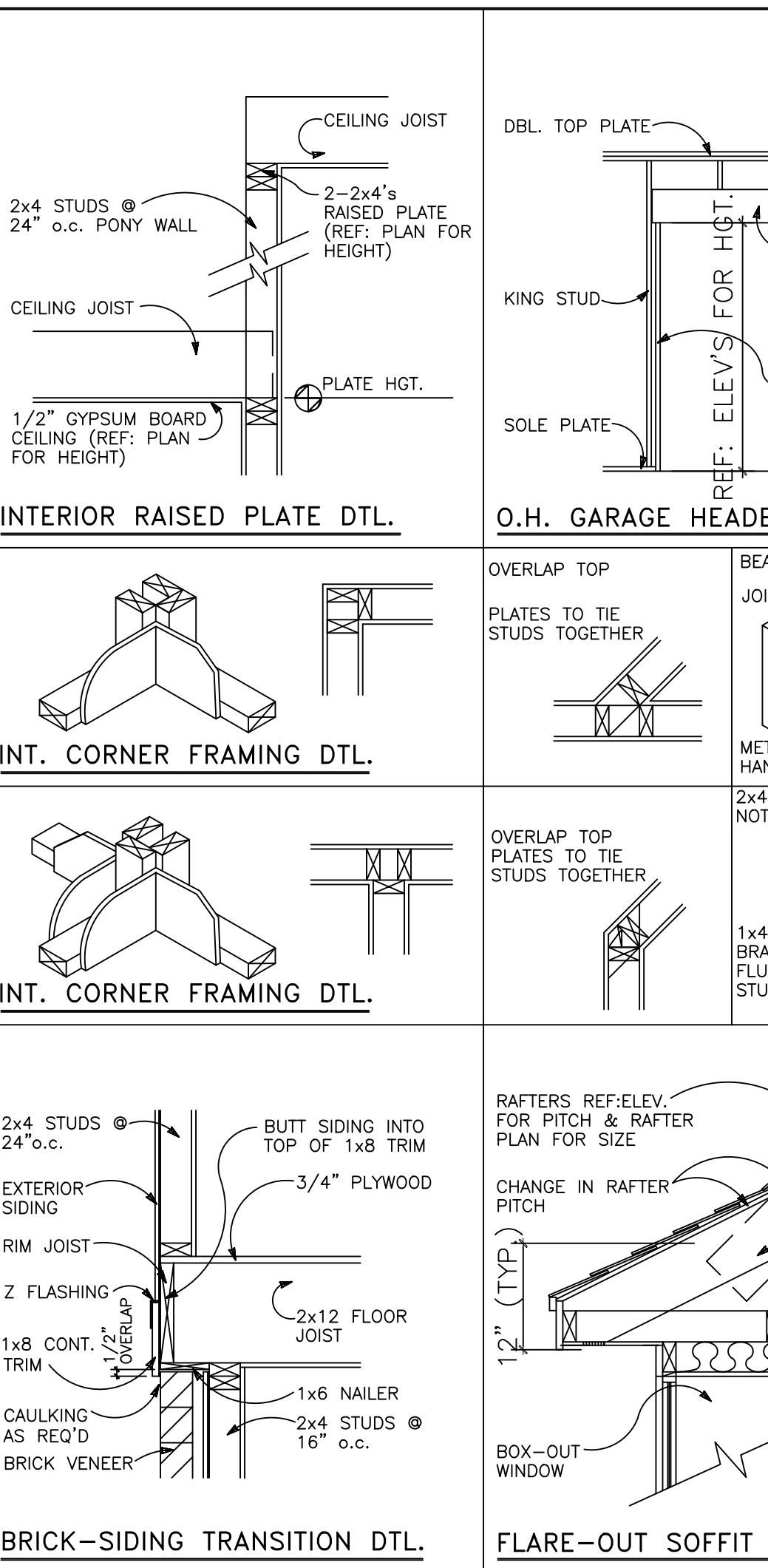
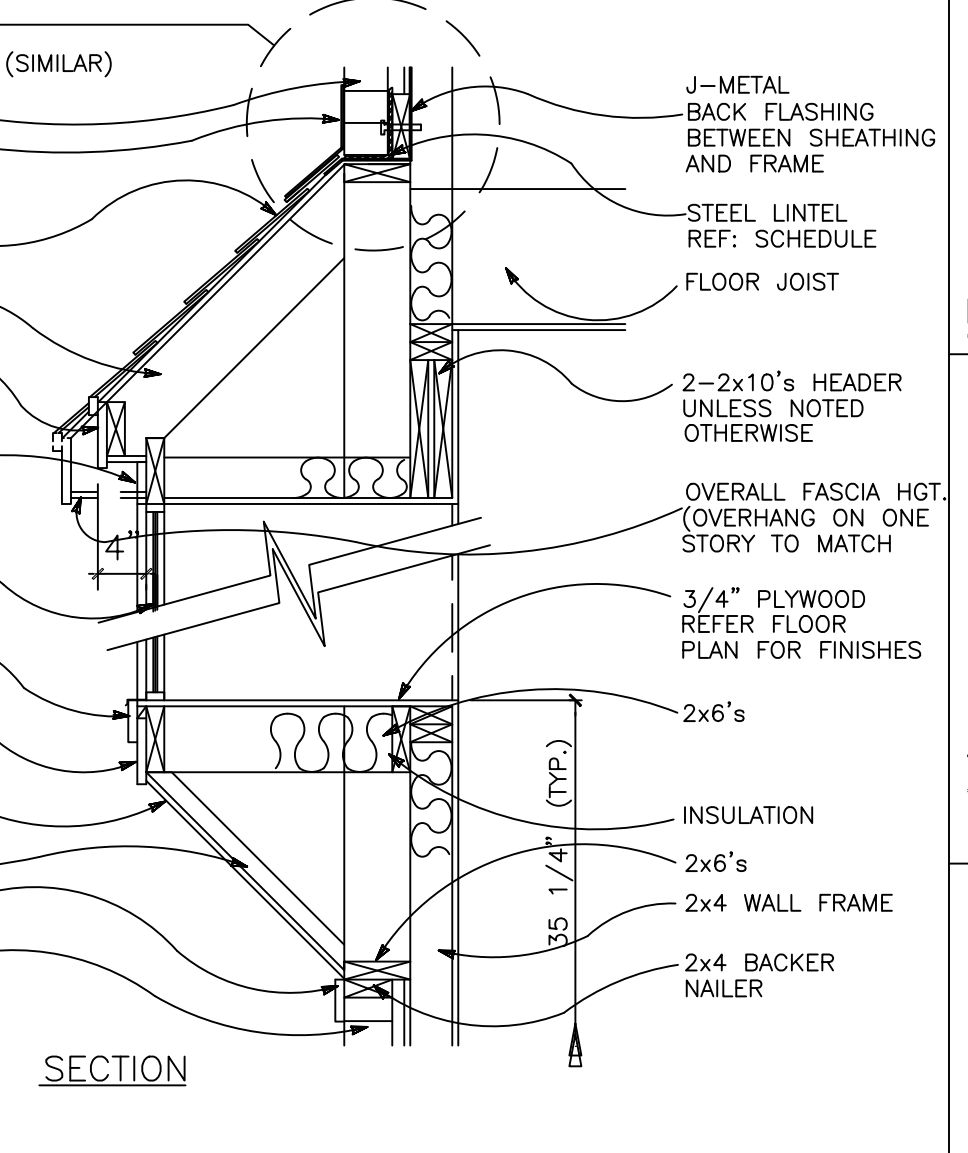
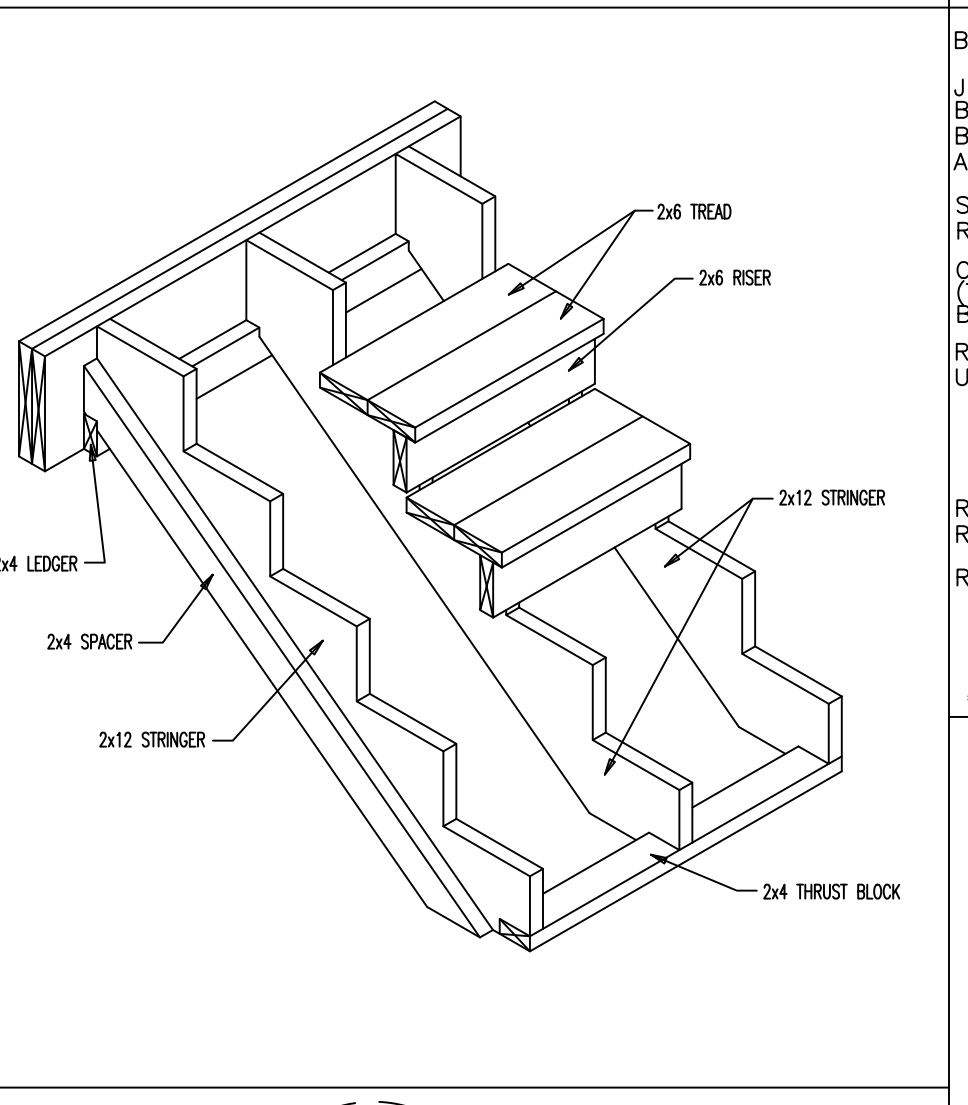
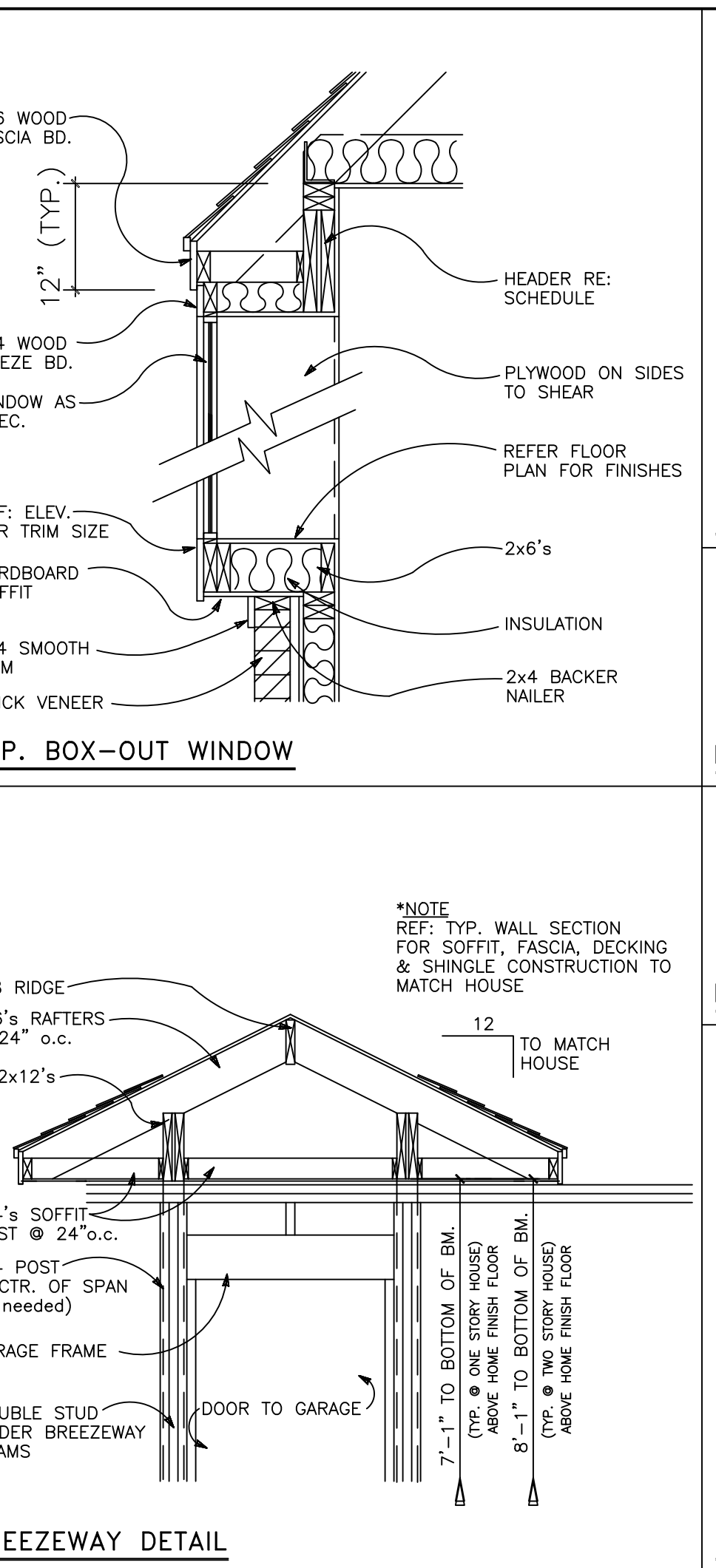
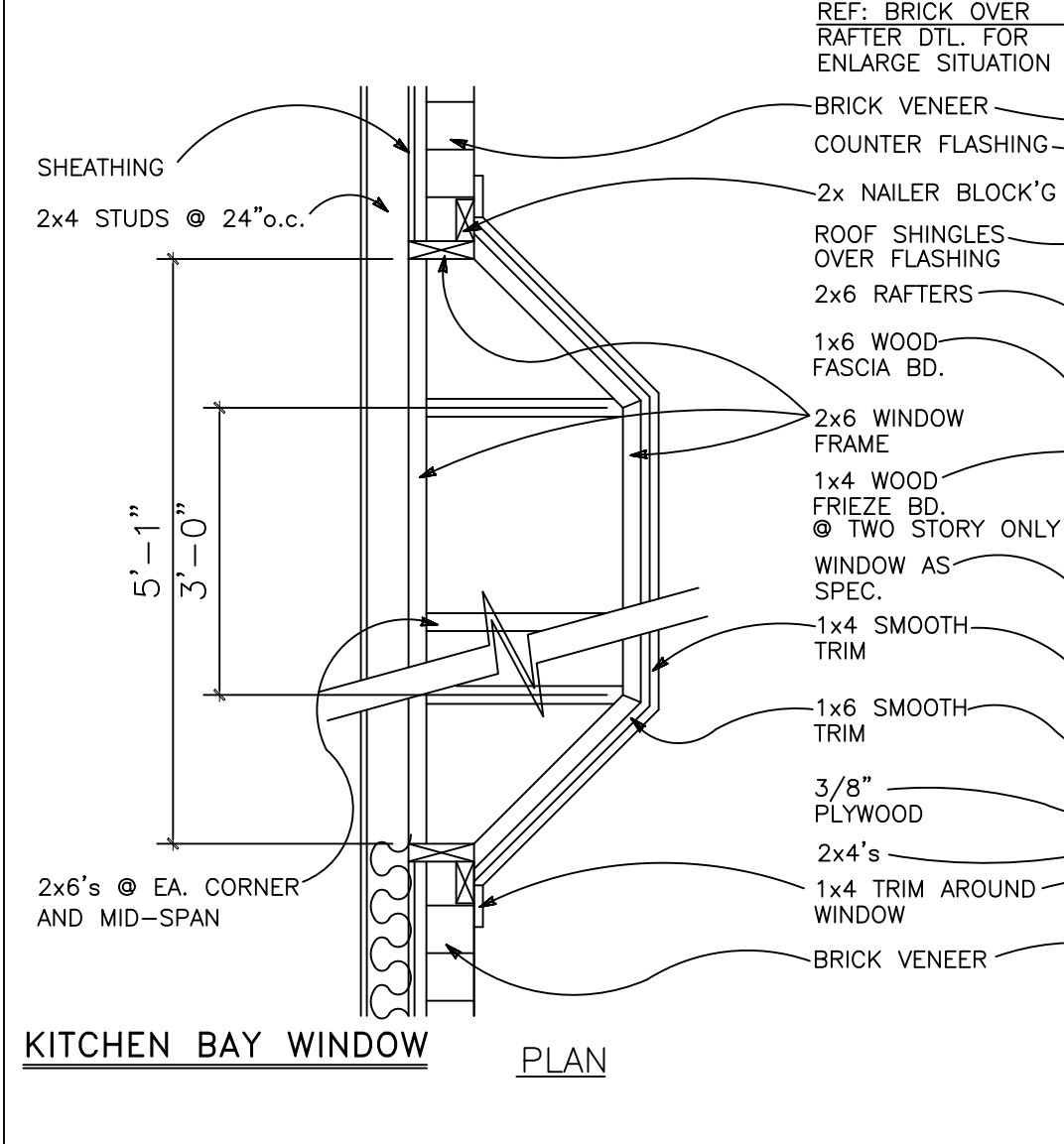
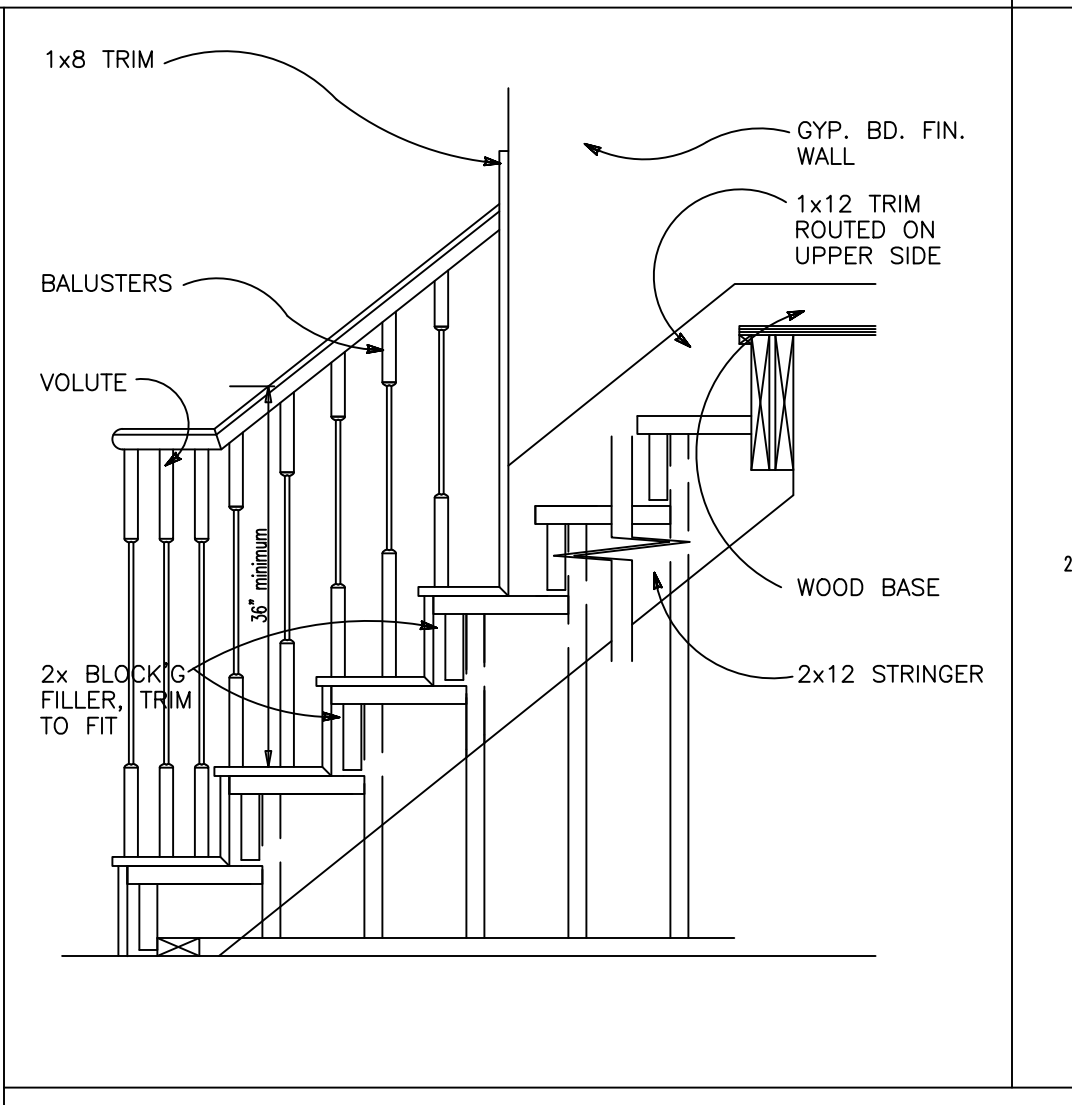
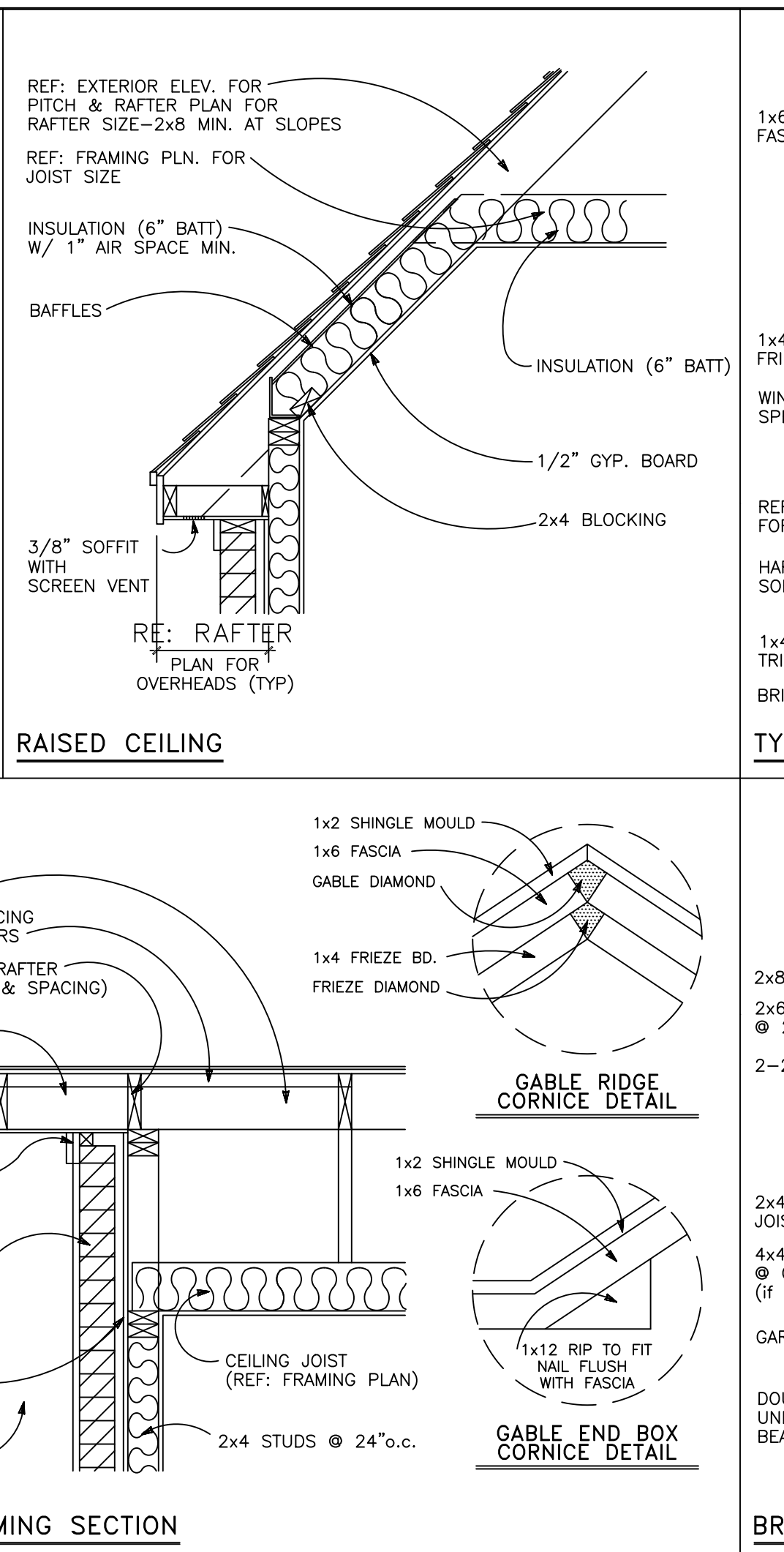
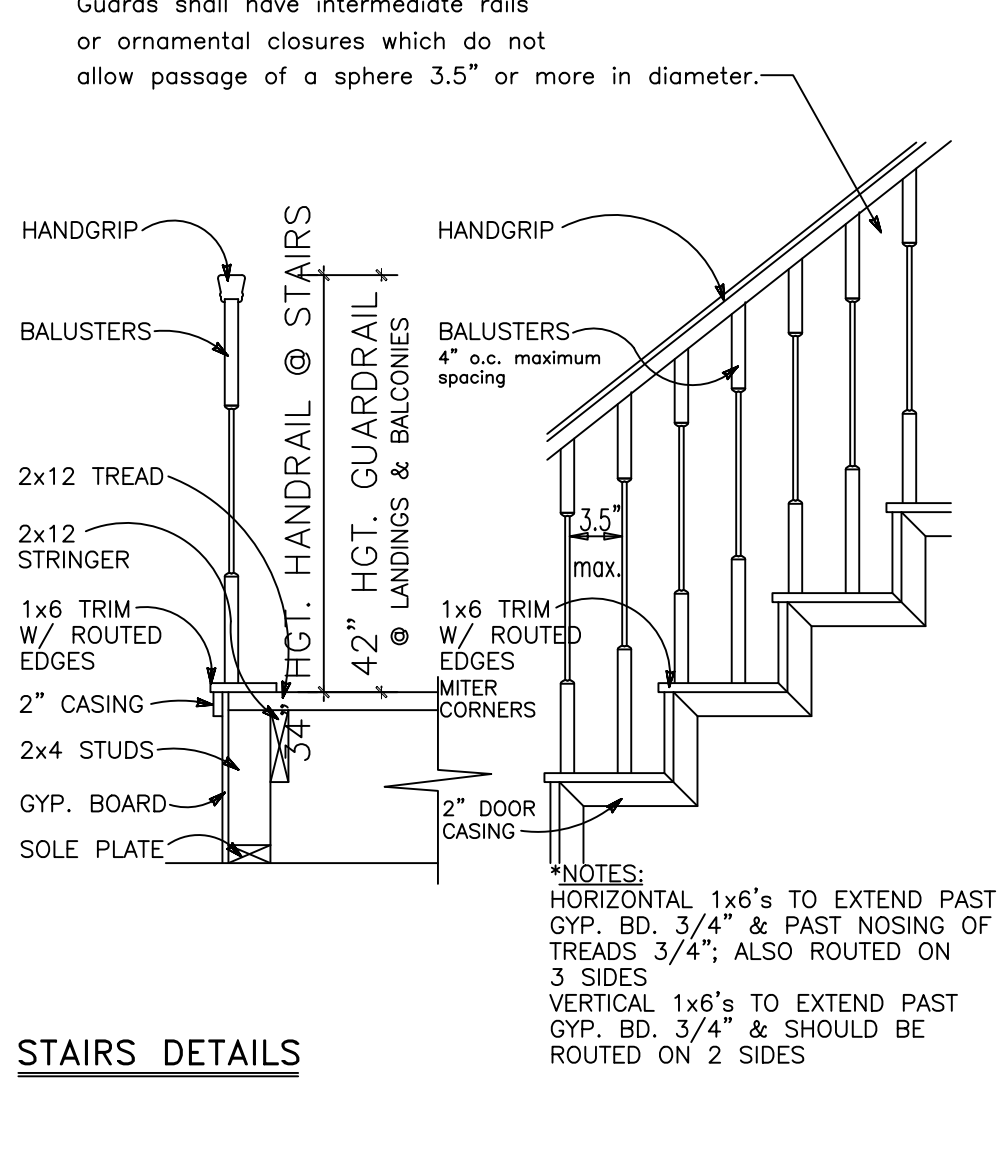
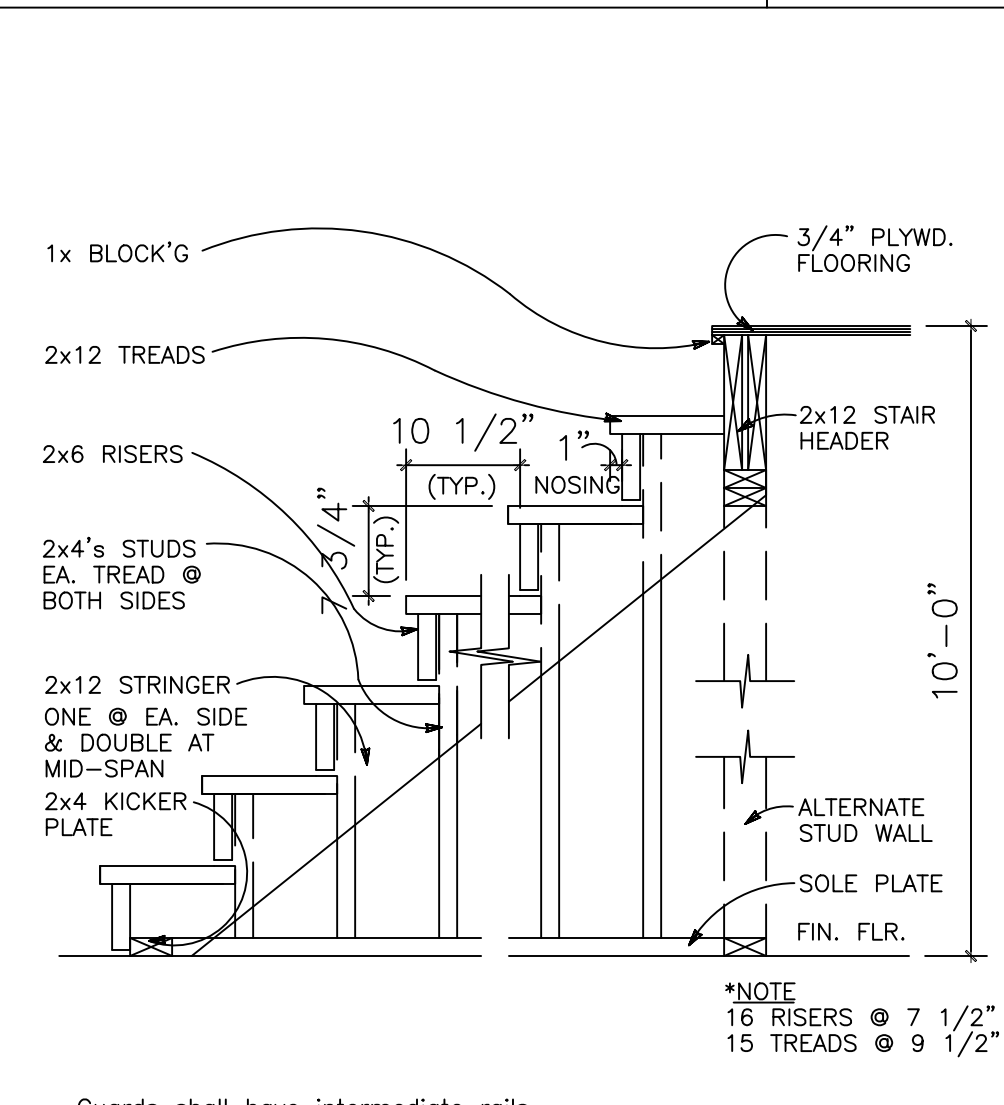
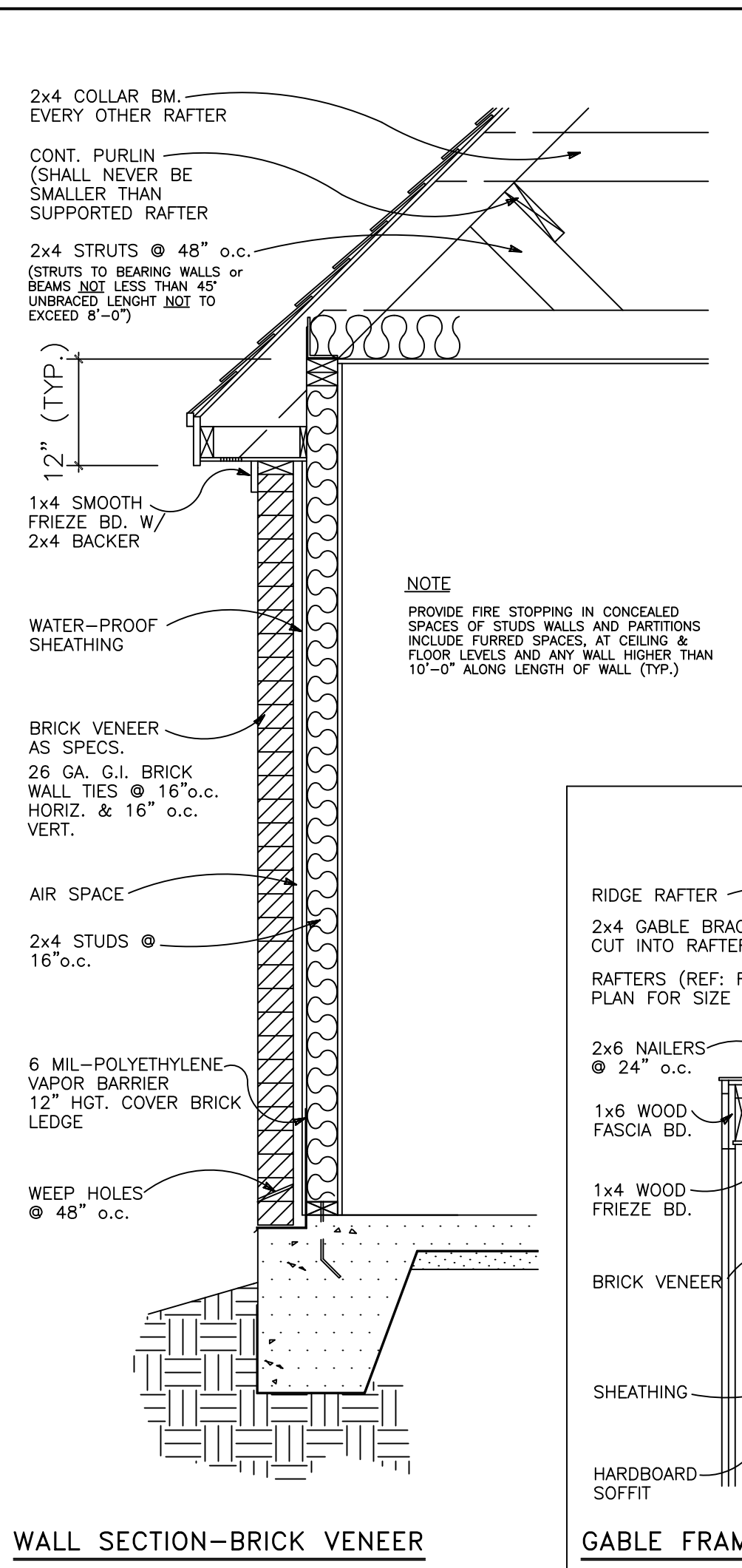
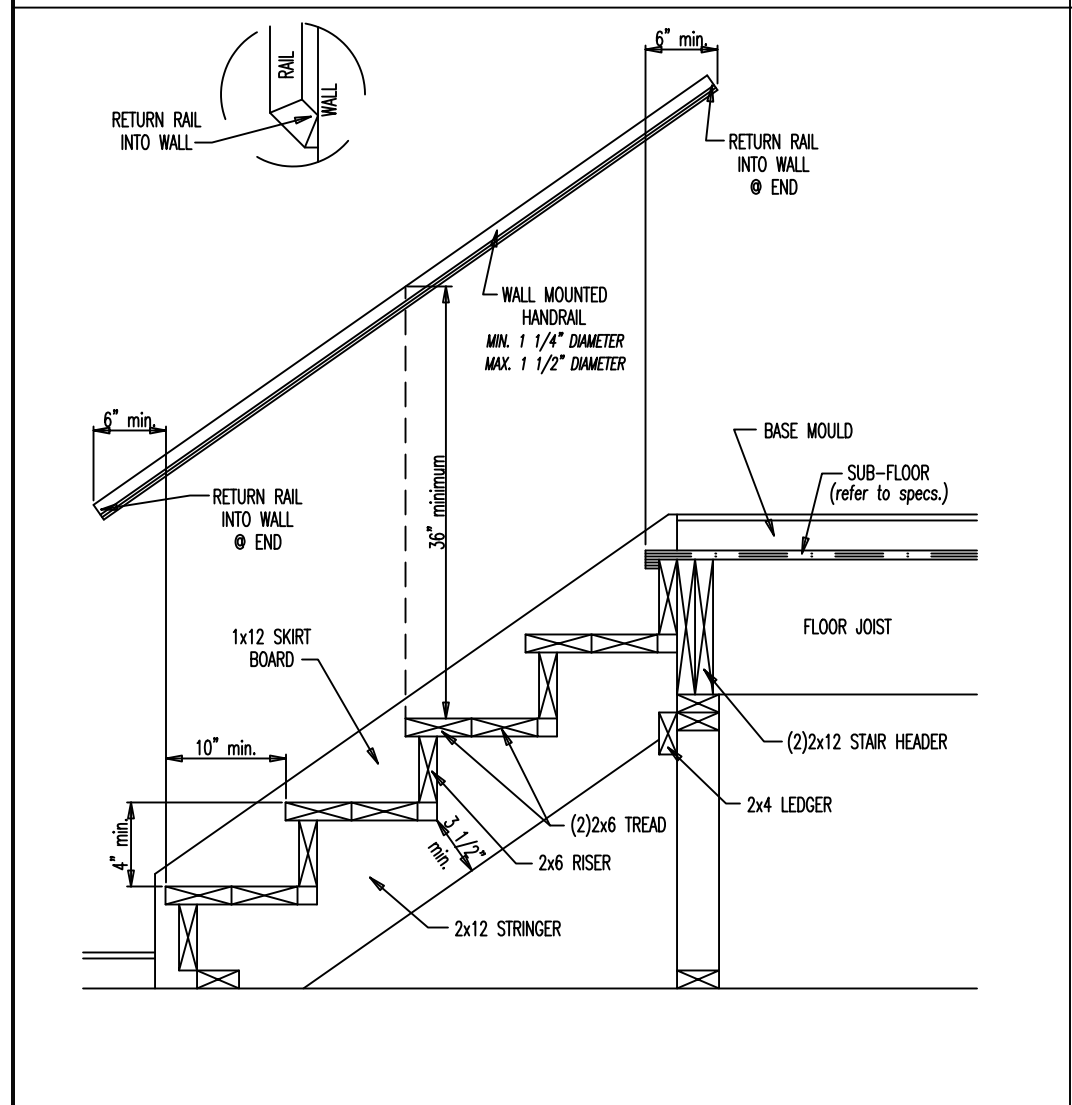
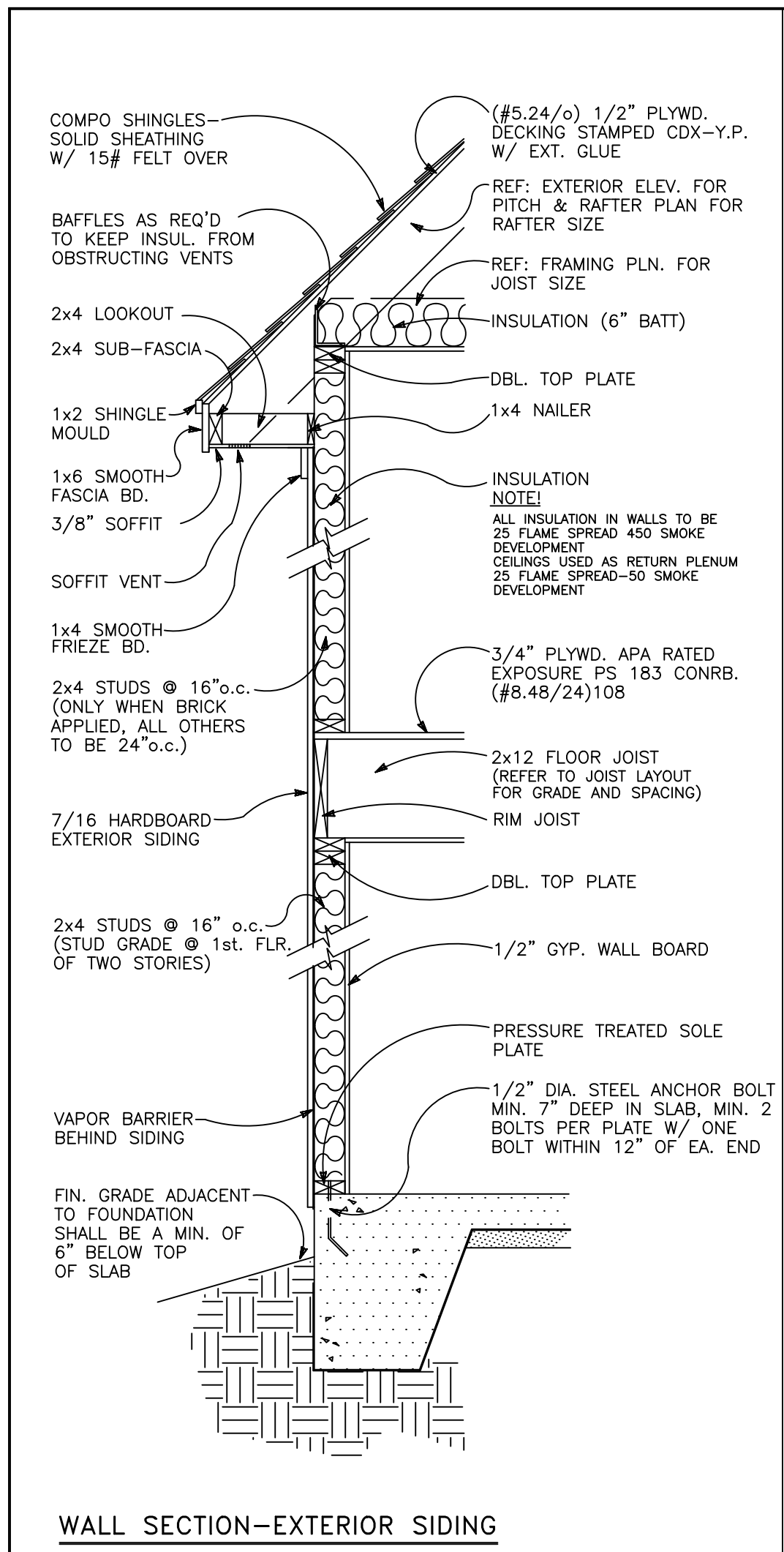
DESIGNED	ATS
DRAWN	ATS
CHECKED	CG
DATE	11/29/2021
REL. FOR CONST.	20211115-1158

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A12



**HANDRAIL & GUARDRAILS**

1. Individual stair treads shall be designed for a uniformly distributed live load of 40 psf or a 300 pound concentrated load acting over an area of 4 square inches, whichever produces

2. Guardrails and handrails shall be designed for a single concentrated of 200 pound applied in any direction at any point along the top.

**STAIRS DETAILS**

**KITCHEN BAY WINDOW**

**TYP. BRICK PORCH COLUMN**

**RAKE SOFFIT DETAIL**

**STEEL LINTEL SCHEDULE**

**HEADER SCHEDULE**

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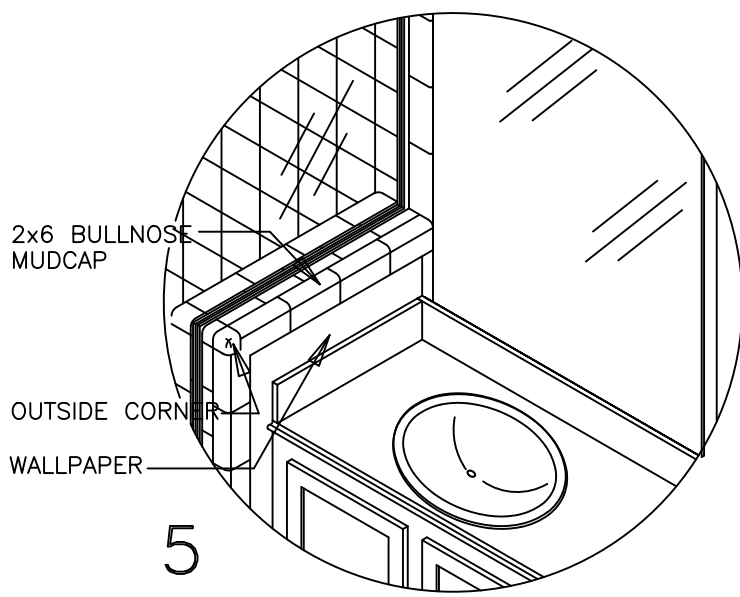
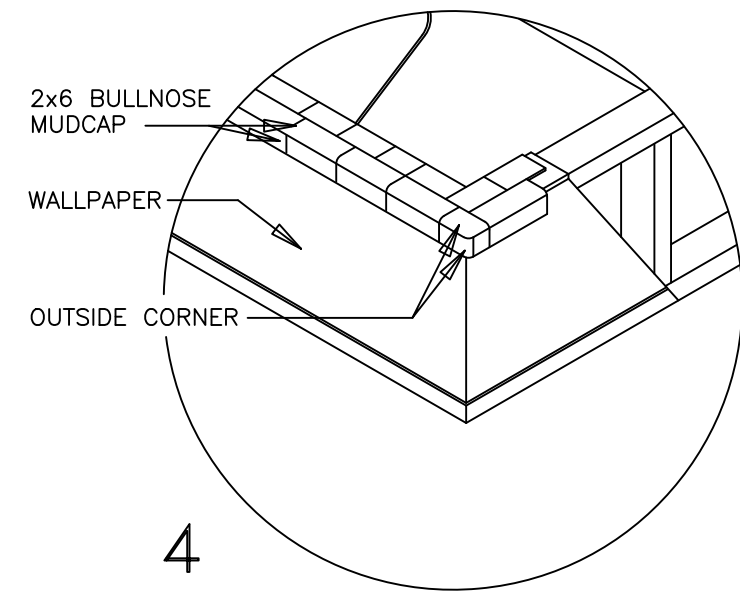
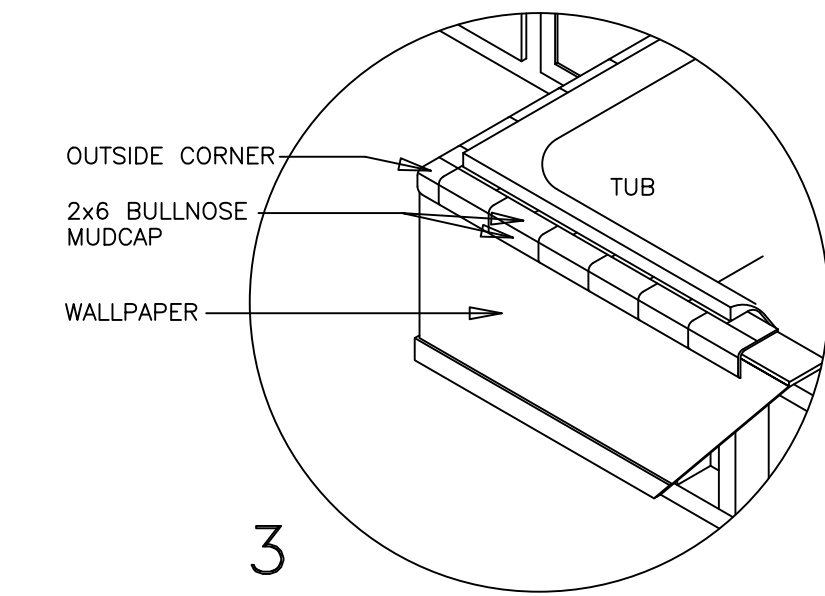
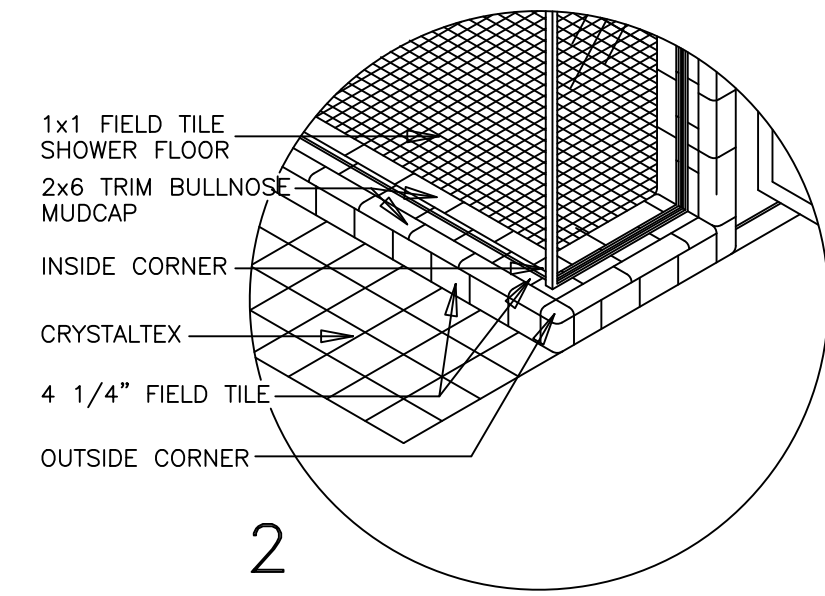
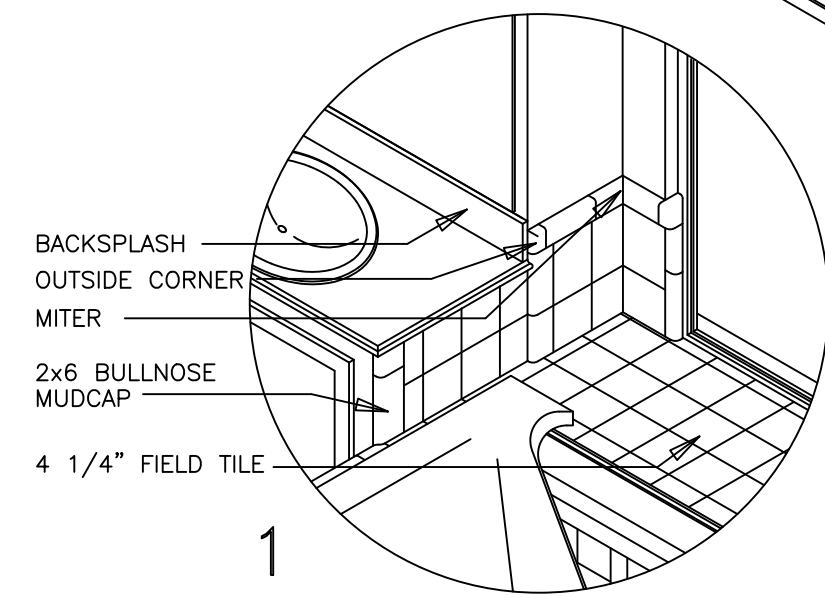
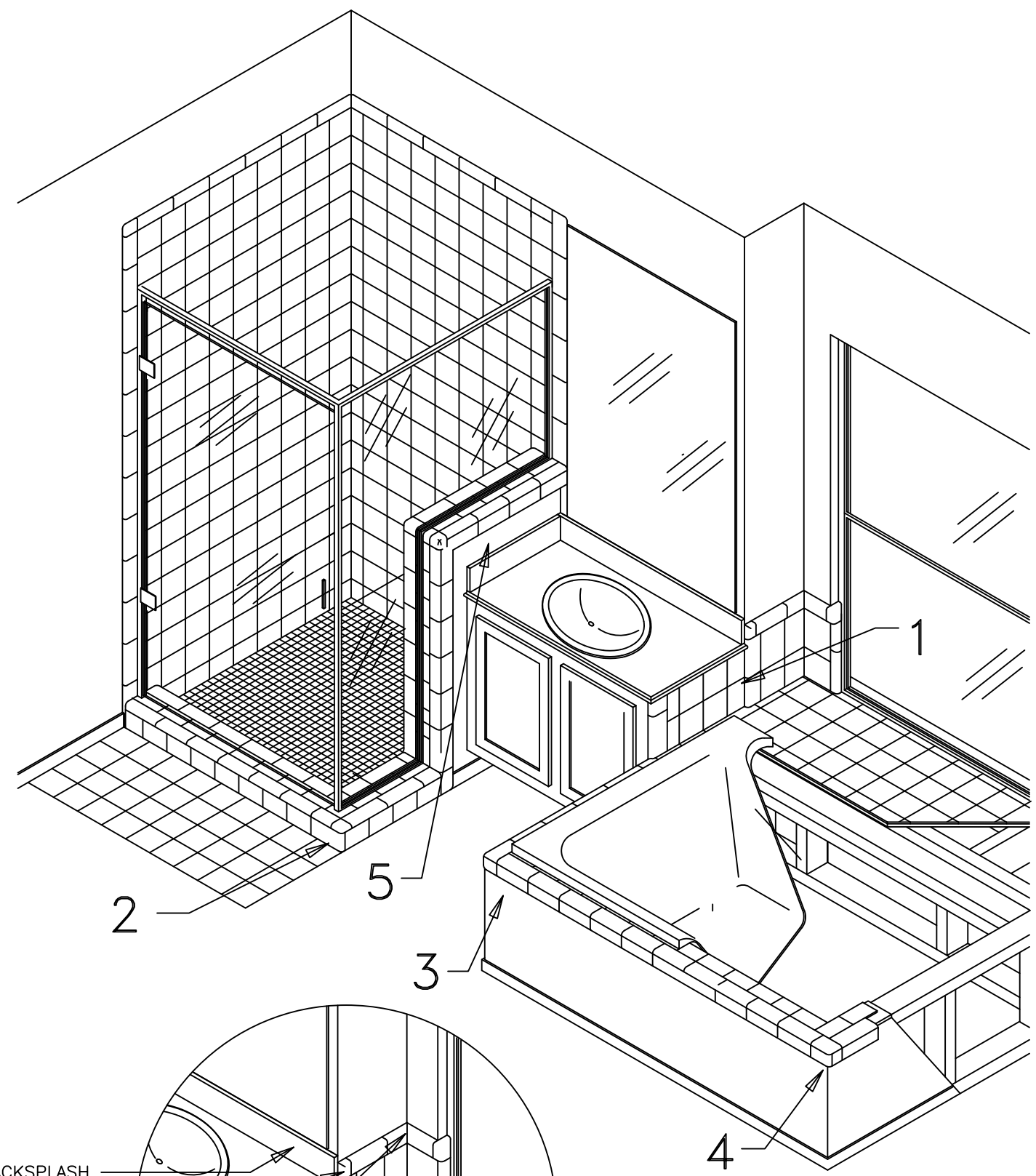
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DRAWN BY: ATSS  
CHECKED BY: CG  
DATE: 11/29/2021  
REL. FOR CONST. 20211115-158

77020

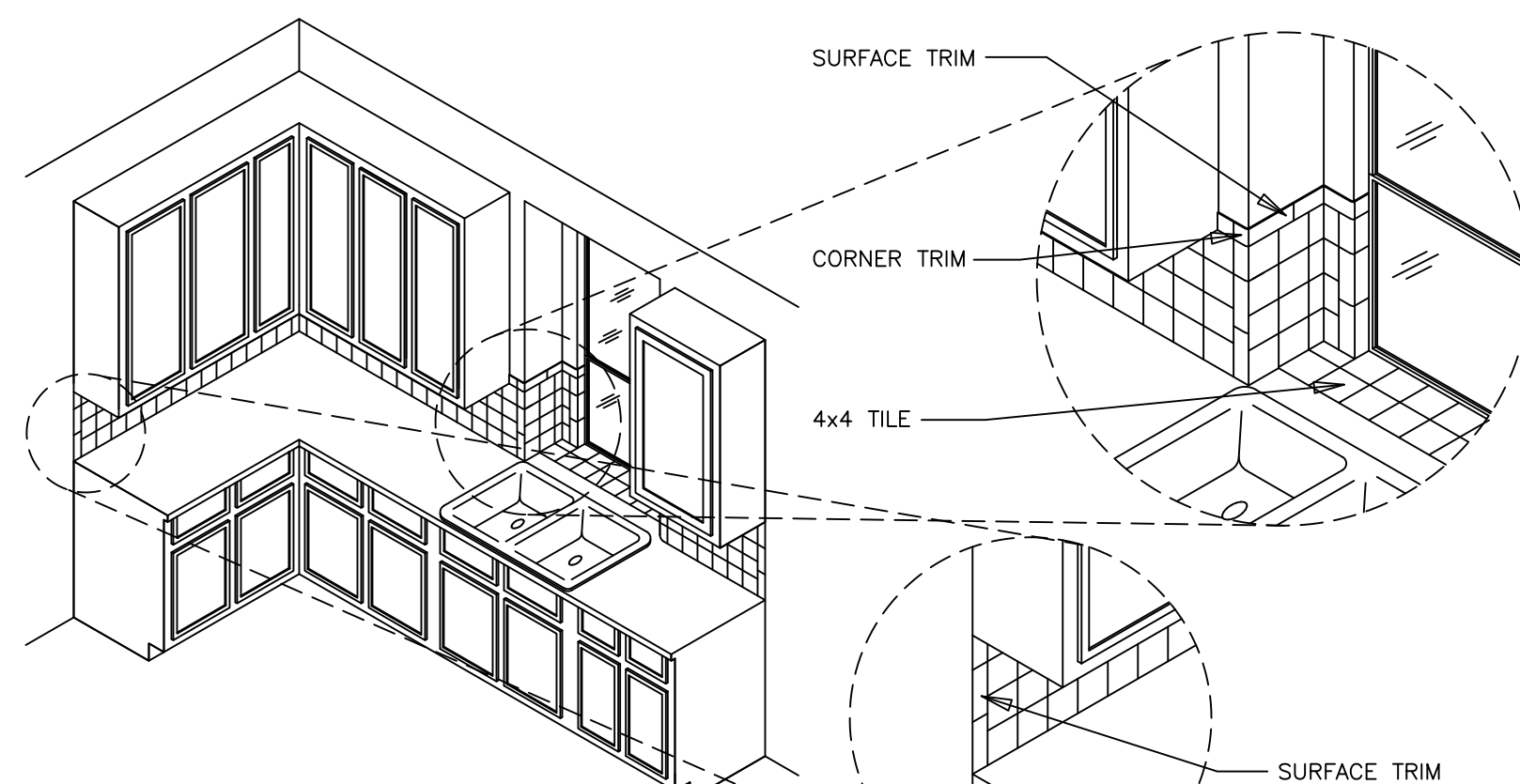
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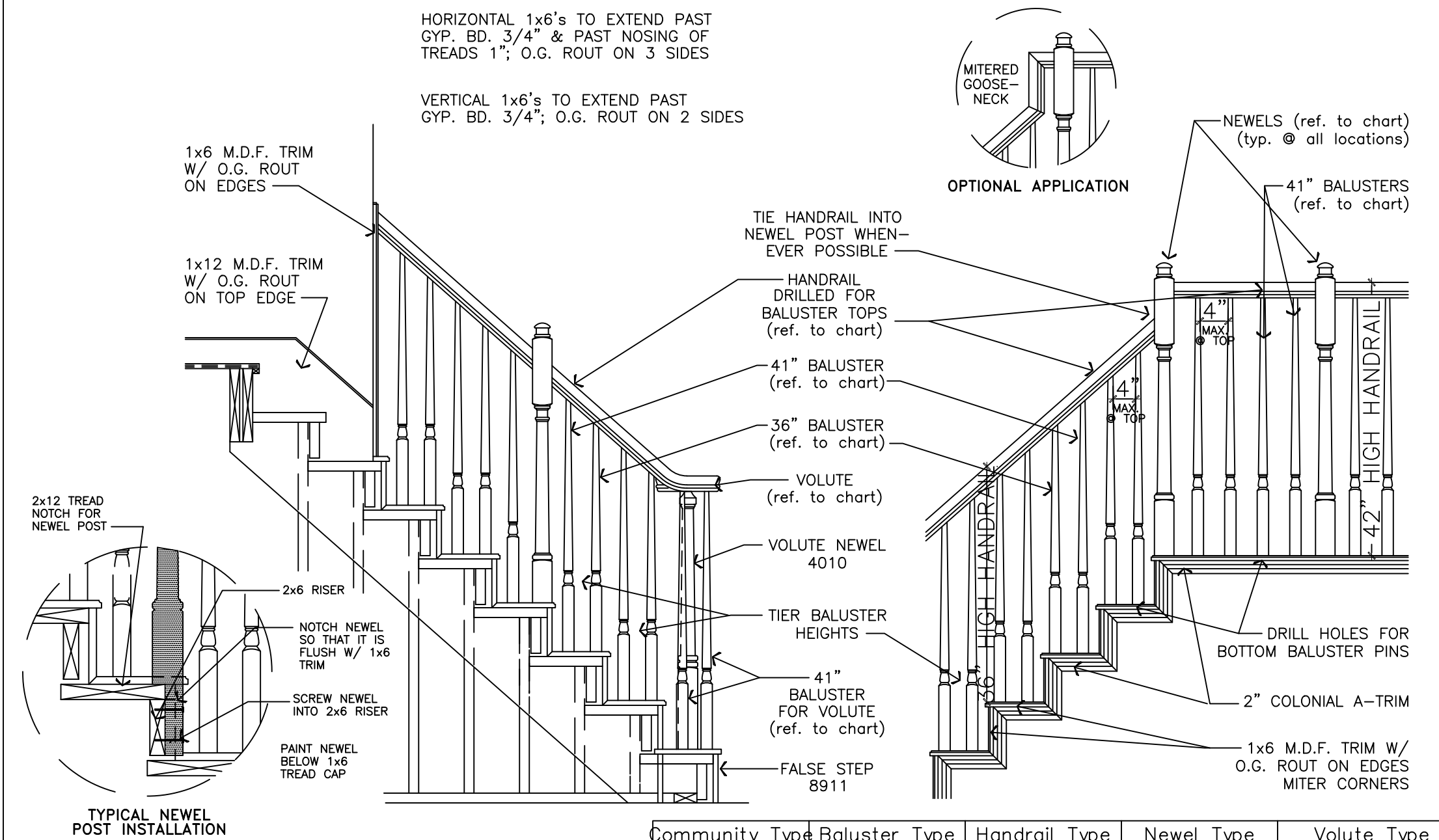
A13



**MASTER BATH C-TILE**

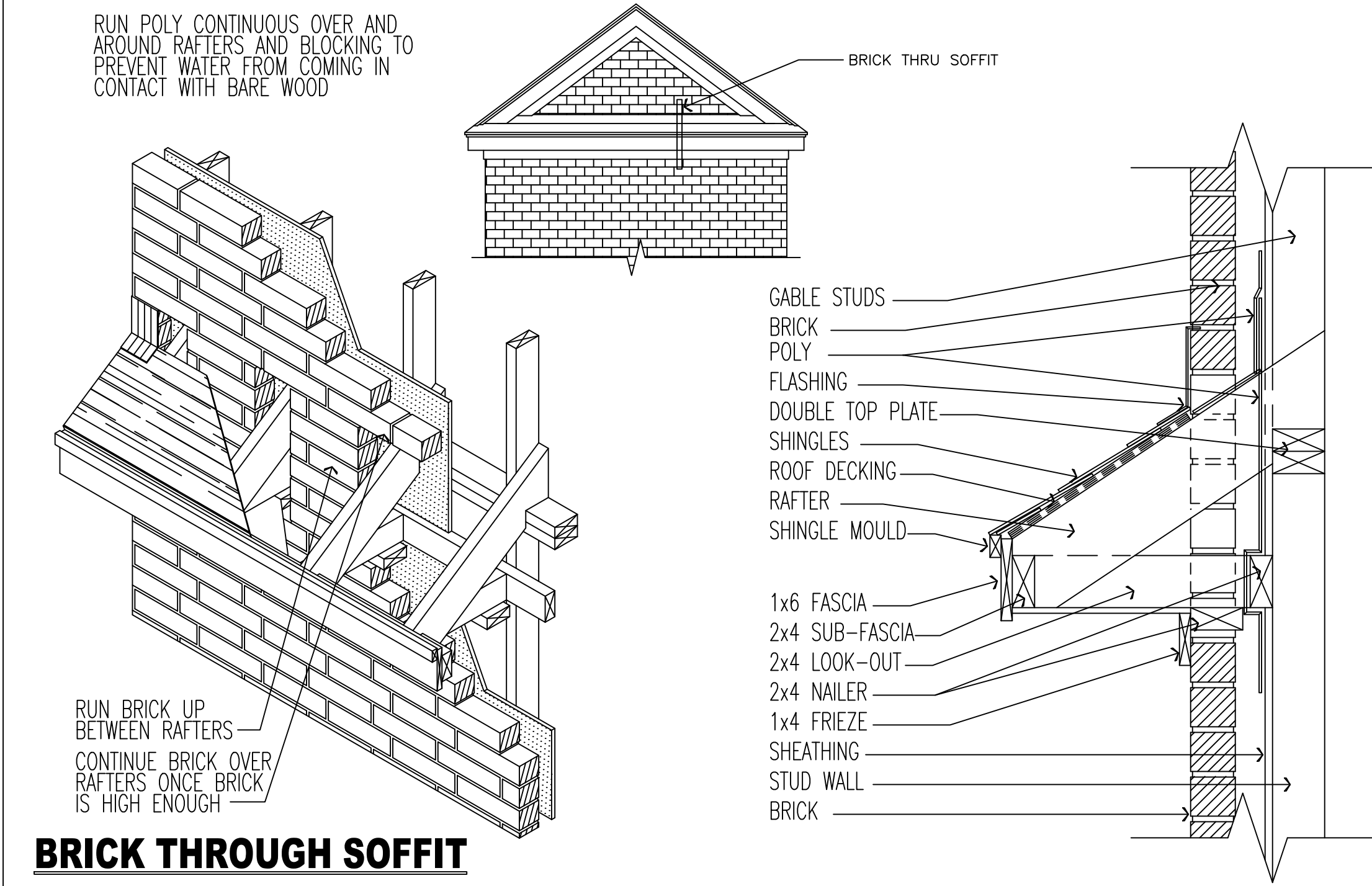


**KITCHEN C-TILE**

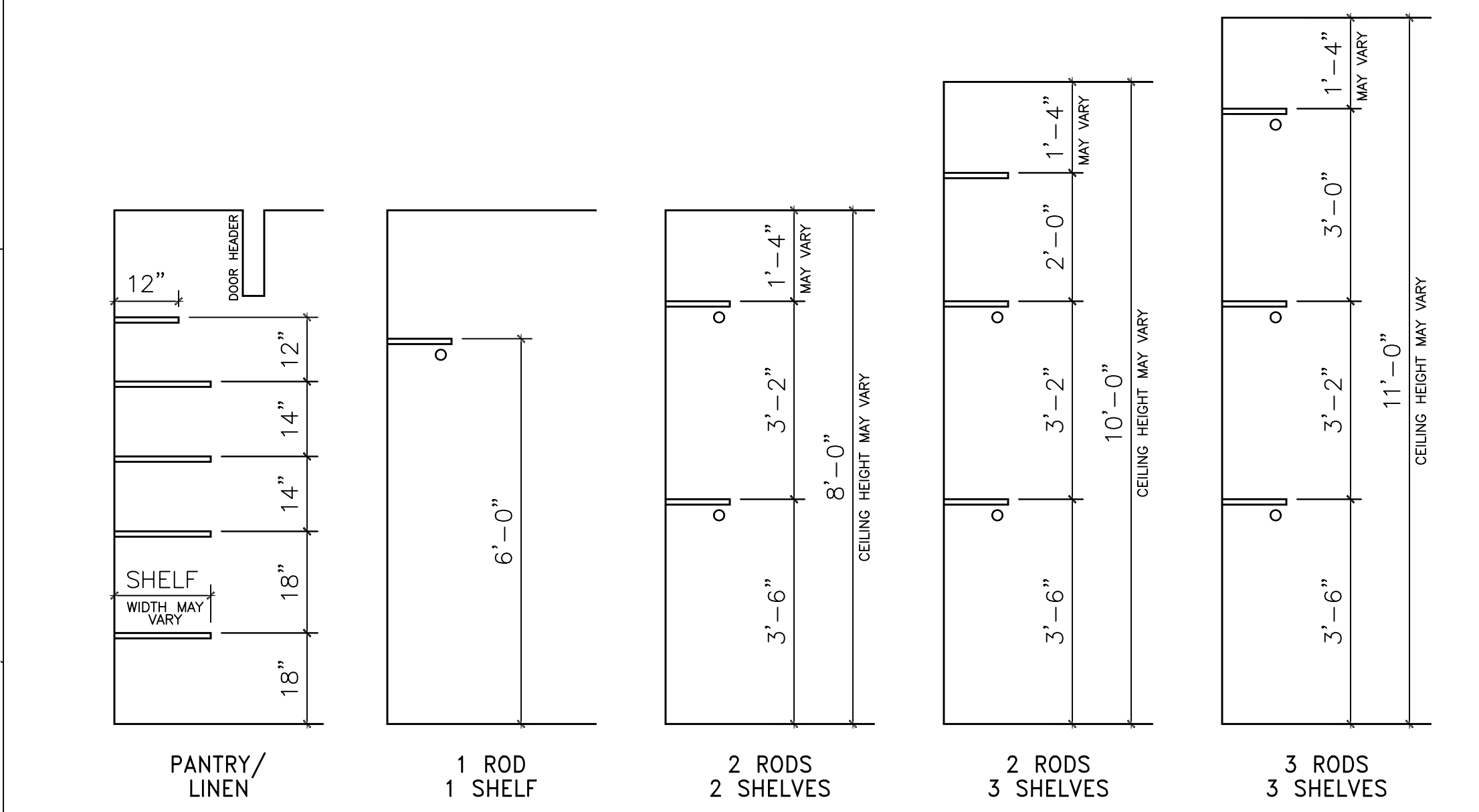


**STAIR TRIM PARTS**

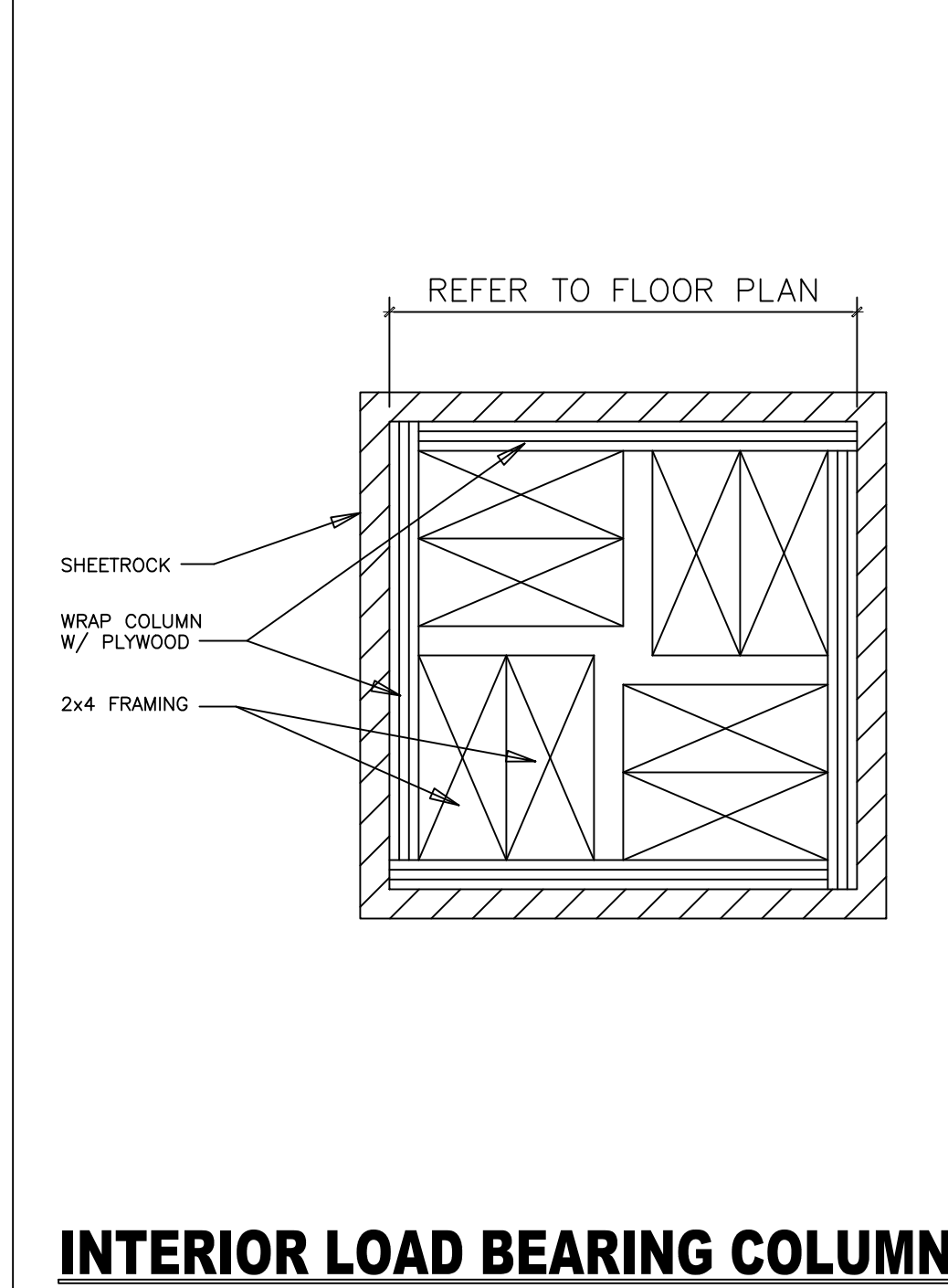
Community Type	Baluster Type	Handrail Type	Newel Type	Volute Type
"A"	5315	6210	4505	7230-left 7235-right
"B", "C", "D"	5015	6010	4045	7030-left 7035-right



**BRICK THROUGH SOFFIT**

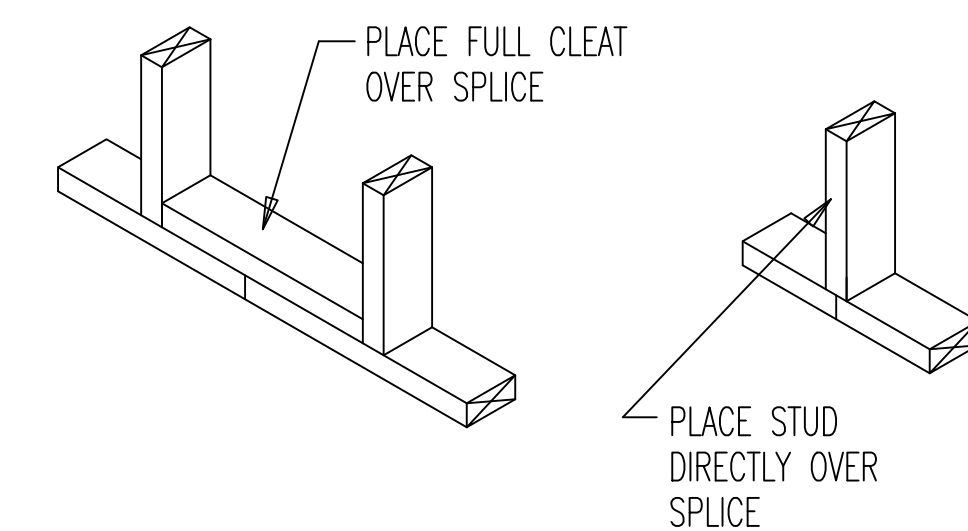


**STANDARD SHELF HEIGHTS**

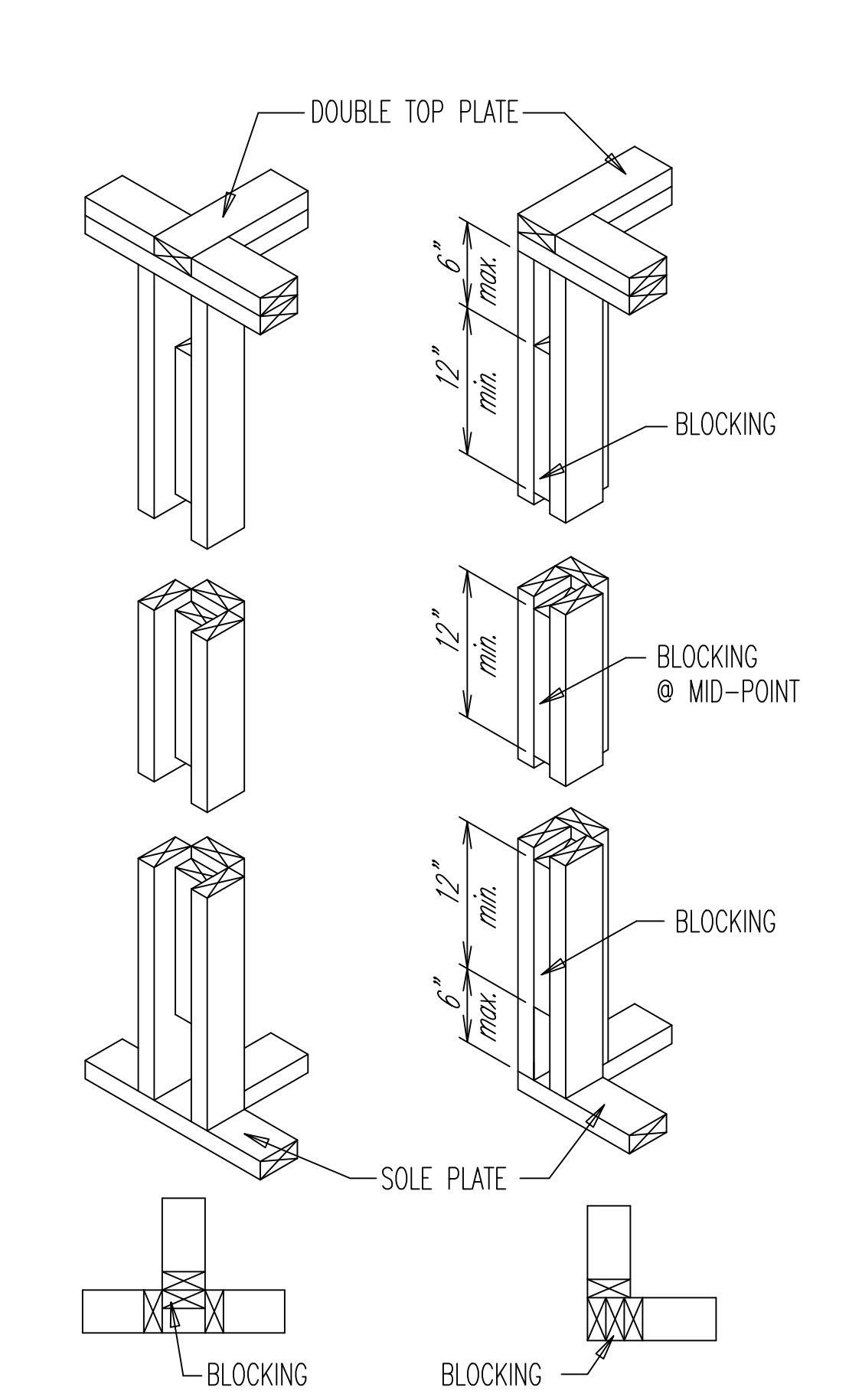


**INTERIOR LOAD BEARING COLUMN**

**CORNER FRAMING**



**SOLE PLATE SPLICES**



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 DATE: 11/29/2021  
 REL. FOR CONST.: 20211115-158

PROPOSED REMODEL & ADDITION  
**KB&J Investments LLC**  
 4418 Noble Street  
 Houston, Texas 77020

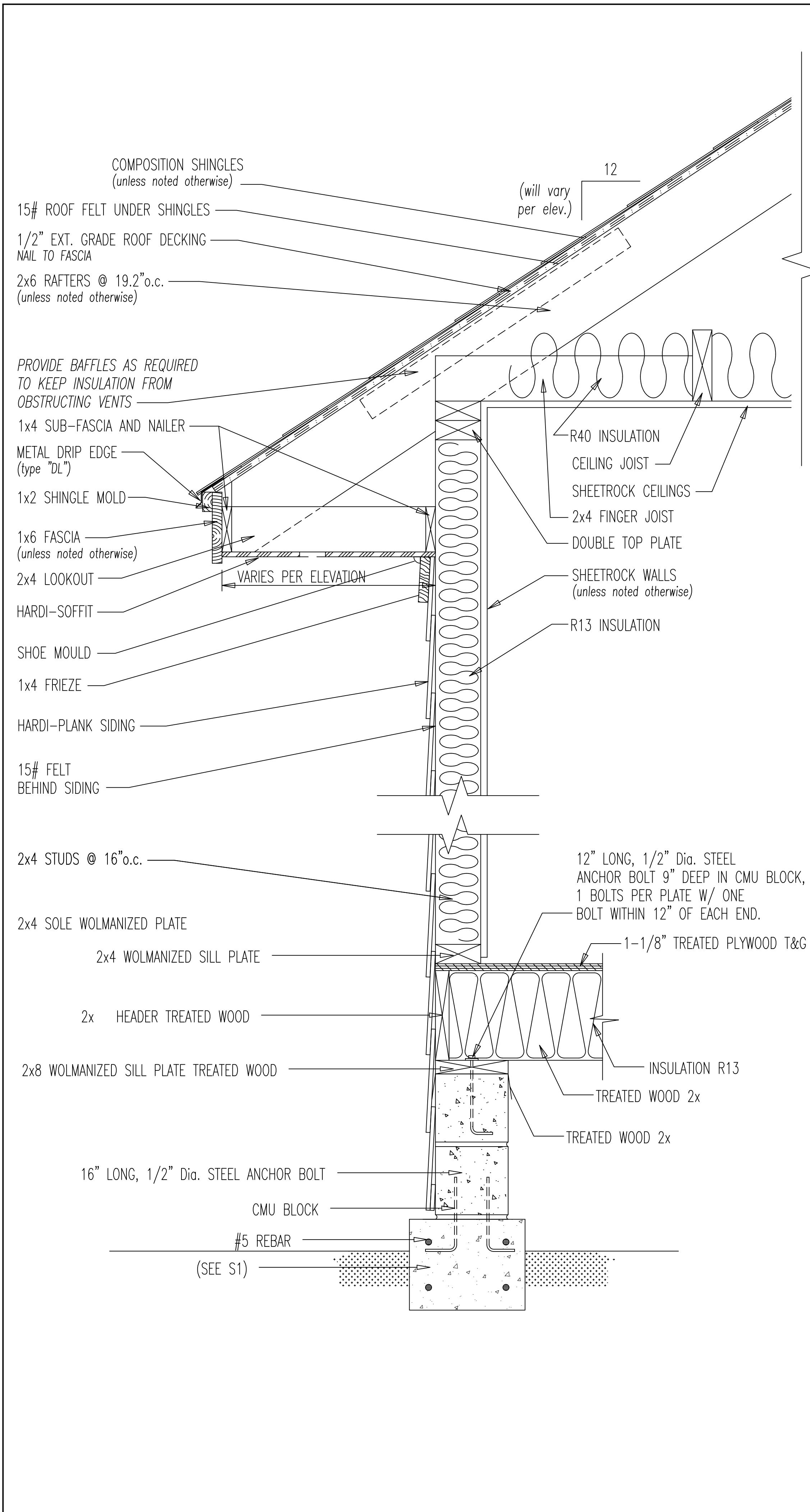
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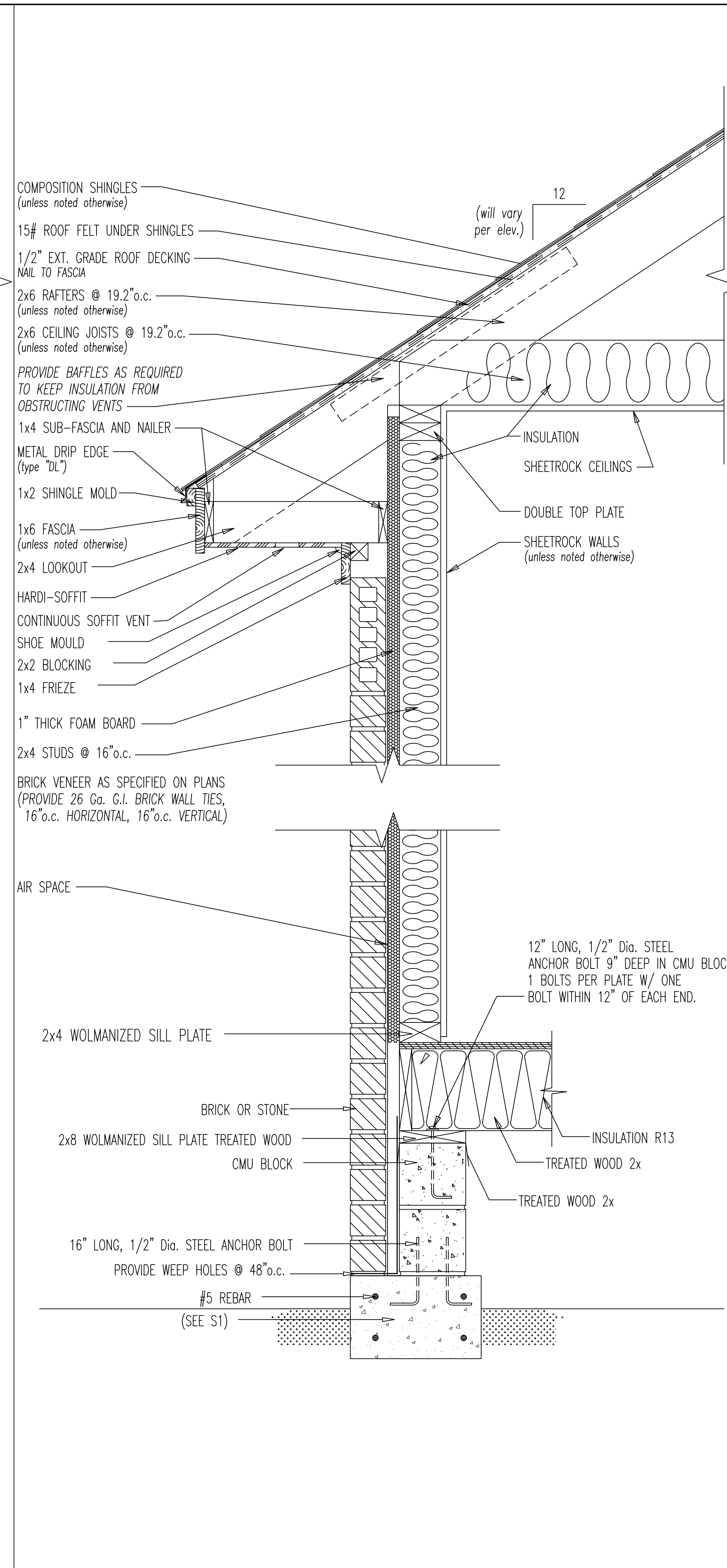
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 REGISTERED ARCHITECT

20211117-159

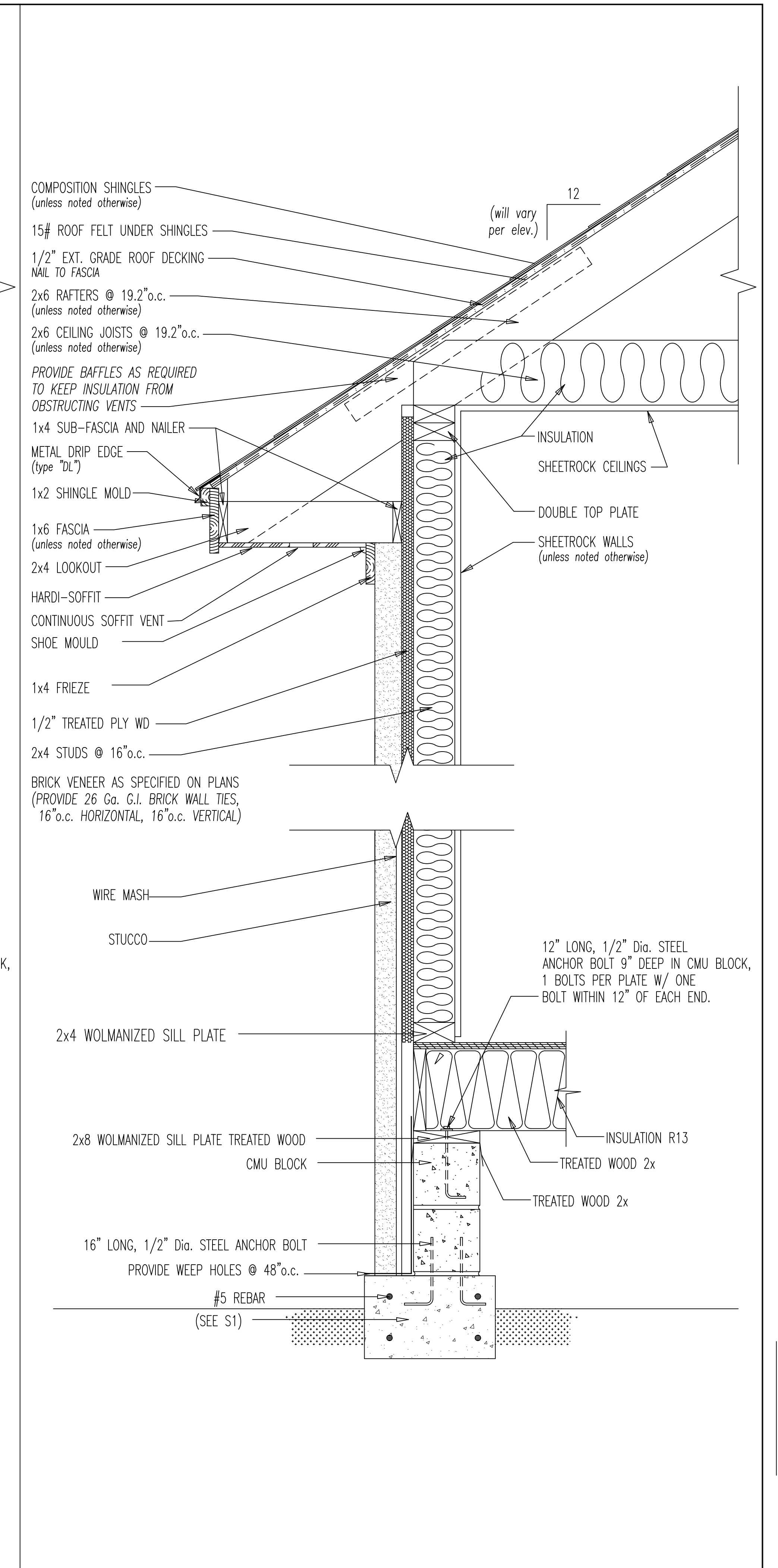
**A14**



**WALL SECTION - EXTERIOR SIDING**



**WALL SECTION - EXTERIOR BRICK**



**WALL SECTION - EXTERIOR STUCCO**

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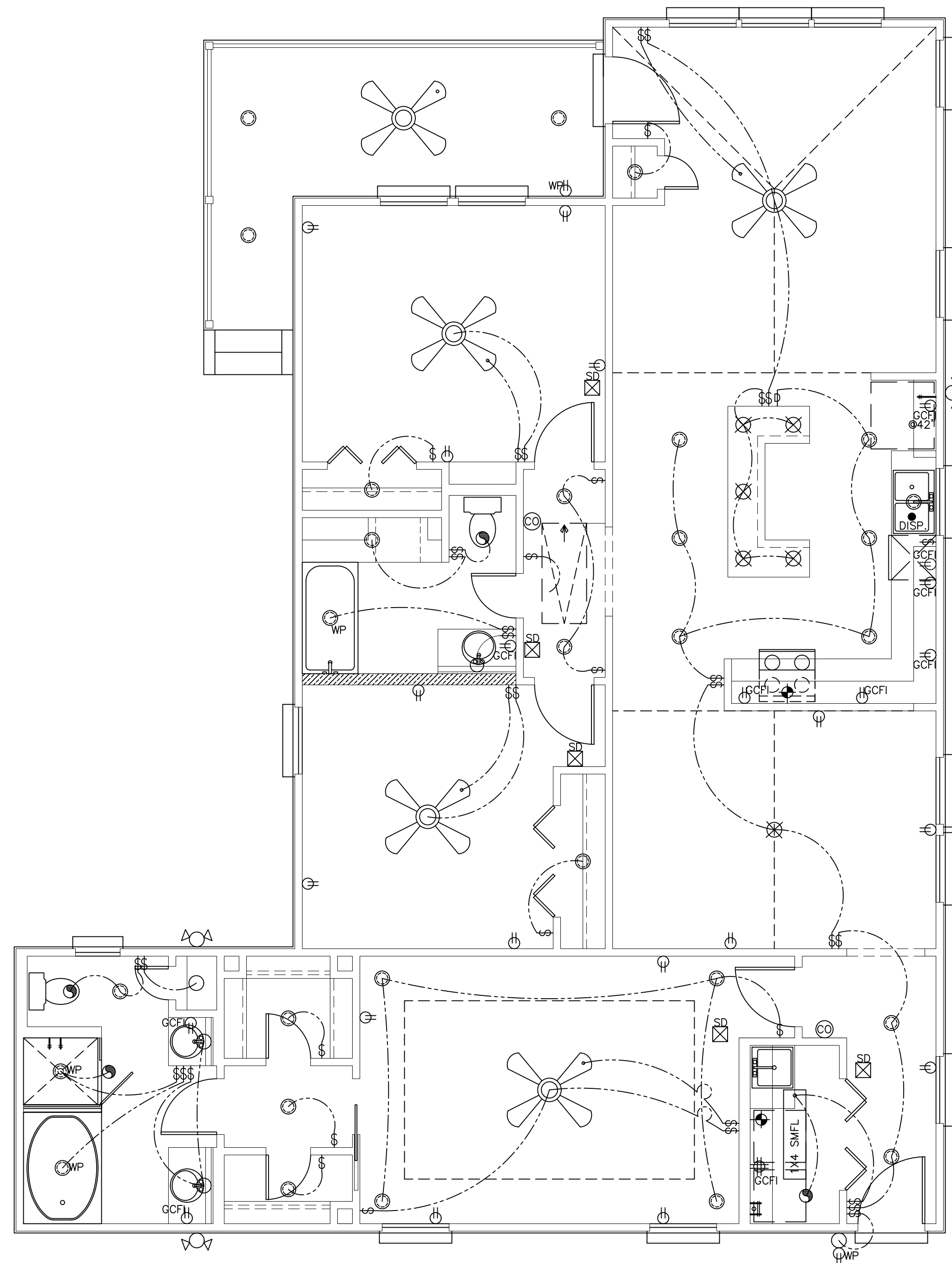
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A15



**ELECTRICAL NOTES:**

- ALLOW FOR A/C UNITS. ( )
- PROVIDE G.F.I. PROTECTION AS REQUIRED.
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING, IN ADDITION TO BATTERY BACK-UP.
- VENT EXHAUST FANS TO OUTSIDE.
- PROVIDE P.C. LIGHT FIXTURE AND SMOKE DETECTOR AT EACH WATER HEATER AND A/C UNIT IN ATTIC.
- PROVIDE W.P. DISCONNECT AT EACH A/C UNIT COMP. LOCATION.
- PROVIDE LOW VOLTAGE CIRCUIT FOR BURGLAR ALARM.
- PROVIDE LOW VOLTAGE CIRCUIT FOR INTERCOM / PHONE SYSTEM WITH BASE AND SPEAKERS LOCATED BY OWNER.
- OWNERS TO LOCATE ALL PHONE JACKS, T.V. JACKS AND FLOOR PLUGS.

**ELECTRICAL LEGEND**

- ⊕ 110 VOLT DUPLEX RECEPTACLE
- WP ⊕ WATERPROOF RECEPTACLE
- CLG ⊕ 110 VOLT IN CLG.
- GFI ⊕ 110 VOLT W/GROUND FAULT INTERRUPTER
- ⊕ 110 VOLT QUAD RECEPTACLE
- FLR ⊕ 110 VOLT DUPLEX IN FLOOR
- ⊕ 220 VOLT RECEPTACLE
- ⊕ TELEVISION ANTENNA JUNCTION BOX
- ⊕ TELEPHONE OUTLET
- ⊕ SINGLE POLE SWITCH
- ⊕ 3 THREE WAY SWITCH
- ⊕ 4 FOUR WAY SWITCH
- ⊕ DIMMER SWITCH
- PB ⊕ PUSH BUTTON
- SD ⊕ SMOKE DETECTOR
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ THERMOSTAT
- CH ⊕ CHIMES
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ RECESSED CAN LIGHT
- WP ⊕ WATERPROOF RECESSED CAN LIGHT
- ⊕ HANGING FIXTURE
- ⊕ HALOGENS
- ⊕ RECESSED EYEBALL SPOT SPOT LIGHT
- ⊕ WALL MOUNTED LIGHT FIXTURE
- PC ⊕ PORCELAIN LIGHT FIXTURE W/FULL CORD
- ⊕ FLOOD LIGHTS (ON PHOTOCELLS)
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN W/LIGHT
- ⊕ EXHAUST FAN W/HEAT LAMP & LT.
- ⊕ COOKTOP EXHAUST
- DISP. ● DISPOSAL

- ⊕ CEILING FAN
- ⊕ CEILING FAN W/LT.
- ⊕ SPEAKERS
- ⊕ GARAGE DOOR OPENER GDO
- 2X4 SMFL ◻ 2X4 SMFL
- 1X4 SMFL ◻ 2X4 SMFL
- 1X4 SMFL ◻ RECESSED 2X4 SMFL

ALL FLOOD LIGHTS TO HAVE MOTION SENSORS

ALL SMOKE DETECTORS HARDWIRED IN SERIES WITH BATTERY BACKUP ALL INTERCONNECTED

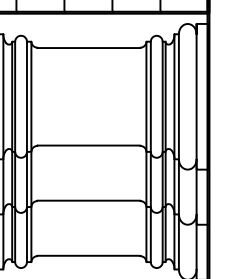
ALL CARBON MONOXIDE DETECTOR HARDWIRED IN SERIES WITH BATTERY BACKUP

**ELECTRICAL LAYOUT**

SCALE: 1/4" = 1' - 0"

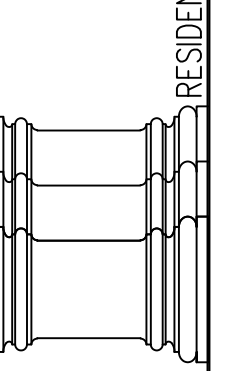
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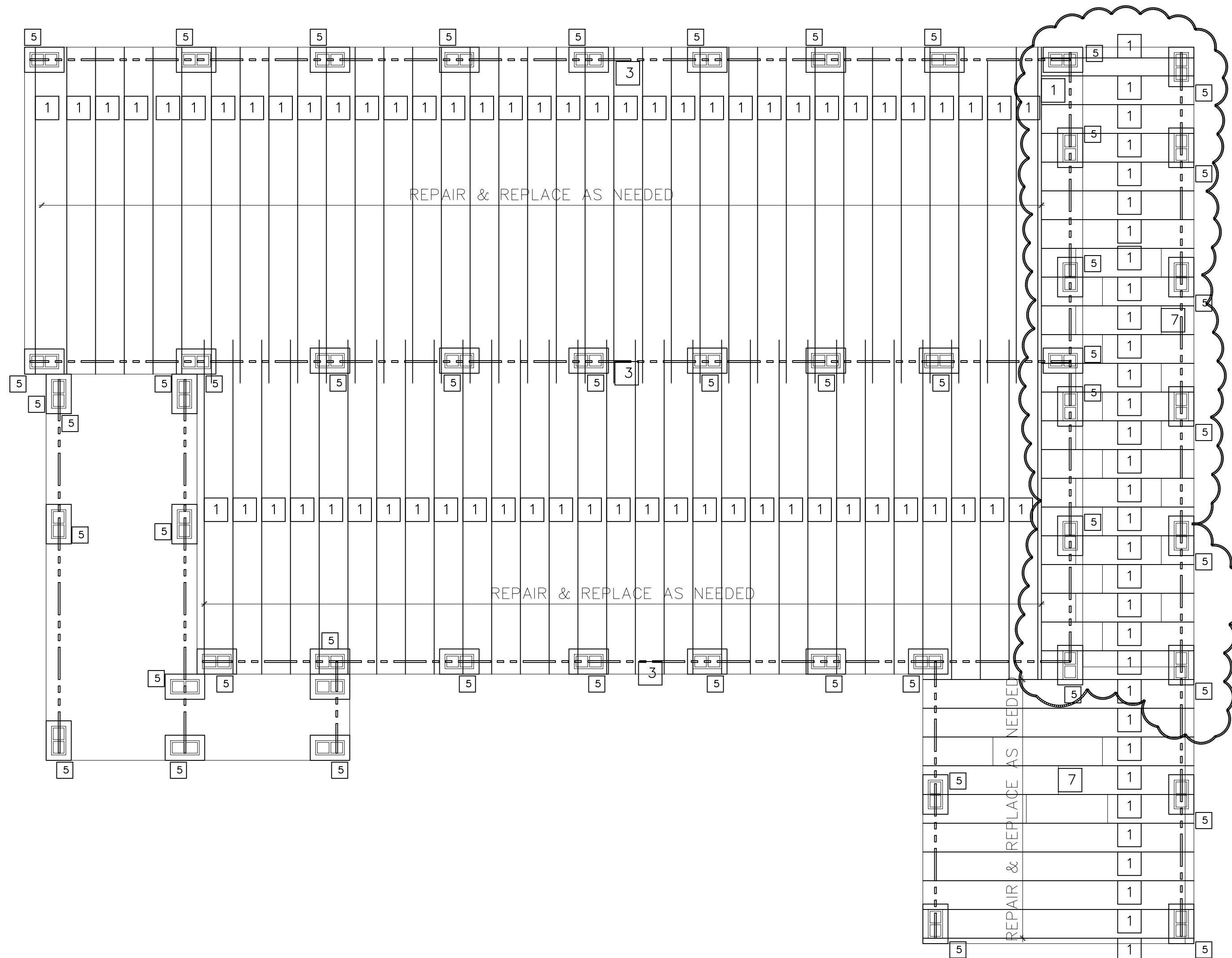
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E1

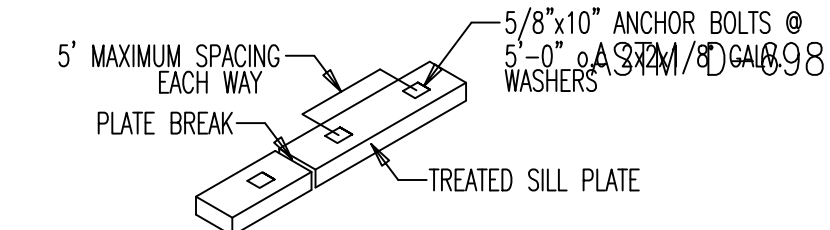




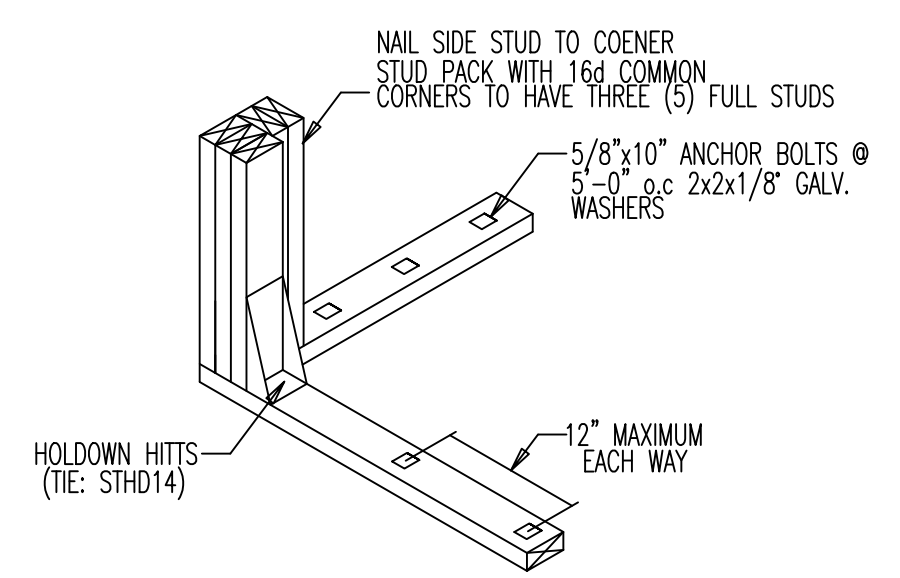
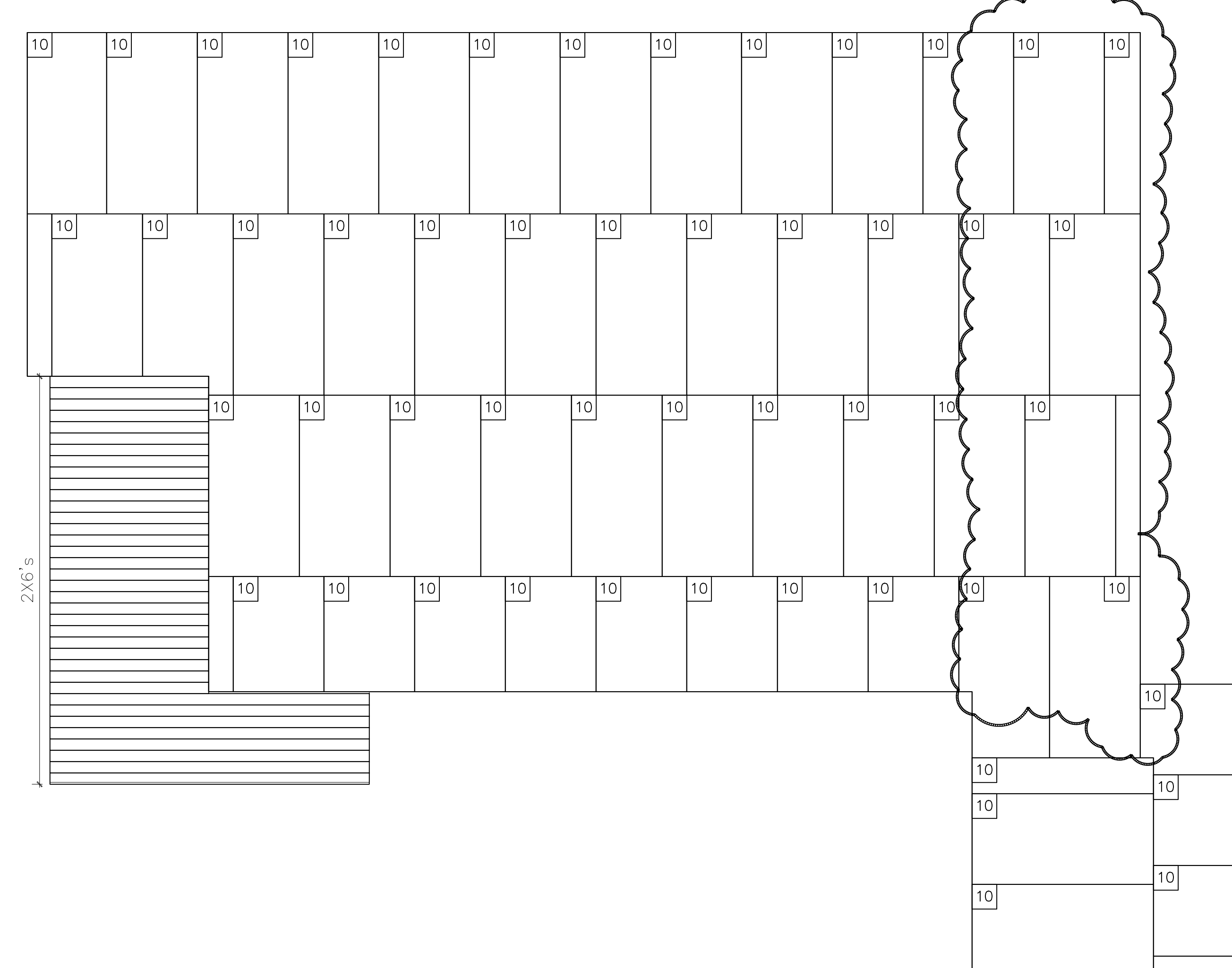
### FRAMING NOTES & LEGEND

ALL FRAMING TO BE #2 S.Y.P. (KD 15)  
 ALL STRUCTURAL BEAMS AND HEADERS TO BE #2 S.Y.P. (KD 15)  
 ALL HEADERS AT FIRST FLOOR TO BE 2-2X12. HEADERS AT SECOND FLOOR REFER TO SCHEDULE  
 FLOOR JOISTS ARE BASED ON 40 PSF LIVE LOAD WITH 10 PSF DEAD LOAD.  
 CEILING JOISTS ARE BASED ON 10 PSF LIVE LOAD WITH 5 PSF DEAD LOAD.  
 PROVIDE 2-2X4 VERTICAL SUPPORT (MIN.) UNDER EACH END OF ALL STRUCTURAL BEAMS & HEADERS LONGER THAN 5'-0".  
 SIZE & NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH BLDG. CODE (UBC TABLE 25Q OR EQ.) REFER TO LAST SHEET.  
 ALL STEEL SHALL HAVE A YIELD STRENGTH OF 36 K.S.I. (MIN.) DESIGN FOR 110 MPH WIND SPEED WITH A 3 SEC GUST FACTOR

- 1 2x8x15' TREATED FLOOR JOIST
- 2 SEE S1 "AA" OR "BB"
- 3 4x6 TREATED POST BEAM
- 4 2x12 TREATED HEADER BEAM
- 5 8"x8"x16" FILLED CMU BLOCK
- 6 2x6 TREATED WOOD BLOCK w/ LSTAD FOUNDATION STRAP
- 7 2x8 TREATED WOOD BLOCK (SPACED @ 48" O.C.)
- 8 2x8 PORCH FLOOR JOIST
- 9 2x8 TREATED WOOD BLOCK (SPACED @ 48" O.C.)
- 10 1-1/8 T&G TREATED PLYWOOD



**"1" CORNER ANCHOR DETAIL**

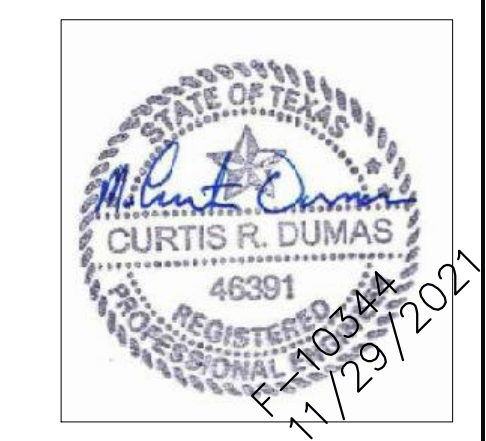


**"2" CORNER ANCHOR DETAIL**

- FLOOR FRAMING NOTES**
1. FLOOR JOISTS - TREATED 2X12 TRUSSES ENGINEERED BY OTHERS
  2. TYP. SHEATHING - 1 1/8" 48/24 APA RATED T & G E.M.C.M. GLUED & NAILED W/ 10d @ 6" EDGES & 10" FIELD
  3. ALTERNATE SHEATHING - 2 x 6 T & G DIAG. DECKING W/2 - 16d EA. SUPPORT
  4. ALL BEAMS AND HEADERS SHALL BE SYP #2
  5. PROVIDE 2 - 2x12 HEADERS AT ALL FIRST LEVEL OPENINGS U.N.O.
  6. ALL BEAMS ARE FLUSH BEAMS U.N.O.
  7. PROVIDE FULL BEARING UNDER ALL BEAMS CONTINUOUSLY TO FOUNDATION.
  8. DL = 10 PSF LL = 40 PSF DEFLECTION CRITERIA: LIVE LOAD L/360 TOTAL LOAD L/240

### TRUSS LAYOUT

SCALE: 1/4" = 1' - 0"



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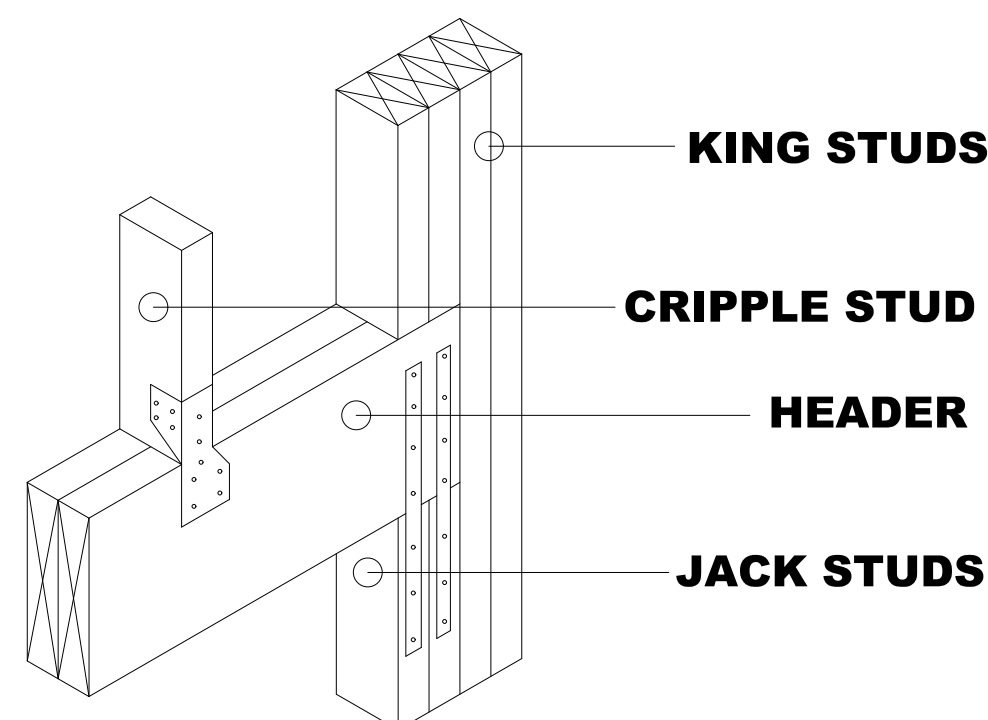
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CURTIS R. DUMAS  
 46391  
 PROFESSIONAL ENGINEER  
 STATE OF TEXAS  
 11/29/2021

20211117-159  
**S2**

**FRAMING NOTES & LEGEND**

- ALL FRAMING TO BE #2 SYP (KD 15)  
 ALL STRUCTURAL BEAMS AND HEADERS TO BE #2 SYP (KD 15)  
 ALL HEADERS AT FIRST FLOOR TO BE 2-2X12 HEADERS AT SECOND FLOOR REFER TO SCHEDULE  
 FLOOR JOISTS ARE BASED ON 40 PSF LIVE LOAD WITH 10 PSF DEAD LOAD  
 CEILING JOISTS ARE BASED ON 10 PSF LIVE LOAD WITH 5 PSF DEAD LOAD  
 PROVIDE 2-2X4 VERTICAL SUPPORT (MIN.) UNDER EACH END OF ALL STRUCTURAL BEAMS & HEADERS LONGER THAN 9'-0" SIZE & NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH BLDG. CODE (USE TABLE 230 OR E3.) REFER TO LAST SHEET  
 ALL STEEL SHALL HAVE A YIELD STRENGTH OF 36 K.S.I. (MIN.) DESIGN FOR 115 MPH WIND SPEED WITH A 3 SEC GUST FACTOR
- 1 RAFTERS @ SLOPE INDICATED
  - 2 2X SCABS OR FURRING ON RAFTERS @ 16" O.C. @ SLOPE INDICATED
  - 3 2x6's CLG. JOISTS @ 16" O.C.
  - 4 2x12's CLG. JOISTS @ 16" O.C.
  - 5 2x6's CLG. JOISTS @ 16" O.C. (TREATED ONLY IN SHOWER AREA)
  - 6 HEADER BEAM - 2-2x10 U.O.N. (TREATED ONLY IN PORCH AREA)
  - 7 DROP BEAM - (3) 2x12's
  - 8 HEADER BEAM - 2-2x12 U.O.N.
  - 9 CLG. JOISTS @ 16" O.C. - 2X6 U.O.N.
  - 10 2x6's CLG. JOISTS @ 16" O.C.
  - 11 FLUSH BEAM - (2) 2x12's



**TYPICAL HEADER CONNECTION**

**CEILING FRAMING NOTES**

1. CEILING JOISTS - SYP #2
2. TYP. CEILING JOIST - 2x6 @ 16" O.C. U.N.O.
3. ALL BEAMS AND HEADERS SHALL BE SYP #2
4. HEADER SCHEDULE:

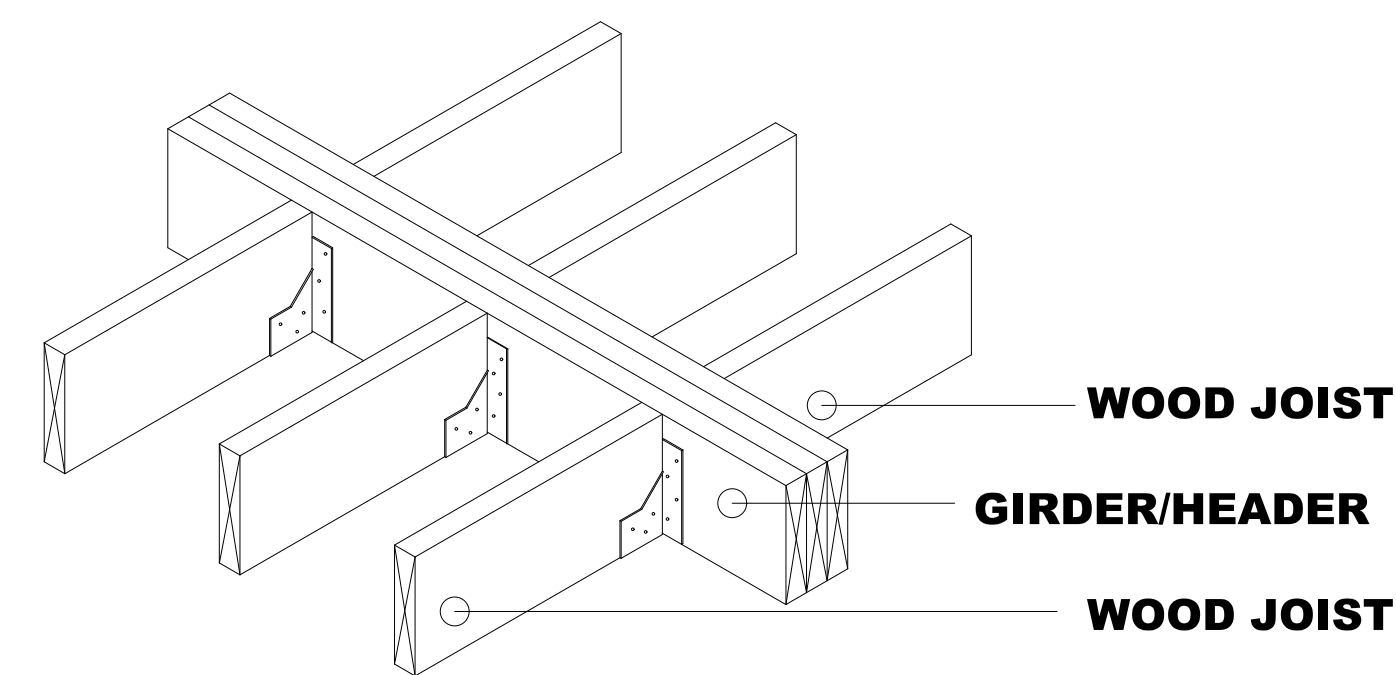
SPAN	HEADER
2'-0" OR LESS	2-2x4
4'-0" OR LESS	2-2x6
6'-0" OR LESS	2-2x6
7'-0" OR LESS	2-2x10

5. ALL FLUSH BEAM-TO-BEAM CONNECTIONS SHALL BE SIMPSON HEB OR HOLT (U.N.O.)
6. ALL BEAMS ARE FLUSH BEAMS U.N.O.
7. PROVIDE FULL BEARING UNDER ALL BEAMS CONTINUOUSLY TO FOUNDATION.
8. DL = 5 PSF LL = 10 PSF

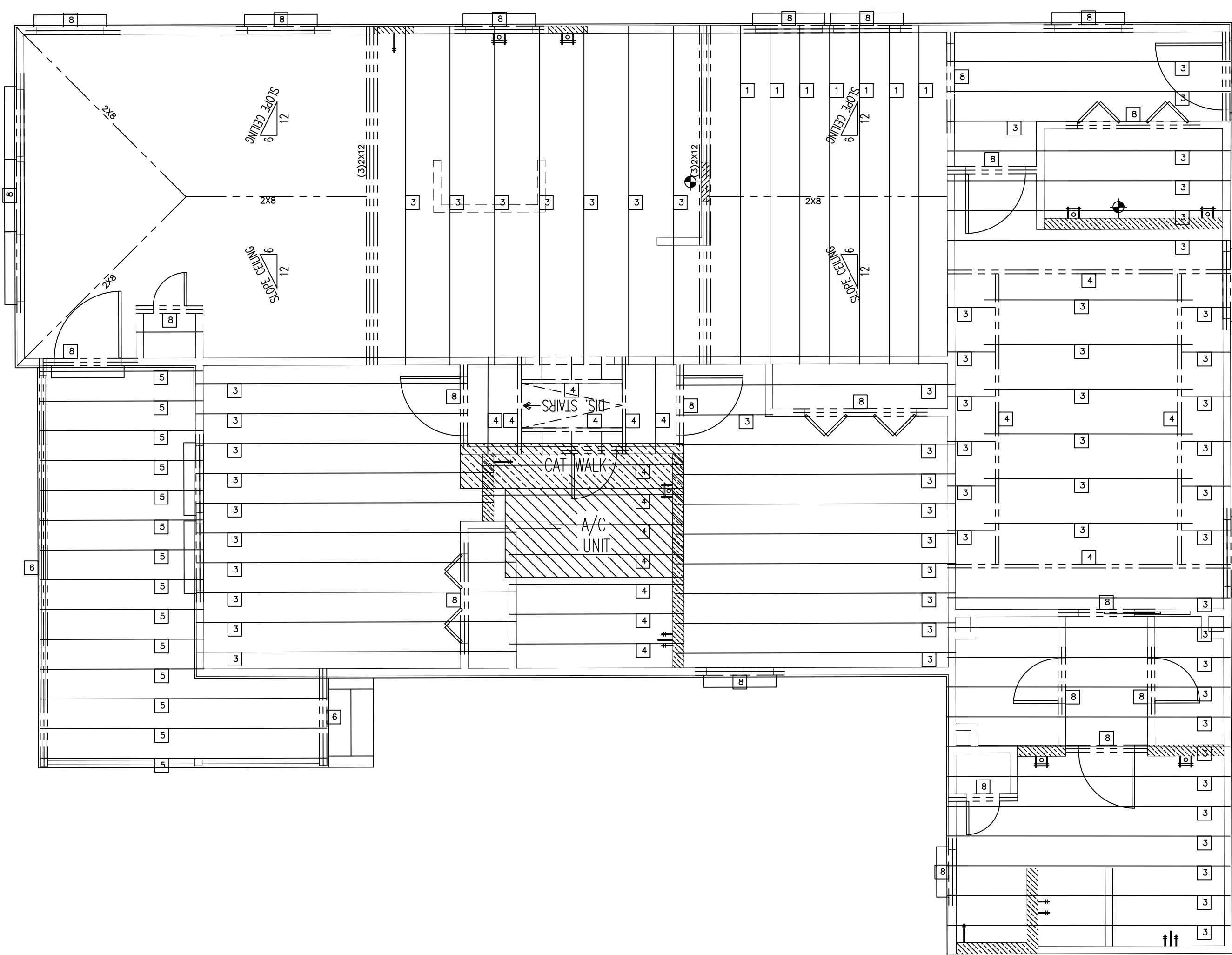
**WIND FRAMING NOTES**

THIS STRUCTURE IS DESIGNED FOR WIND LOAD OF 115 MPH WIND SPEEDS.

STRUCTURE IS DESIGNED FOR 3 SECOND WIND SPEED GUST AT 115 MPH, AS REQUIRED PER SECTION R01.2.1.1 OF THE HOUSTON-AMENDED 2012 IRC.



**JOIST FRAMING FLUSH WITH GIRDER/HEADER**



(LIMITED ATTIC STORAGE) INCLUDES A 10 psf. DEAD LOAD		
12"	15'-6"	12'-1"
16"	13'-6"	10'-5"
24"	11'-0"	8'-6"
12"	20'-1"	15'-4"
16"	18'-5"	13'-3"
24"	14'-8"	10'-10"
12"	26'-0"	18'-1"
16"	20'-9"	15'-8"
24"	17'-0"	12'-10"

(LIMITED ATTIC STORAGE) INCLUDES A 10 psf. DEAD LOAD		
12"	21'-9"	16'-8"
16"	18'-1"	14'-5"
24"	15'-4"	11'-10"

(20 psf. LIVE LOAD-7 psf. DEAD LOAD) INCLUDES A 7 psf. DEAD LOAD		
12"	17'-0"	13'-7"
16"	15'-2"	11'-9"
24"	12'-5"	9'-7"

(1/2" PLY. FILL W/2X12'S)		
2-2X6	4'-6"	
2-2X8	6'-0"	
2-2X10	7'-6"	
2-2X12	9'-0"	

**BEAM SIZE**

BEAM SIZE	NUMBER OF STUDS UNDER EA. END (U.O.N.)
2-2X12	2-2X4 STUDS
3-2X12	3-2X4 STUDS
4-2X12	4-2X4 STUDS
3 1/8" W. GLULAM	3-2X4 STUDS
5 1/8" W. GLULAM	4-2X4 STUDS
6 3/8" W. GLULAM	5-2X4 STUDS

NOTES:  
 1. THE STUDS AS INDICATED ABOVE UNLESS OTHERWISE NOTED ON PLAN.  
 2. STUDS UNDER BEAMS SHALL BE CONTINUOUS TO FOUNDATION.

**WIND RESISTANT CONSTRUCTION CONNECTORS**

NOTES:	PART NUMBER:	CONNECTION LOCATION:
APPLY TO EVERY OTHER PAIR OF RAFTERS	LSTA24	RIDGE-TO-RAFTERS
APPLY TO EVERY OTHER RAFTER	RT20	RAFTER-TO-WALL
APPLY TO EACH RAFTER (USE WITH SPTH4 CONNECTOR)	RT15	RAFTER-TO-PLATE
APPLY TO EVERY OTHER WALL STUD	SPTH4	PLATE-TO-WALL STUD
APPLY TO EVERY OTHER WALL STUD	KLFTA OR MSTA36	2ND. FLOOR WALL-TO-1ST. FLOOR WALL
APPLY TO EACH JACK STUD	LSTA12	HEADER-TO-JACK STUD
APPLY TO EACH CRIPPLE STUD	RT3 OR RT7	CRIPPLE STUD-TO-HEADER
APPLY TO EACH SIDEWALL END	ADS5	SHEAR WALL HOLDDOWN ANCHOR
WRAP UNDER DOUBLE SILL PLATE (USE WITH 3" SQUARE WASHERS)	MSTA36 OR RS16-R	1ST. FLOOR-UNDER-SILL PLATE

**STUD WALL FRAMING NOTE**

FRAME EXTERIOR LOAD-BEARING STUD WALLS WITH UNBRACED HEIGHT GREATER THAN 10'-0" WITH 2x6 STUDS @ 16" O.C. FRAME INTERIOR LOAD-BEARING STUD WALLS WITH UNBRACED HEIGHT GREATER THAN 10'-0" WITH 2-2x4 STUDS @ 16" O.C.

**WIND FRAMING NOTES**

TYPICAL INDICATION FOR SHEAR WALL TYPE SEE WIND-FRAMING DETAIL SHEET FOR SHEAR WALL SCHEDULE

SEE WIND-FRAMING DETAIL SHEET FOR TYPICAL SHEAR WALL PLACEMENT ELEVATION

SEE WIND-FRAMING DETAIL SHEET FOR SHEAR WALL NAILING AROUND DOOR AND WINDOW OPENINGS

**STEEL ANGLE LINTEL SCHEDULE**

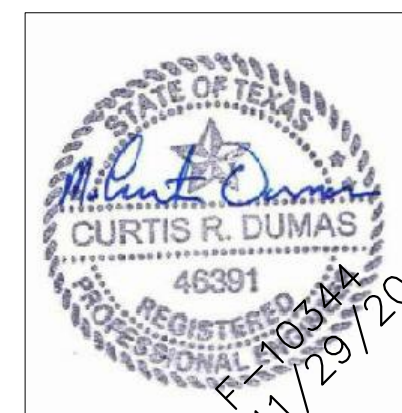
CLEAR SPAN	ANGLE SIZE
5'-0" OR LESS	L 3 1/2 x 3 1/2 x 5/16
6'-0" OR LESS	L 4 x 3 1/2 x 5/16 (LLV)
7'-0" OR LESS	L 4 x 3 1/2 x 5/16 (LLV)
8'-0" OR LESS	L 5 x 3 1/2 x 5/16 (LLV)
9'-0" OR LESS	L 5 x 3 1/2 x 3/8 (LLV)
10'-0" OR LESS	L 6 x 3 1/2 x 3/8 (LLV)

LLV - LONG LEG VERTICAL

USE THE FOLLOWING OR APPROVED USP METAL CONNECTORS FOR PROPER WIND RESISTANT CONSTRUCTION FOLLOW MANUFACTURE'S RECOMMENDED INSTALLATION INSTRUCTIONS TO TO ACHIEVE MAXIMUM UPLIFT LOAD CAPACITY.

**CEILING JOIST LAYOUT**

SCALE: 1/4" = 1' - 0"



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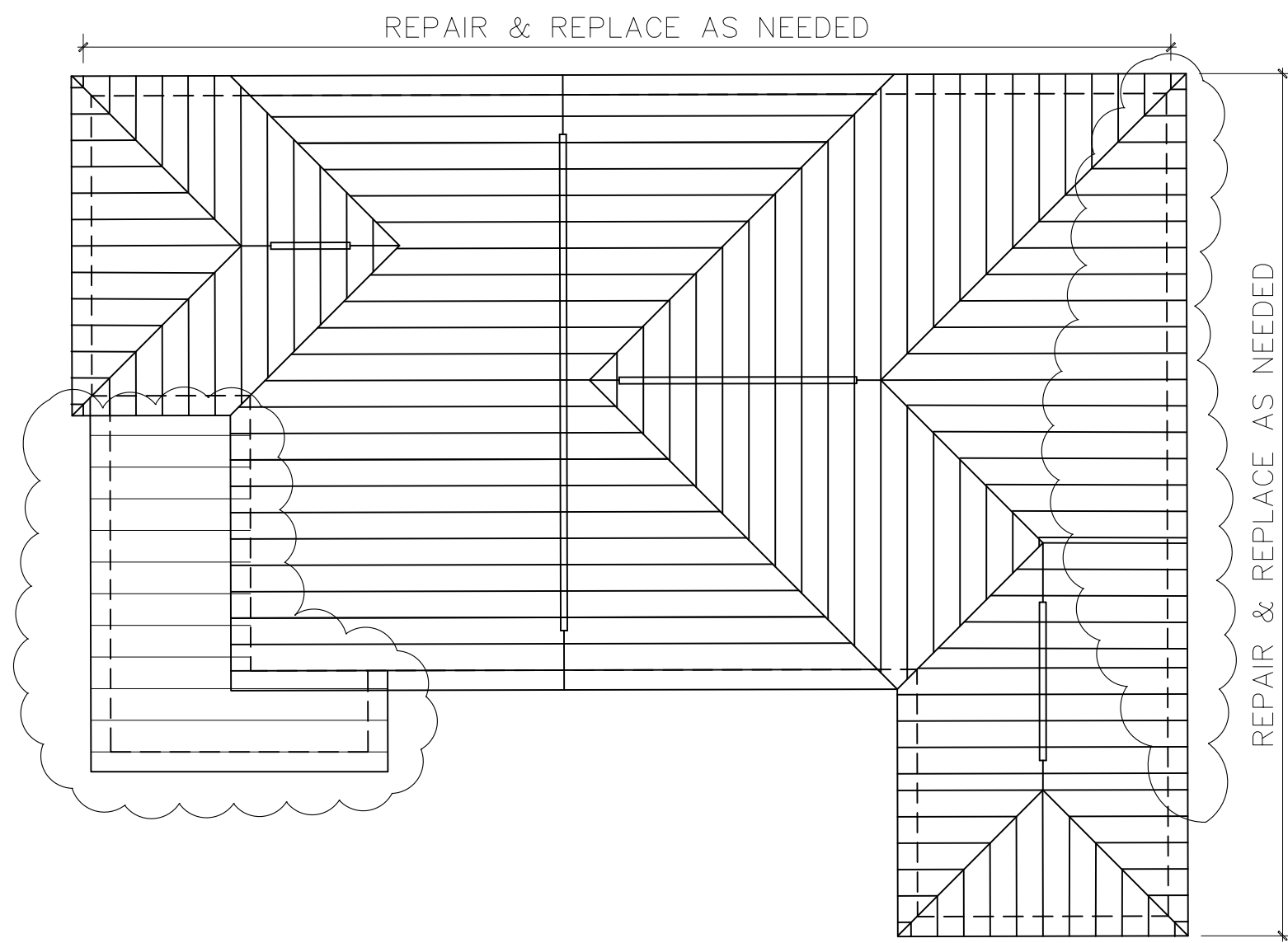
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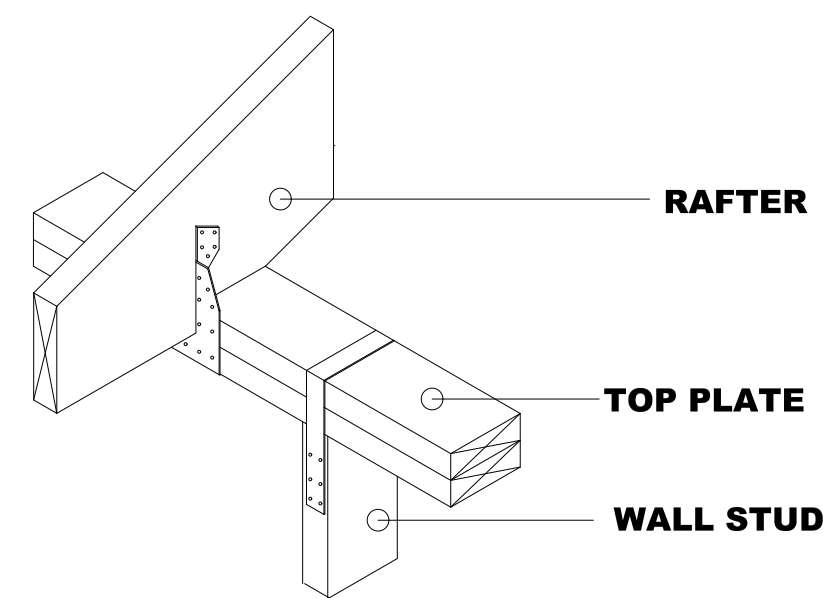
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S3

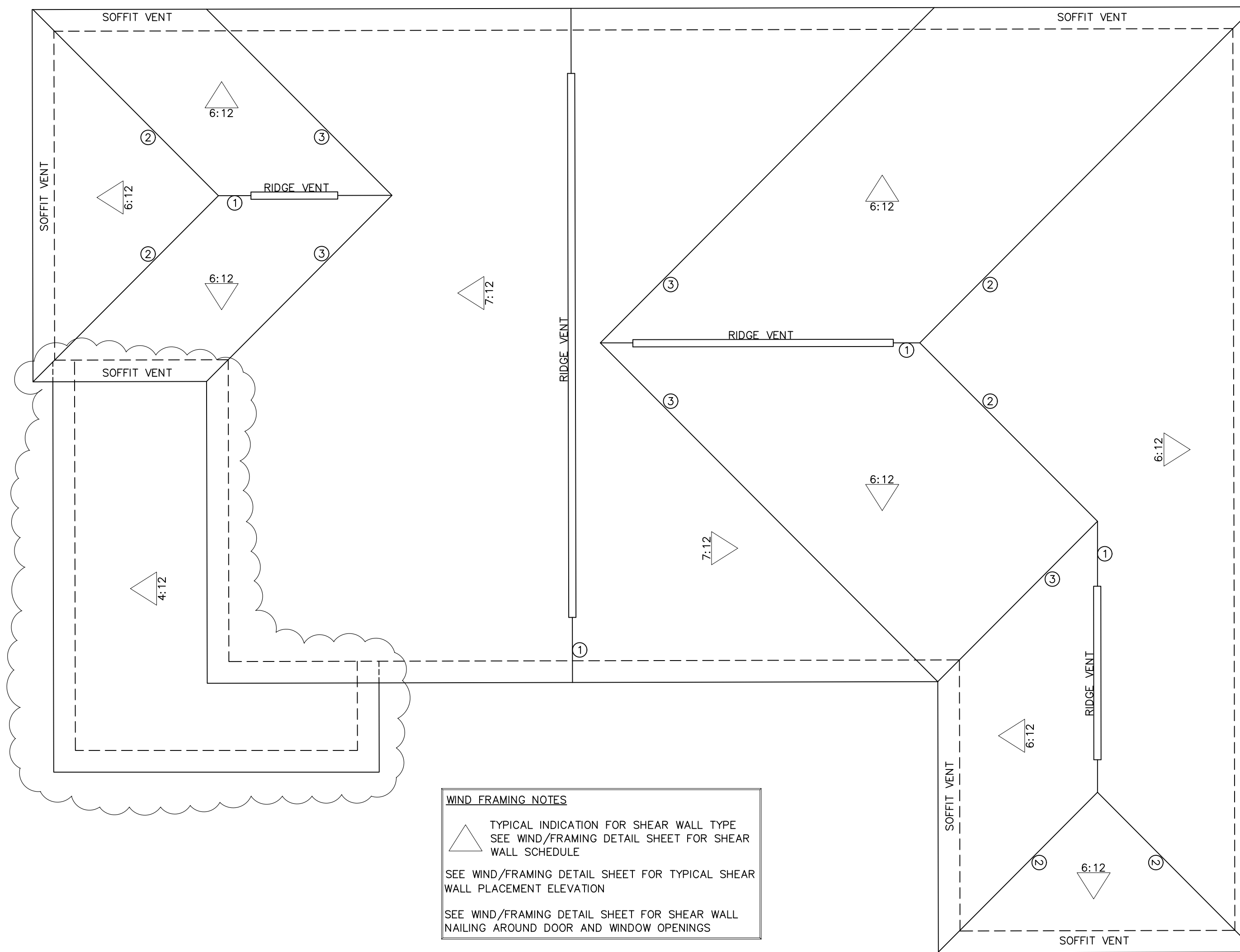


## RAFTER LAYOUT

SCALE: 1/8" = 1' - 0"



RAFTER CONNECTION TO TOP PLATE



**WIND FRAMING NOTES**

△ TYPICAL INDICATION FOR SHEAR WALL TYPE. SEE WIND/FRAMING DETAIL SHEET FOR SHEAR WALL SCHEDULE.

SEE WIND/FRAMING DETAIL SHEET FOR TYPICAL SHEAR WALL PLACEMENT ELEVATION.

SEE WIND/FRAMING DETAIL SHEET FOR SHEAR WALL NAILING AROUND DOOR AND WINDOW OPENINGS.

NOTES:	PART NUMBER:	CONNECTION LOCATION:
APPLY TO EVERY OTHER PAIR OF RAFTERS	LSTA24	RIDGE-TO-RAFTERS
APPLY TO EVERY OTHER RAFTER	RT20	RAFTER-TO-WALL
APPLY TO EACH RAFTER (USE WITH SPTH4 CONNECTOR)	RT15	RAFTER-TO-PLATE
APPLY TO EVERY OTHER WALL STUD	SPTH4	PLATE-TO-WALL STUD
APPLY TO EVERY OTHER WALL STUD	KLFTA OR MST336	2ND. FLOOR WALL-TO-1ST. FLOOR WALL
APPLY TO EACH JACK STUD	LSTA12	HEADER-TO-JACK STUD
APPLY TO EACH CRIPPLE STUD	RT3 OR RT7	CRIPPLE STUD-TO-HEADER
APPLY TO EACH SIDEWALL END	ADSS	SHEAR WALL HOLDDOWN ANCHOR
WRAP UNDER DOUBLE SILL PLATE (USE WITH 3" SQUARE WASHERS)	MSTA36 OR RS16-R	1ST. FLOOR-UNDER-SILL PLATE

USE THE FOLLOWING OR APPROVED USP METAL CONNECTORS FOR PROPER WIND RESISTANT CONSTRUCTION. FOLLOW MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS TO ACHIEVE MAXIMUM UPLIFT LOAD CAPACITY.

**RAFTER HURRICANE TIES**

CONNECT ALTERNATE RAFTERS TO SUPPORTS WITH SIMPSON H2.5 HURRICANE TIES. ALIGN OPPOSING RAFTERS @ RIDGE AND CONNECT ALTERNATE RAFTERS W/ SIMPSON LSTA STRAP TIE AND 10-10d NAILS (5 EACH SIDE OF RIDGE).

**ROOF PURLIN NOTES**

TYPICAL INDICATION FOR CONT. 2x6 PURLIN W/ 2x4 BRACES @ 48" O.C. TO BEAM OR WALL BELOW.

**ROOF FRAMING NOTES**

1. RAFTERS - SYP #3
2. TYP. RAFTER - 2x6 @ 16" O.C. U.N.O.
3. TYP. SHEATHING - 1/2" CDX 32/16 APA RATED W/ 8d @ 6" EDGES & 12" FIELD
4. ALL HIP, RIDGES, AND VALLEYS SHALL BE ONE SIZE LARGER THAN RAFTER SIZE (U.N.O.)
5. DL = 10 PSF LL = 20 PSF

**VALLEY BRACE NOTES**

TYPICAL INDICATION FOR 2x4 VALLEY BRACE TO BEAM OR WALL BELOW.

**OVERLAY FRAMING NOTES**

TYPICAL INDICATION FOR OVERLAY FRAMING. BRACE RAFTERS TO OVERLAY FRAMING BELOW WITH 2x4 STRUTS @ 32" O.C. EA. WAY.

## ROOF FRAMING NOTES:

ALL RAFTERS SHOWN TO BE 2 X 6 AT 16" O.C., UNLESS OTHERWISE NOTED. RIDGES, HIP AND VALLEY RAFTERS TO BE ONE SIZE LARGER THAN RAFTERS.(I.E. 2X8).

ALL FRAMING MATERIALS TO BE #3 K.D. SO. YELLOW PINE.

MAXIMUM UNSUPPORTED RAFTER SPAN FOR 2 X 6 IS 11'-0".

BRACE ROOF WITH 2 X 4 BRACES AT 48" O.C. WITH CONTINUOUS 2 X 6 PURLINS.

PROVIDE 2 X 6 COLLAR BEAMS AT 48" O.C. IN UPPER 1/3RD OF ROOF.

1/2" CDX PLYWOOD DECKING WITH PANEL SPAN RATING OF 32/16.

SEE ELEVATIONS FOR ROOF SLOPES AND OVERHANGS.

APPLY CRICKETS TO ROOF DECKING.

DOUBLE FRAMING AROUND THE CHIMNEY OPENINGS AND ANY SKYLIGHT.

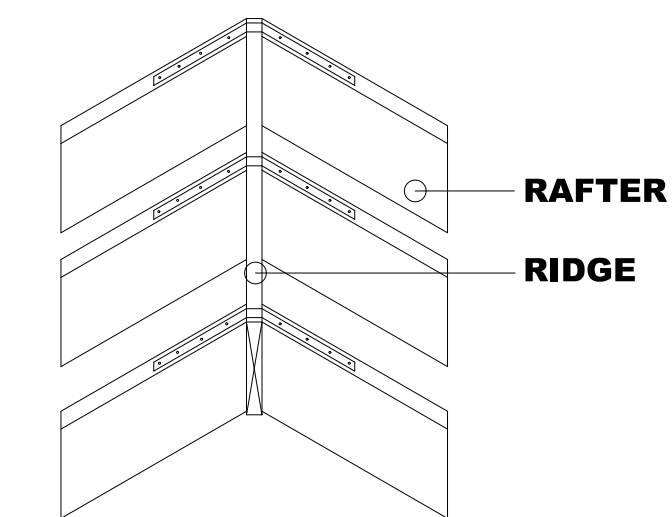
RAKES TO BE 8" FROM EXTERIOR WALL.

ANY OUTLOOKERS TO BE 2 X 4 AT 16" O.C.

ANY KICKOUTS TO BE 2 X 6 AT 16" O.C., SEE ELEVATIONS FOR SLOPE. DESIGN FOR 115 MPH WIND SPEED WITH A 3 SEC GUST FACTOR.

## ROOF LEGEND

- ① RIDGE
- ② HIP
- ③ VALLEY
- ④ OUTLOOKERS
- ⑤ KICKOUTS
- ⑥ ROOF VENT
- ⑦ PURLINS



TYPICAL RIDGE TO RAFTER STRAPPING

**NOTES**

- 1) UWA = UNDER WALL ABOVE
- 2) USE A 3" STD PIPE W/ 1/4" STEEL PL SADDLE. OMIT SADDLE IF STEEL BEAM OPTION IS USED. SEE DETAIL 1
- 3) ALL 1ST FLOOR STUD WALLS SUPPORTING FLOOR TO BE DBL. 2X4@16" O.C. OR 2X6@16" O.C.

## ROOF & RAFTER'S LAYOUT

SCALE: 1/4" = 1' - 0"

DESIGNED BY: ATC  
 DRAWN BY: ATC  
 CHECKED BY: CG  
 DATE: 11/29/2021  
 REL. FOR CONST.: 20211115-108

PROPOSED REMODEL & ADDITION  
**KB&J Investments LLC**  
 4418 Noble Street  
 Houston, Texas 77020

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