

T-47 Residential Real Property Affidavit  
(May be Modified as Appropriate for Commercial Transactions)

Date: \_\_\_\_\_

GF No. \_\_\_\_\_

Name of Affiant(s): \_\_\_\_\_

Address of Affiant: 2226 Canebreak Crossing SLDX 77078

Description of Property: LOT 8 Blk 3 sec 2 The Highlands  
County FT Bend, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being duly sworn, stated:

1. We are the owners of the Property. Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.":  
Patrick A. Fazio.

2. We are familiar with the Property and with the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as the Title Company may deem appropriate. We understand that the owner of the Property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner Policy of Title Insurance upon payment of the promulgated premium.

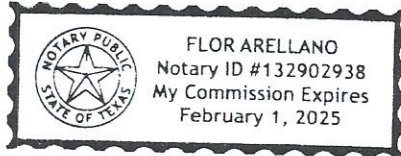
4. To the best of our actual knowledge and belief, since 1993 there have been no:  
a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;  
b. changes in the location of boundary fences or boundary walls;  
c. construction projects on immediately adjoining property(ies) which encroach on the Property;  
d. conveyance, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property;

EXCEPT for the following (if None, Insert "None" Below): None

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to the Title Company or the title insurance company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Pat Fazio  
\_\_\_\_\_



SWORN AND SUBSCRIBED this 2 day of May, 2022

[Signature]  
Notary Public

(TAR- 1907) 5-01-08

PEOPLES PROPERTIES. 3350 HWY 6 # 407 Sugar Land, TX 77478

Phone: 281.980.3322

Fax: 281.980.3365

Suzette Peoples

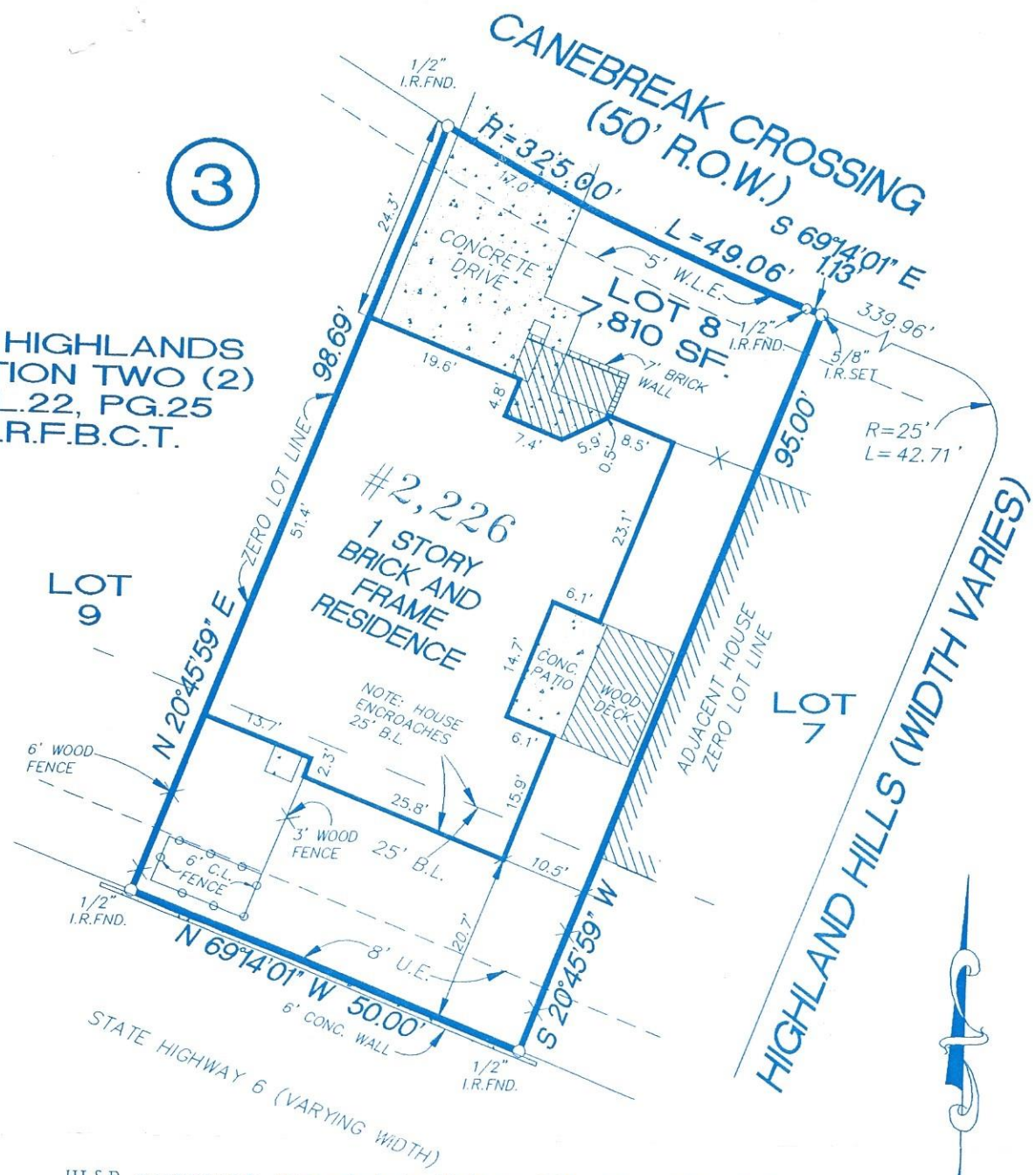
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**CANEBREAK CROSSING  
(50' R.O.W.)**

3

THE HIGHLANDS  
SECTION TWO (2)  
VOL. 22, PG. 25  
M.R.F.B.C.T.



HL&P agreement recorded in Volume 840, Page 83 of the Deed Records of Fort Bend County, Texas.

SCALE: 1"=20'

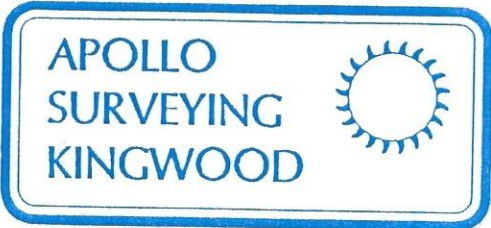
DESCRIPTION OF PROPERTY	Lot Eight (8), in Block Three (3), of THE HIGHLANDS, SECTION TWO (2), an addition in Fort Bend County, Texas, according to the map or plat thereof recorded in Volume 22, Page 25 of the Plat Records of Fort Bend County, Texas.
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PURCHASER ADDRESS	TERRI ALDRETE 2226 Canebreak Crossing, Sugarland, Texas
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DATE	8/16/93
SCALE	1" = 20'
G.F. No.	06240-F-94

I do hereby certify that the above property has been surveyed under my supervision, is true and correct, that the corners of the property have been set, left as found, or referenced, that the above property has access to a dedicated public roadway, and that there are no discrepancies or encroachments on this property unless shown: that this survey is to be used in conjunction with the Title Report and that this survey conforms to the Texas Society of Professional Land Surveyor Standards and Specifications.

The above property lies in Zone	"X"
	minimal flooding
	as defined as H.U.D./F.I.A.
	NOT in 100 yr flood plane
Panel	481485-0255-H
Revised	9/30/92



JOB No.	2-9934-93
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700 Rockmead Drive, Suite 163  
Kingwood, TX 77339 (359-1925)  
(Fax 359-3406)

*Floyd N. Cole, Jr.*  
**Floyd N. Cole, Jr.**  
Registered Prof. Land Surveyor  
No. 1060