

Sullivan
Henry
Oggero

BUILDING DESIGNERS

front elevation

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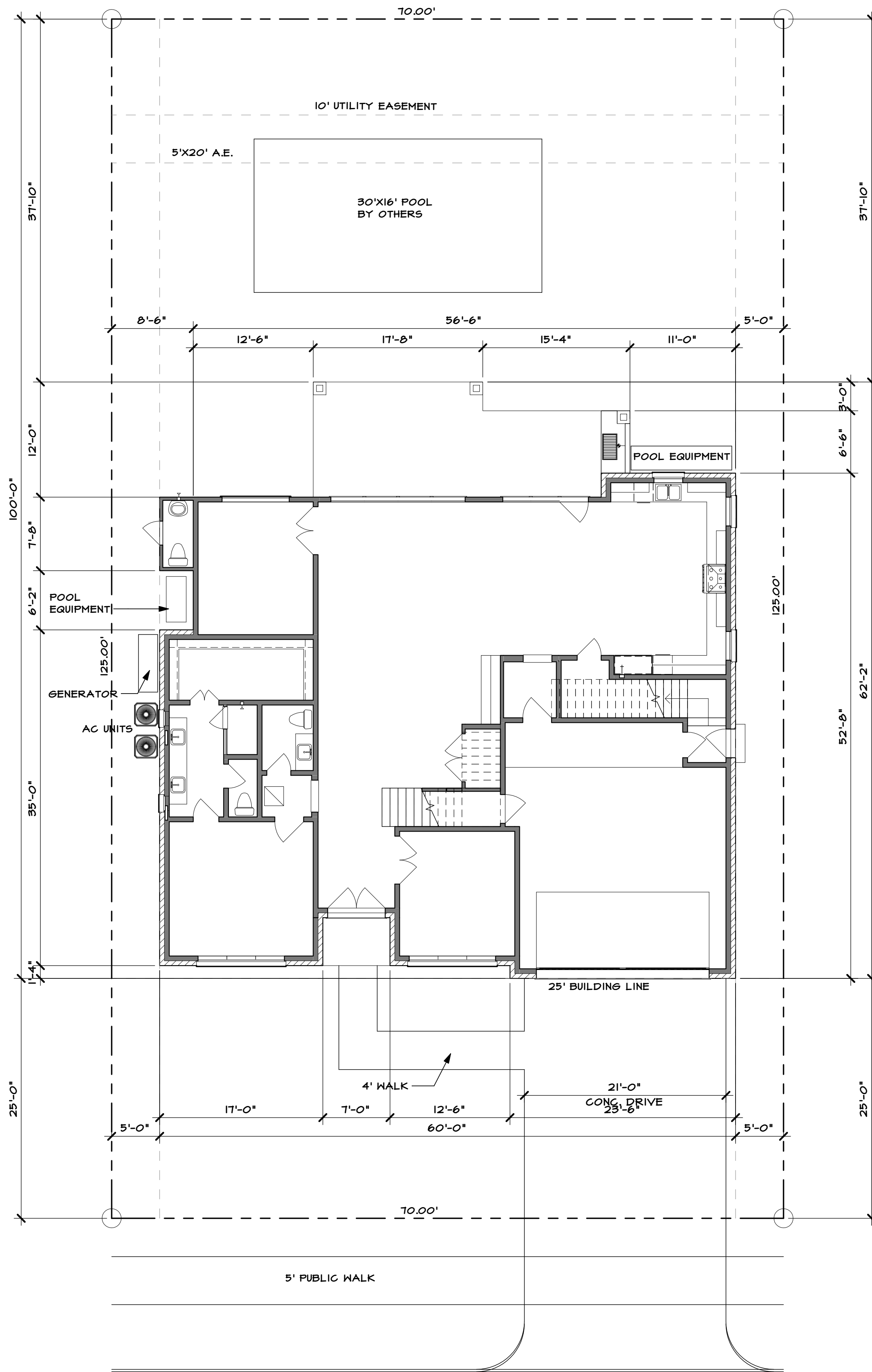
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UNIKA
CUSTOM HOMES

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note:

OWNER/BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL EASEMENTS AND BUILDING LINES, PRIOR TO START OF CONSTRUCTION.

- FINISHED FLOOR ELEVATION TO BE 1'-0" (MIN) ABOVE NEAREST SANI. SEWER M.H. SERVING THIS RESIDENCE OR 4" ABOVE THE CROWN OF THE STREET WHICH EVER IS GREATER. R401.5 LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM FOUNDATIONS. THE FALL SHALL BE A MIN OF 6" IN THE FIRST 10' (5%) R401.3

DRAINAGE: R401.3 EXCEPTION 2012 IRC IF A SWALE OR DRAIN IS USED DUE TO A PHYSICAL BARRIER OR LOT LINE THE PLANS MUST INDICATE THE POSITIVE DRAINAGE DETAILS. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

- DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THIS FIRM. GREAT CARE SHOULD BE TAKEN IN EVALUATING THE DRAINAGE REQUIREMENTS.



3504 Suffolk Drive

60' R.O.W.
MANHOLE ELEV = 0.00'
(ASSUMED)

lot 22
block 1
Lynn Park Annex

lot coverage

site plan

LOT AREA	8750 SQ.FT.
HOUSE PAD	3318 SQ.FT.
PERC. COV.	37.92 % (60% MAX)
DRIVE / WALK	630 SQ.FT.
POOL DECKING	1100 SQ.FT.
TOTAL COV.	5048 SQ.FT.
PERC. COV.	57.64 % (65% MAX)

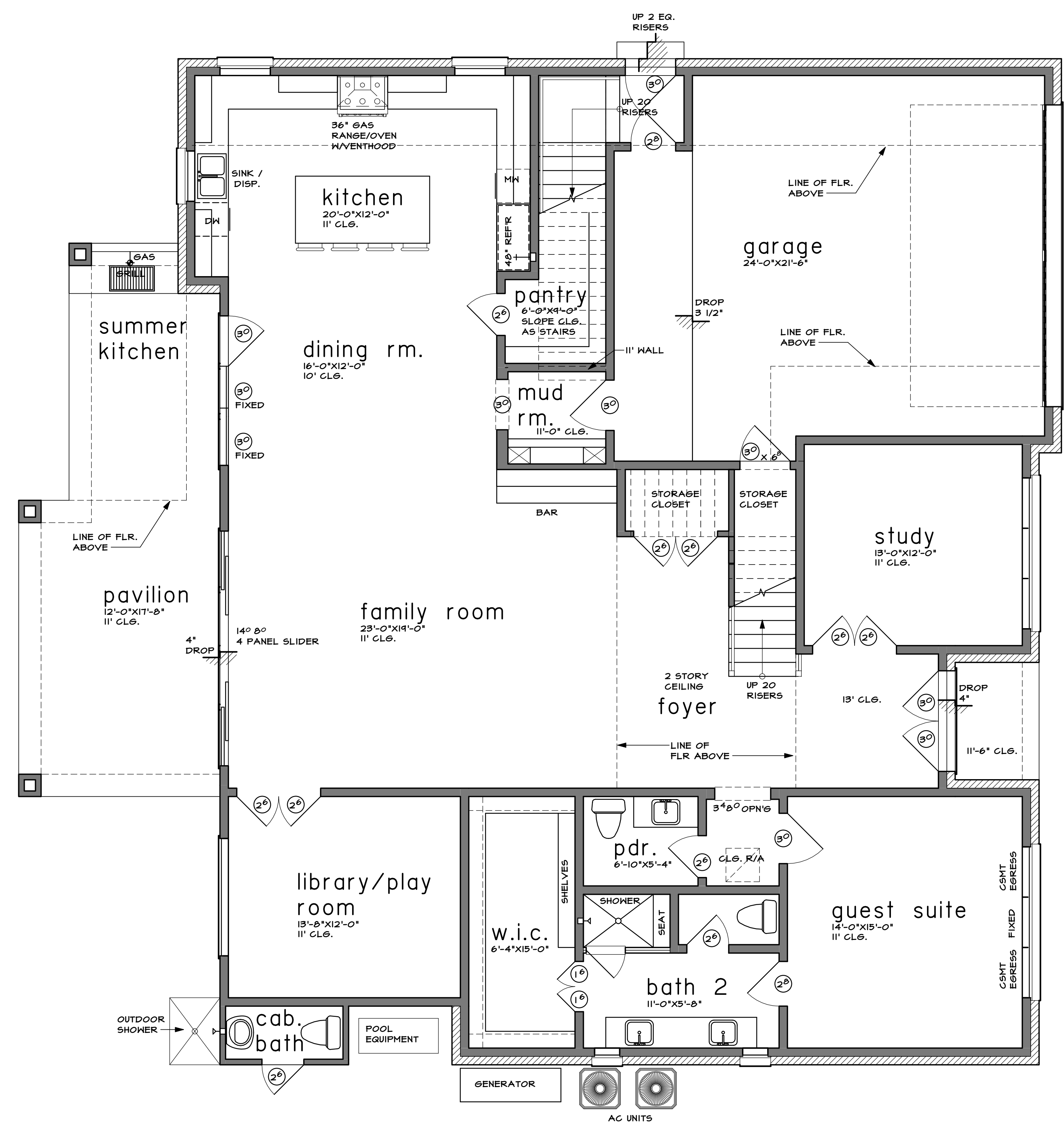
SCALE: 1/8" = 1'-0"

PLAN NO. 3964

SHEET NO. FLYSHEET

unless otherwise noted

- GYP. BOARD WALLS AND CEILING
- 10'-0" CLG. HT. AT FIRST FLOOR (2X6 WALLS)
- 10'-0" CLG. HT. AT SECOND FLOOR
- ALL ANGLES TO BE 45 DEGREES
- 1 3/4" S.C. DOORS
- 8'-0" DOOR HT. AT FIRST FLR.
- 8'-0" DOOR HT. AT SECOND FLR.
- SINGLE HUNG VINYL WINDOWS WITH DIVIDED LTS.
- 8'-0" HEADER HT. AT FIRST FLR.
- 8'-0" HEADER HT. AT SECOND FLR.
- ALL BEDROOM WINDOWS TO BE 44" A.F.F.(MAX)
- 24" HIGH X 20" WIDE (MIN) OPENING WITH 5.7 SQ. FT. (MIN) NET CLEAR OPENING
- WHEN DOORS ARE USED FOR EMERGENCY EGRESS, IT SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.
- ALL BEDROOM HDW @ 2ND FLR. TO BE MIN. 24" A.F.F.
- ALL GLAZING WITHIN HAZARDOUS LOCATIONS SHALL HAVE SAFETY GLASS IN COMPLIANCE WITH R308 (IRC 2012)
- ALL EGRESS DOORS & WINDOWS SHALL HAVE LOCKS ALLOWING EGRESS WITHOUT THE USE OF A KEY AND MEET R310 & 311.
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH R314 (IRC 2012). MULTIPLE UNITS SHALL BE 2012 INTERCONNECTED TO ACTIVATE ALL ALARMS. CONSULT MANUF. RECOMMENDATIONS FOR DISTANCE FROM R/A.
- LOCATE GAS WATER HEATER IN ATTIC. ABV. LOAD BEARING PARTITION IN FAN WITH RELIEF DRAIN LINE TO OUTSIDE. INSTALLATION MUST COMPLY WITH MANUF. INSTRUCT. AND ALL APPL. CODES.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH R308 (IRC 2012)
- CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
- ALL PREFAB FIREPLACES TO BE UL & IRC 2012 APPROVED & A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN BEDROOMS WHEN A GAS FIREPLACE IS INSTALLED AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS WHICH FUEL-FIRED APPLIANCES ARE INSTALLED & OR HAVE ATTACHED GARAGES.
- STAIRWAYS SHALL COMPLY WITH R311 (IRC 2012) SEE DETAIL SHT.
- HANDRAILS TO BE 34" TO 38" ABV. NOSE OF TREAD 1 SHALL BE CONTINUOUS FOR THE FULL FLIGHT & TERMINATE AT A NEHEL OR SAFETY TERMINAL. ADJACENT TO THE WALL ALLOW 2" MIN. BTWN WALL & RAIL R 311.5.6.2
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R311 & R301.3 (IRC 2012) THE MIN UNIFORM LIVE LOAD SHALL BE 200# AND A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP
- GUARDRAILS TO BE 36" A.F.F. (MIN) WITH BALUSTERS AT 4" O.C. MAX. PER R311 & 312 (IRC 2012) SEE DETAIL SHT.
- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152 MM) CANNOT PASS THROUGH.
- HANDGRIPPING PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4" NOT MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AND EQUIV. GRIPPING SURFACE PER R311 (IRC 2012)
- ENCLOSE UNDERSIDE OF STAIRWELL WITH 5/8" TYPE 'X' FIRE CODE GYP. BOARD
- SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH IRC 2012 TABLE R602.3 (1) & 3 (2) (OR EQ.) REFER TO STANDARD DETAIL SHEET
- DISAPPEARING STAIRS TO BE MIN. 22" X 30" CLEAR OPENING (30" X 54" R.O.J) & SHALL COMPLY WITH R307 (IRC 2012). INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR UNIFORMLY DISTRIBUTED LIVE LOAD OR A 350 LB CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. INCHES, WHICHEVER PRODUCES THE GREATEST STRESS
- ATTIC ACCESS/DISAPPEARING STAIRS IN THE GARAGE CLG. MAY BE INSTALLED PROVIDED THE EXPOSED PANEL IS NOT LESS THAN 3/8" THICK FIRE RETARDANT TREATED PLYWOOD, 1/2" SHEET ROCK OR COVERED W/ A MIN. OF 16GA SHEET METAL. ROUGH OPENING SHALL NOT BE LESS THAN 22"X30" AS PER IRC 2012 SECTION R307.1.
- ALL HEIGHTS ARE DEFINED FROM MAIN FINISHED FLOOR.
- SLOPE 1/8" PER EVERY 1'-0" TYP. AT PORCH, PAVILION, ETC.



bath schedule

- TILE FLOORS (AT NET AREAS)
- TILE WALLS AT TUB (SECONDARY BATHS)
- TILE FULL AT SHOWER
- SOLID SURFACE COUNTER TOPS AND SPLASHES
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND MUST COMPLY WITH R308 (IRC 2012)
- SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" ABV. DRAIN INLET OVER CONCRETE BACKERBOARD R307.
- ALL PLUMBING FIXTURES SHALL BE SPACED PER R307.2 (IRC 2012)

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square footage

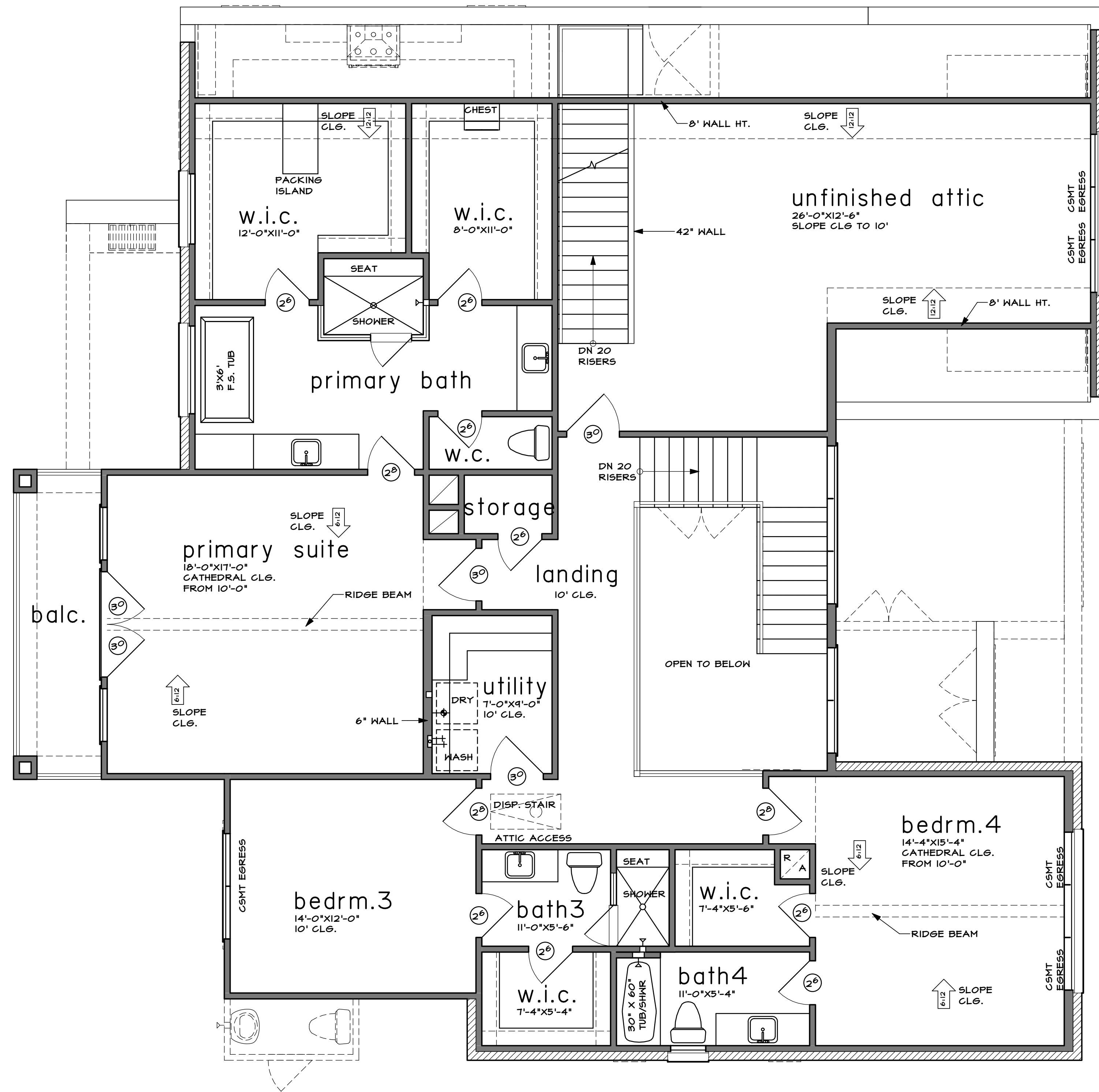
FIRST FLOOR	2208
SECOND FLOOR	1756
TOTAL LIVING AREA	3964
UNFINISHED ATTIC	450
GARAGE	705
PAVILION	343
PORCH	35
BALCONY	88
CABANA BATH	27
TOTAL COVERED AREA	5612

first floor plan

SCALE: 1/4" = 1'-0"

NOTE:
THE STRUCTURAL DESIGN OF THE STAIRS INCLUDING LOAD CARRYING CAPABILITY, STABILITY STRENGTH AND CONNECTIONS TO SUPPORT MEMBERS, ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE FRAMING CONTRACTOR. THE STRUCTURAL DESIGN HAS NOT BEEN REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD OR SULLIVAN HENRY OGGERO & ASSOC., INC.

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second floor plan

SCALE: 1/4" = 1'-0"