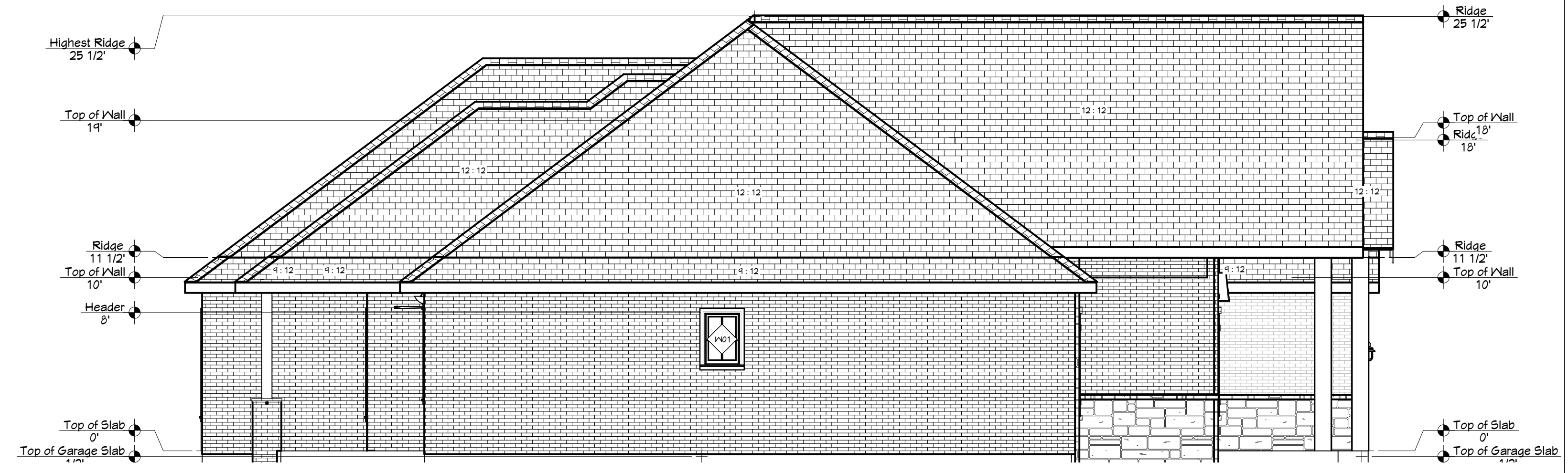
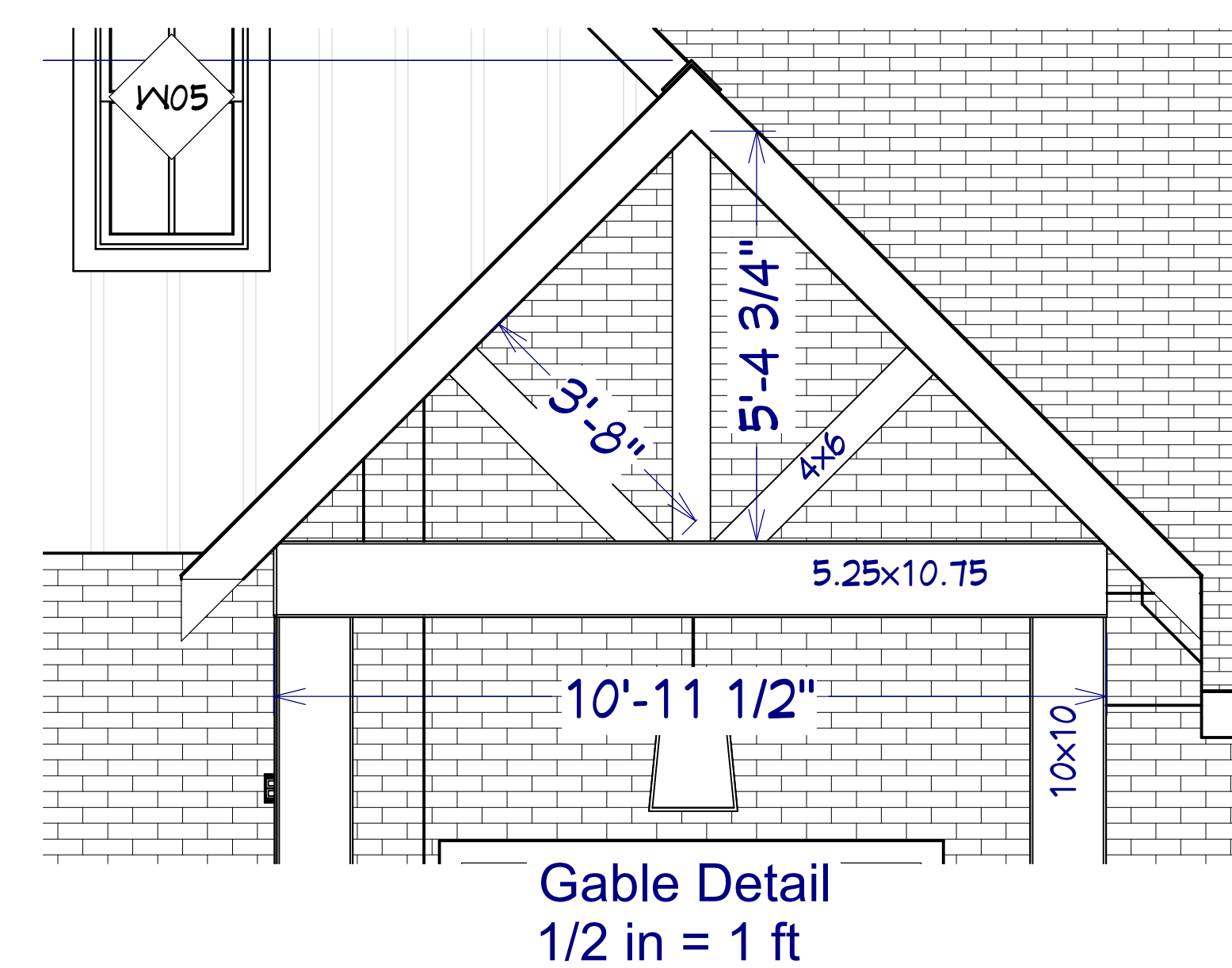




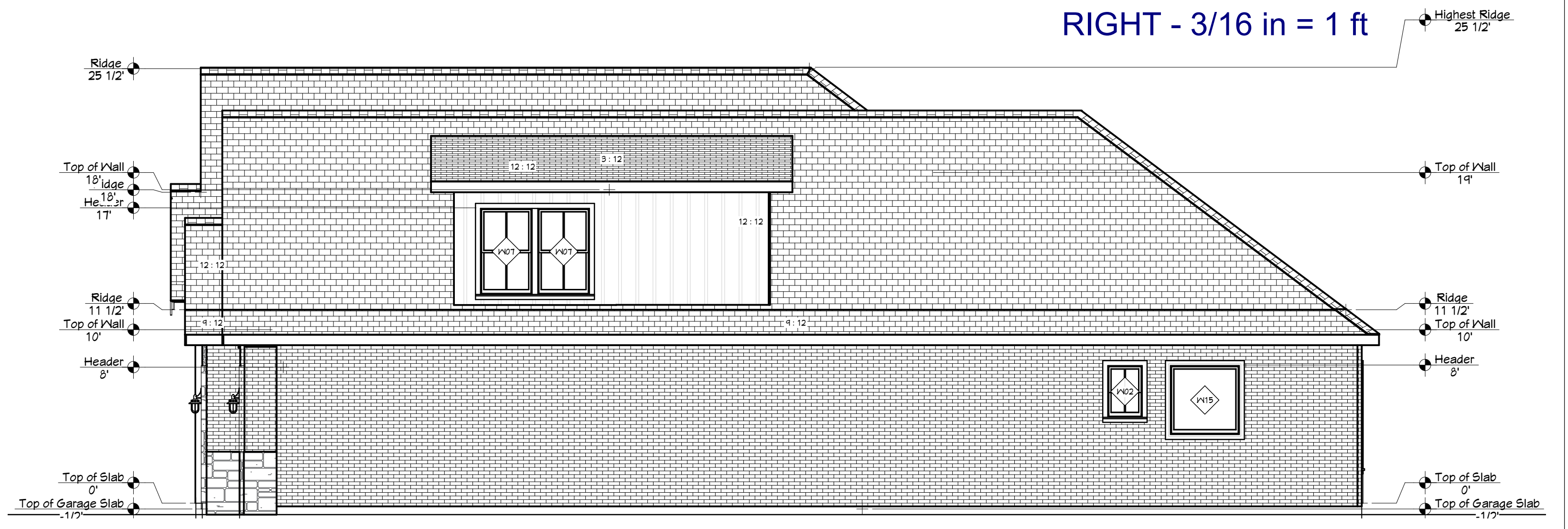
FRONT - 3/16 in = 1 ft



LEFT - 3/16 in = 1 ft



REAR - 3/16 in = 1 ft



RIGHT - 3/16 in = 1 ft

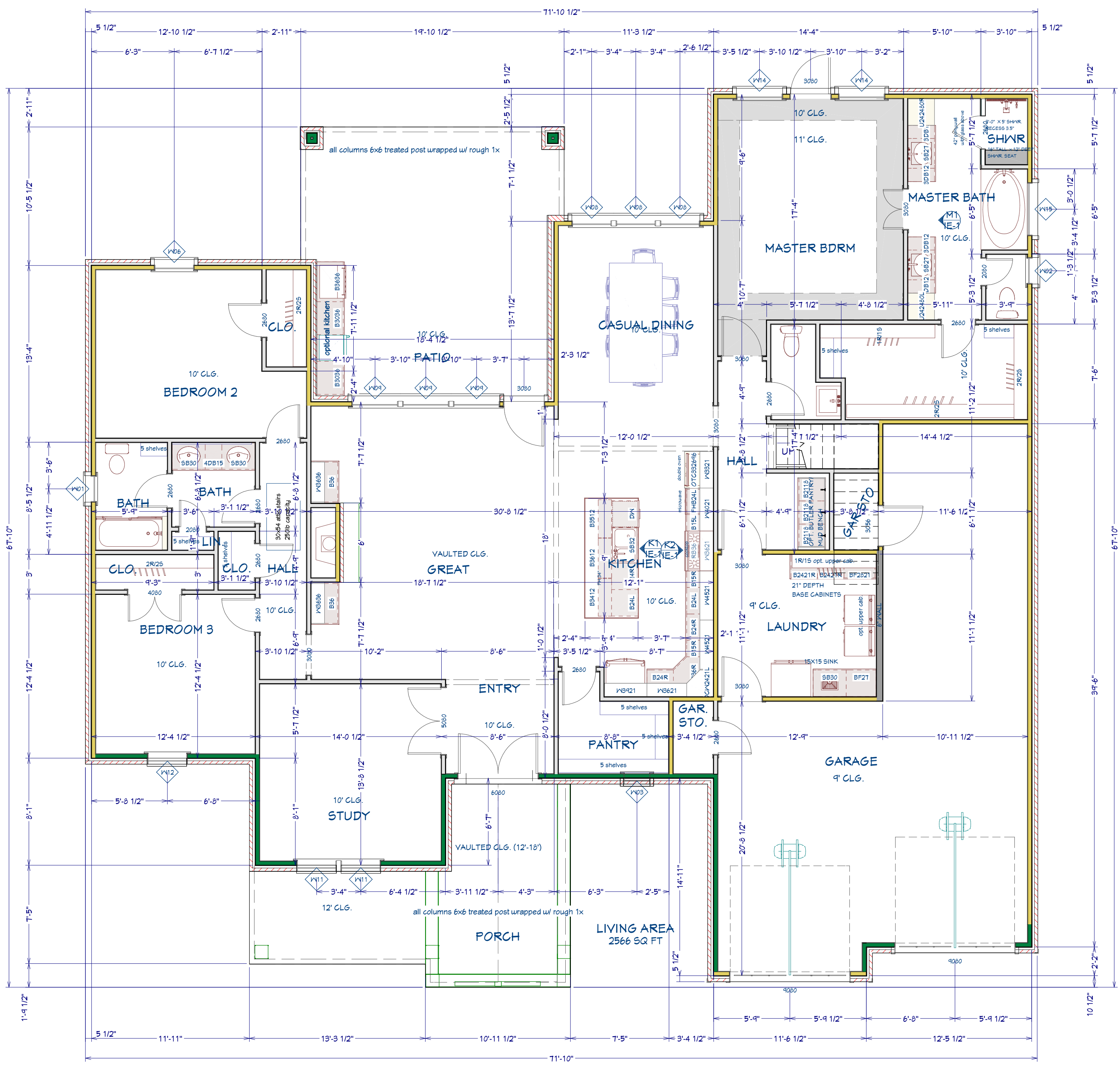
Hallmark Builders
 Plan 6 A Mod

PROJECT DESCRIPTION:

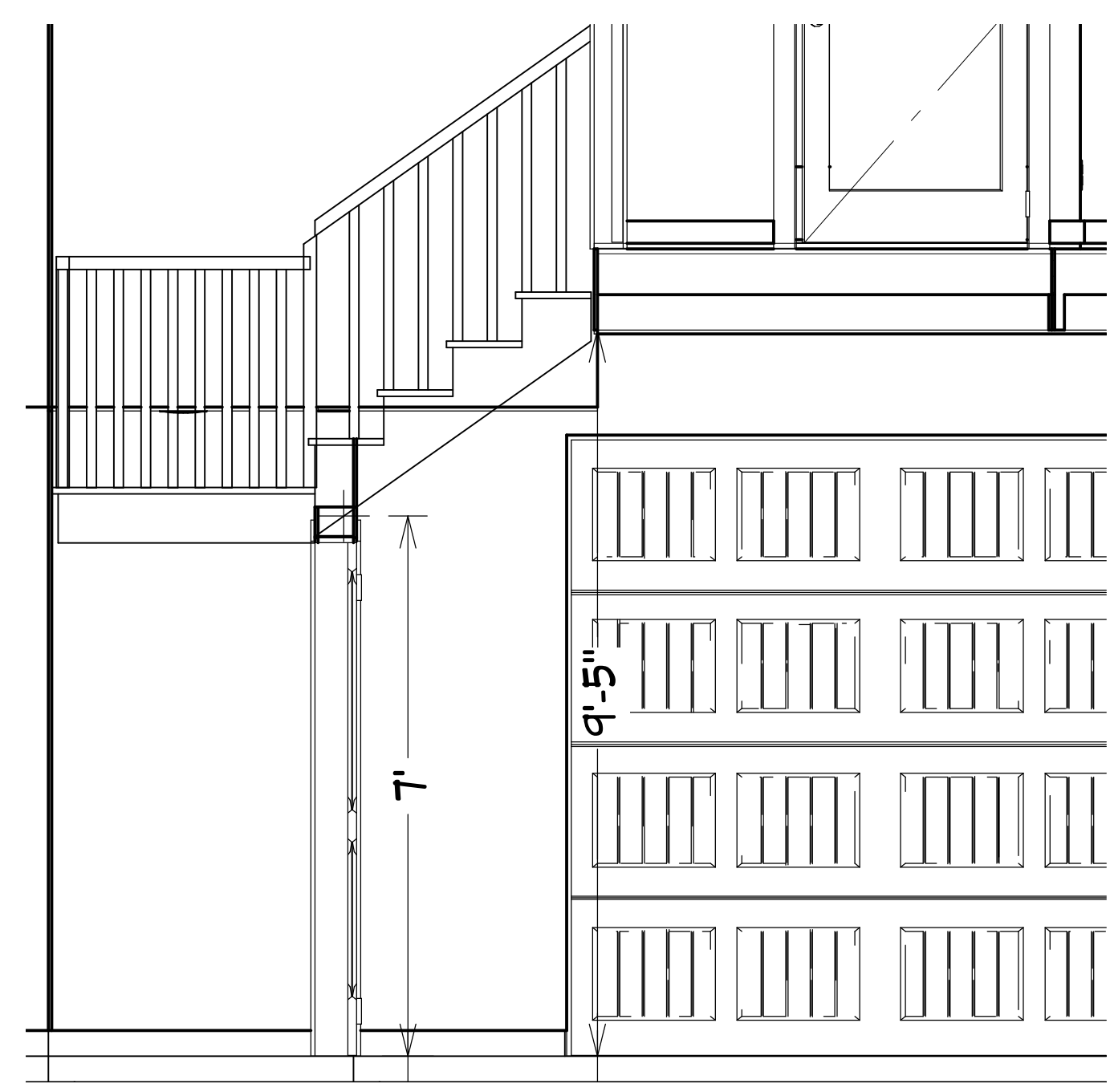
ELEVATION A EXTERIOR

SHEET TITLE:

DATE:	5/6/2022
SCALE:	VARIES
SHEET:	1A



Working Plan View



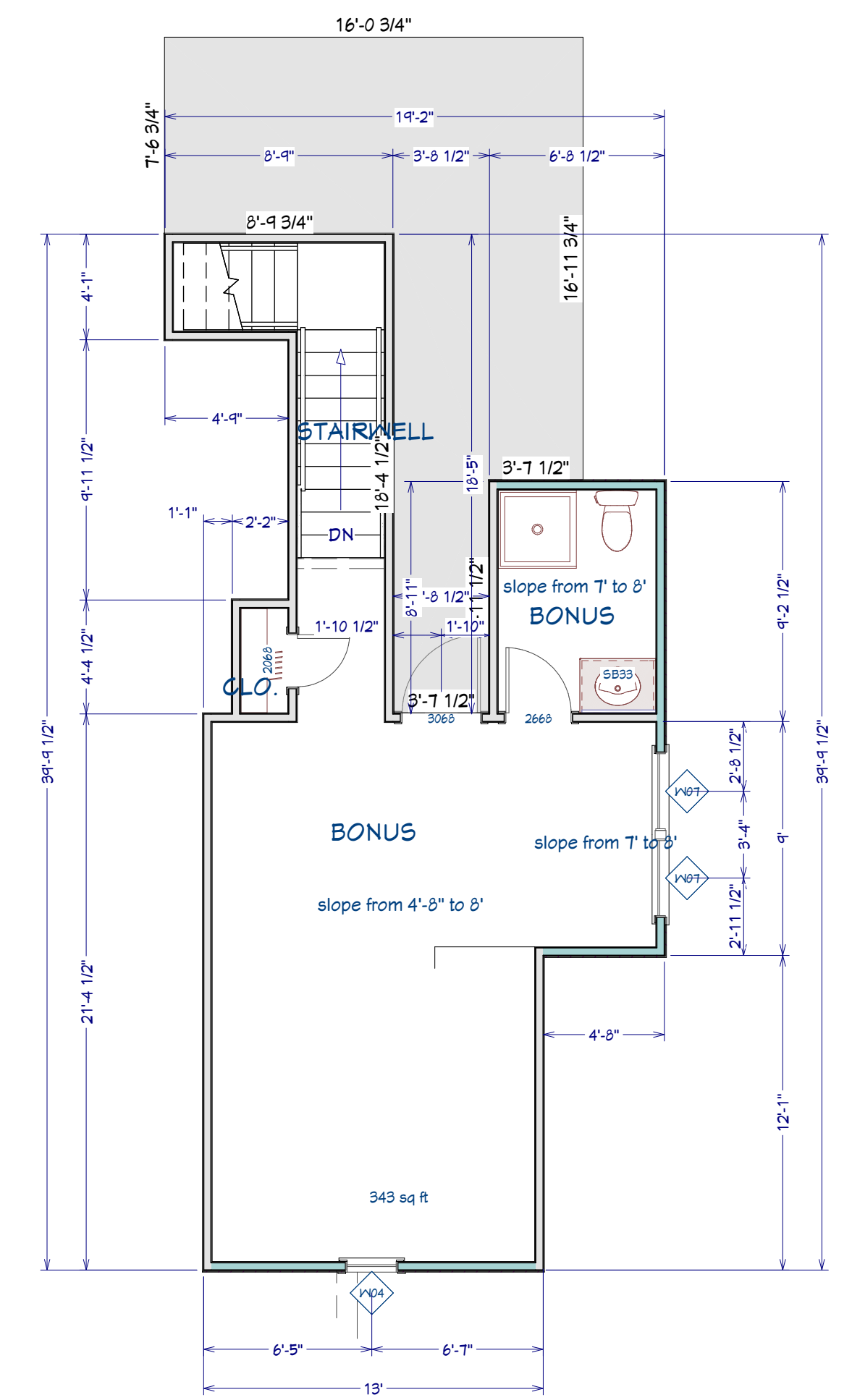
Stairs

STAIRS

Section Number	Length	Width	Tread Depth	Treads	Bottom Height	Top Height	Riser Height
1	107 1/2"	40"	10 3/4"	10	7/8"	84 9/16"	7 5/8"
2	43"	40"	10 3/4"	4	84 9/16"	122 5/8"	7 5/8"

otherwise

- A4-1 First Floor (nominal heights) 8'-0" ceiling height, 6"-8" window header heights, 6"-8" interior door heights (1 3/8" thick hollow core) 6"-8" exterior door heights (1 3/4" solid core)
- A4-2 Second Floor (nominal heights) 8'-0" ceiling height, 6"-8" window header heights, 6"-8" interior door and cased opening heights
- A4-3 All height designations shall be measured from main finished floor at first floor plan, and from second finished floor at second floor plan.
- A4-4 Weatherstrip at all exterior doors
- A4-5 All angles shown in plan shall be divisible by 45
- A4-6 Doors between attached garage and the dwelling shall be minimum 1 3/8" solid core wood and self closing, or be a 20 minute fire-rated assembly.
- A4-7 Refer to interior elevations for additional furring and framing information.
- A4-8 All bedroom windows shall be max. 44" above finished floor, with a minimum 24" high and 20" wide opening to provide at least 5.7 square feet of opening.
- A4-9 Minimum width between handrails shall be 30", height above nose of tread shall be minimum 34", and maximum 38", hand gripping portion of handrails shall not be less than 1 1/2" and not more than 2" in cross-sectional dimension or the shape shall provide an equal amount of gripping surface. Handrails projecting from the wall shall have a space of not less than 1 1/2" between the wall and the handrail. All stairways shall have at least one handrail. Handrails shall be installed on all open sides of the stairs. Handrails shall be continuous for the full length of the stair, and shall terminate at a newelpost or safety terminal.
- A4-10 Approved smoke detectors require 120 volt connections to house wiring and battery backup.
- A4-11 Provide ventilation at all baths which is connected directly to outside air with a point of discharge at least 3 feet from any opening that allows air entry into occupied portions of the building.
- A4-12 Shower stalls and tubs with shower heads shall have walls finished with a non-absorbent surface over waterproof gypsum board (or equal or better material), to a height of at least 70".



2nd Floor

Guardrails – max. 4' openings and 36" height, as per IRC 312.1 and 312.2
Handrails – 34" to 38" height, as per IRC r3311.5.6.1. Maximum 7 3/4" rise, 10" run, as per IRC R 311.5.3.1. Enclosed useable space below stair must have 1/2 gypsum board as per IRC R311.2.2. Live load design 200lbs/sq.ft. guardrails, as per R301.5 and table 301.5

AREAS ELEV. A	
FIRST FLOOR LIVING SPACE	2566 SQUARE FEET
SECOND FLOOR LIVING SPACE	415 SQUARE FEET
FRONT PORCH	262 SQUARE FEET
PATIO	396 SQUARE FEET
GARAGE	746 SQUARE FEET
SLAB AREA	4076 SQUARE FEET
TOTAL LIVING AREA	2981 SQUARE FEET

ALL FIRST FLOOR DOORS SHALL BE 8'-0"
 ALL SECOND FLOOR DOORS SHALL BE 6'-8"
 ALL WALLS 2X4 UNLESS NOTED OTHERWISE

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	COMMENTS	SHUTTER SIZE	ROOM NAME	TEMPERED	EGRESS
W01	2030SH	1	1	2030SH	24"	36"	25"X37"	SINGLE HUNG	2X6X28" (2)			BATH		
W02	2030SH	1	1	2030SH	24"	36"	25"X37"	SINGLE HUNG	2X6X28" (2)			MASTER BATH		
W03	2040SH	1	1	2040SH	24"	48"	25"X49"	SINGLE HUNG	2X6X28" (2)		12"X48" (2)	PANTRY		
W04	2040SH	1	2	2040SH	24"	48"	25"X49"	SINGLE HUNG	2X6X28" (2)			BONUS		
W05	2040SH	1	3	2040SH	24"	48"	25"X49"	SINGLE HUNG	2X6X28" (2)			BEDROOM 2		YES
W06	3050SH	1	1	3050SH	36"	60"	31"X61"	SINGLE HUNG	2X6X40" (2)			BONUS		YES
W07	3050SH	2	2	3050SH	36"	60"	31"X61"	SINGLE HUNG	2X6X40" (2)			CASUAL DINING		
W08	3060FX	3	1	3060FX	36"	72"	31"X73"	FIXED GLASS	2X6X40" (2)			GREAT/PATIO		
W09	3660FX	3	1	3660FX	42"	72"	43"X73"	FIXED GLASS	2X6X46" (2)			STUDY/PORCH		YES
W11	3060SH	2	1	3060SH	36"	72"	31"X73"	SINGLE HUNG	2X6X40" (2)		18"X72" (1)	BEDROOM 3		YES
W12	3060SH	1	1	3060SH	36"	72"	31"X73"	SINGLE HUNG	2X6X40" (2)		18"X72" (2)	MASTER BDRM	YES	YES
W14	3660SH	2	1	3660SH	42"	72"	43"X73"	SINGLE HUNG	2X6X46" (2)			MASTER BATH	YES	YES
W15	4040FX	1	1	4040FX	48"	48"	49"X49"	FIXED GLASS	2X6X52" (2)			MASTER BATH		

PROJECT DESCRIPTION:
Hallmark Builders
Plan 6 A Mod

ELEV. A FLOOR PLAN

SHEET TITLE:

DATE:	5/6/2022
SCALE:	3/16"=1'-0"
SHEET:	2.1A

ELECTRICAL DATA & AUDIO NOTES:
 HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

- ELECTRICAL NOTES:**
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
 4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
 5. FIXTURES TO BE SELECTED BY HOME OWNER.

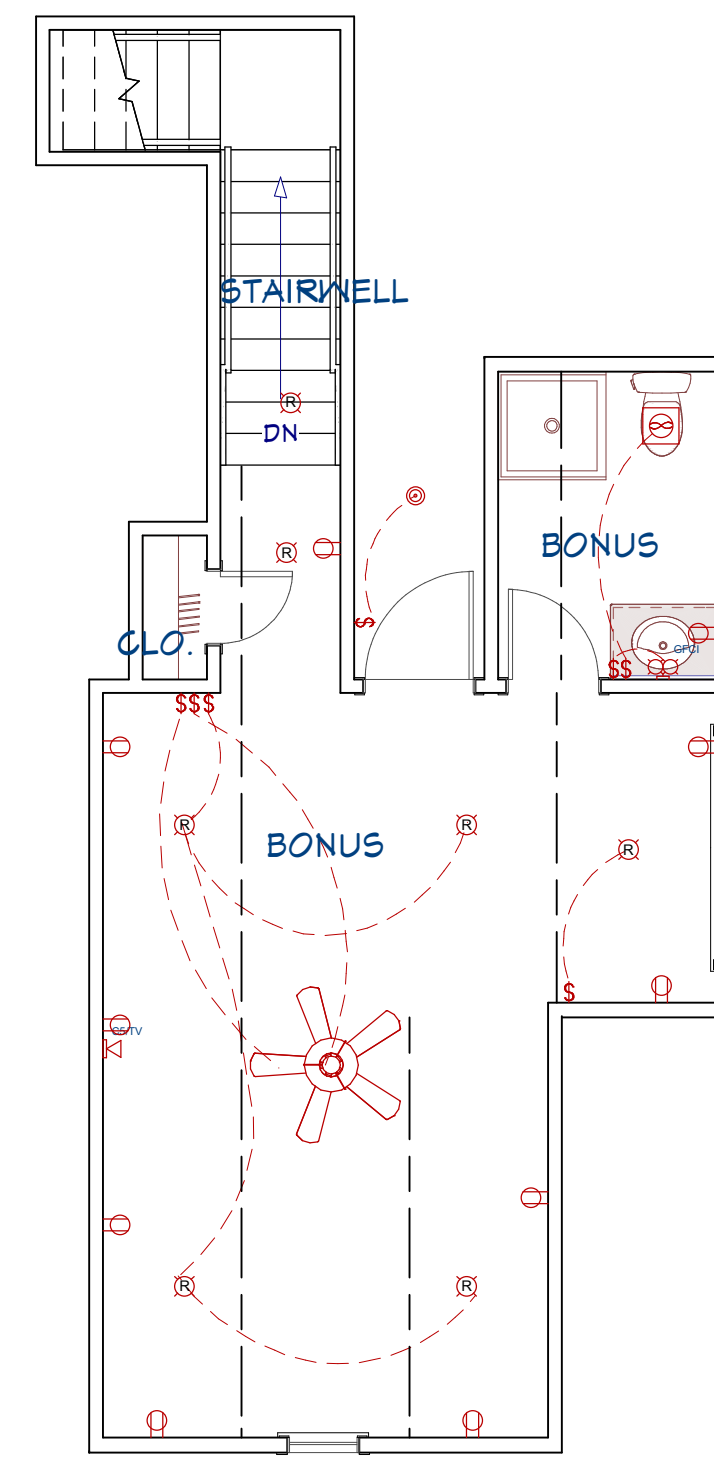
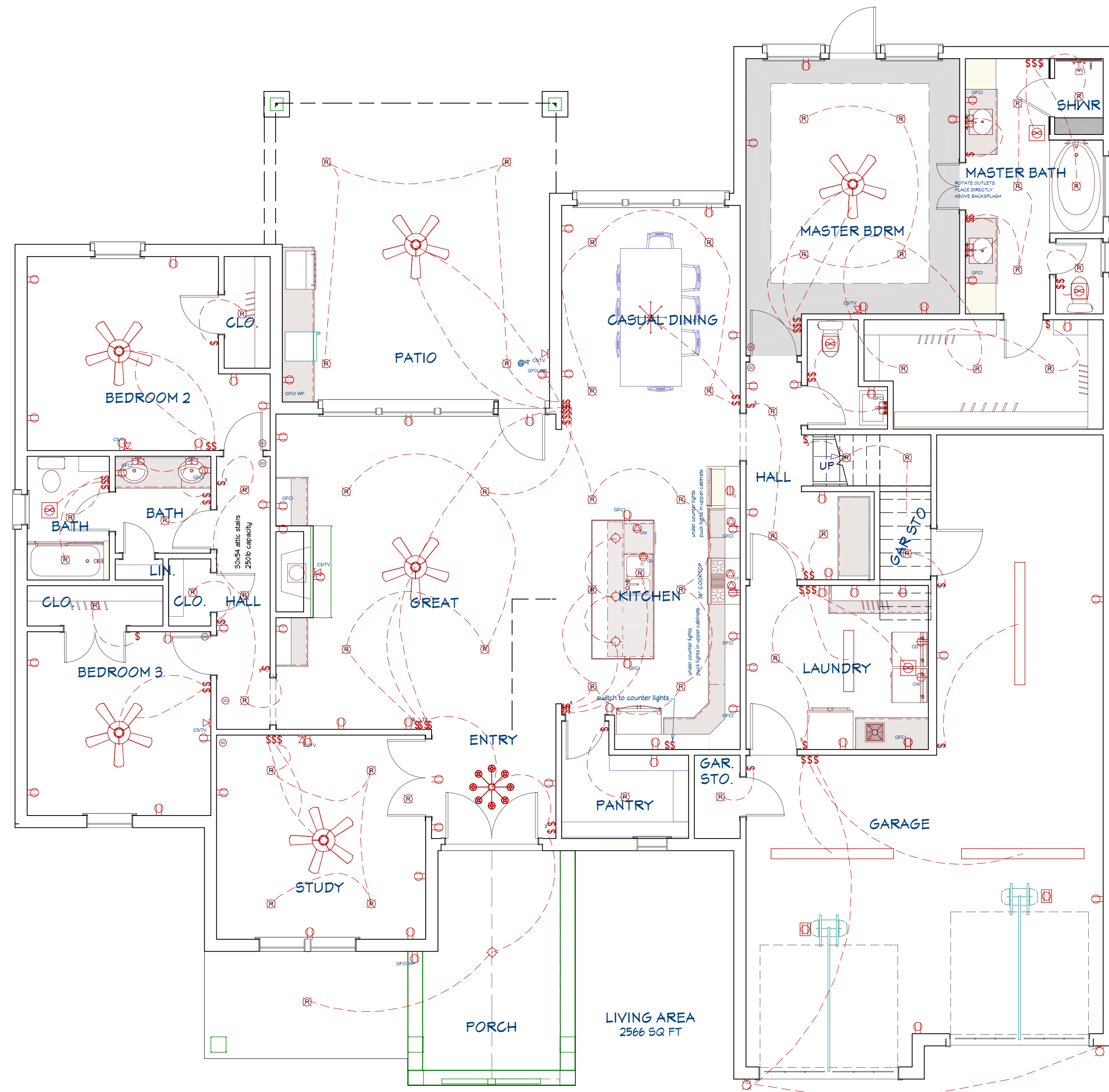
- AUDIO:**
1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
 2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
 3. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

- DATA / CABLE:**
1. LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

electrical plans - unless noted otherwise

- E1-1 All work performed shall be in accordance with all applicable local codes, regulations, ordinances, and authorities having jurisdiction.
- E1-2 Electrical layout is generally diagrammatic. Location of outlet, lights and equipment is approximate. Exact route of wiring, locations of outlets are to be governed by structural conditions and obstructions. Wiring for equipment requiring maintenance shall be readily accessible
- E1-3 Bottom of all duplex outlet boxes shall be 12" above finish floor. Bottom of switch box height shall be 50" above finish floor. Bottom of switches at cabinetry shall be 6" above adjacent finished counter top
- E1-4 Smoke detectors shall have 120 v connection to house wiring and battery back-up.
- E1-5 Provide ground-fault-circuit-interruption (GFCI) as required
- E1-6 Verify number of air conditioning units with builder or owner. Provide water proof disconnects and 120 volt outlets at each compressor location.
- E1-7 Verify overhead sectional garage door opener locations with manufacturer's specifications

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	CO2/Smoke Detectors: Ceiling Mounted
	Electrical Breaker Panel



LIVING AREA
415 SQ FT

PLANS BY JOHN SCHNERINGER
 936-520-7622
 LISPD123@GMAIL.COM

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 Plan 6 A Mod

PROJECT DESCRIPTION:

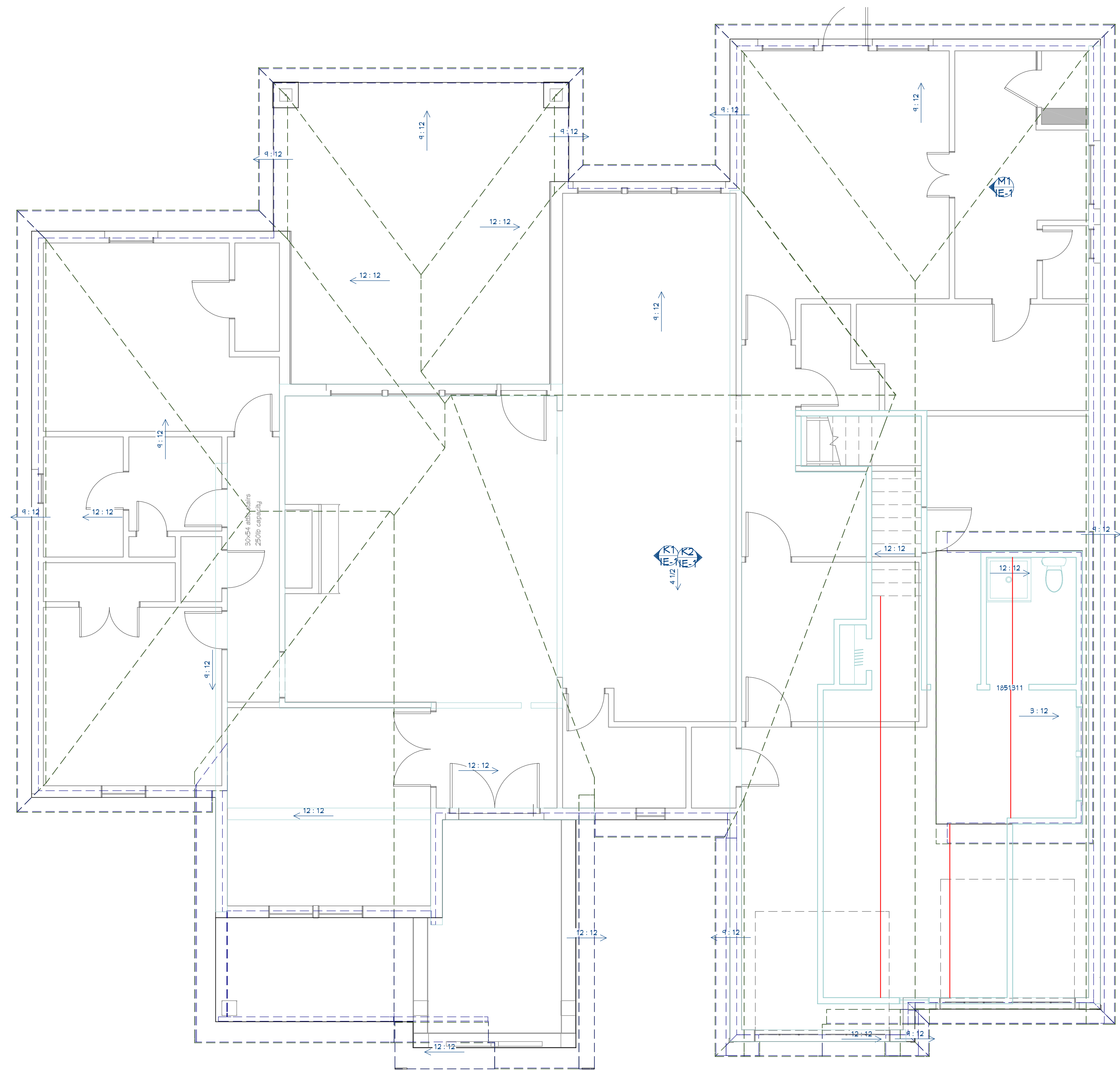
ELECTRICAL

SHEET TITLE:

DATE: 5/6/2022

SCALE: 3/16" = 1'-0"

SHEET: 3



Roof Plan View

PROJECT DESCRIPTION:
**Hallmark Builders
Plan 6 A Mod**

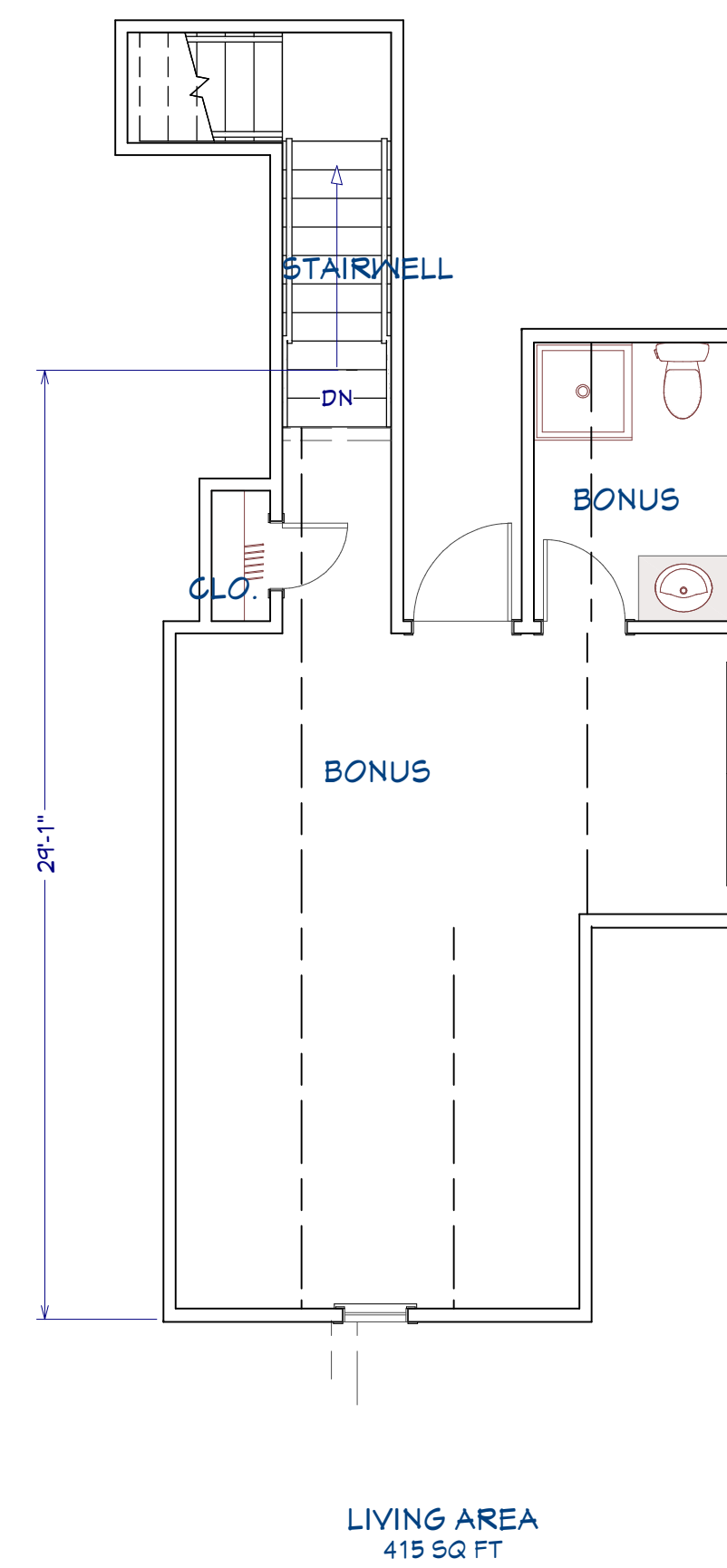
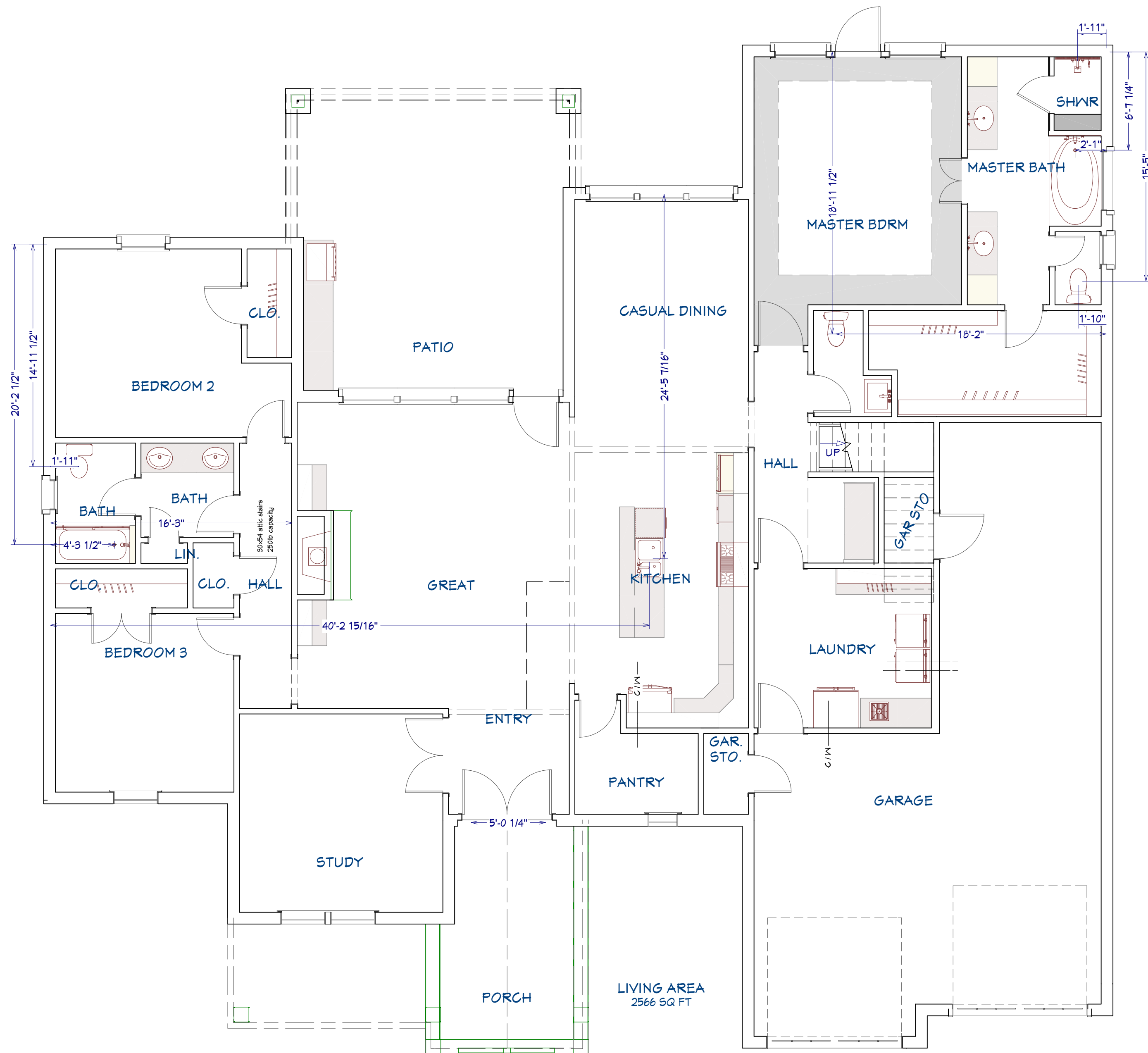
ROOF

SHEET TITLE:

DATE: 5/6/2022

SCALE: 3/16"=1'-0"

SHEET: **5**



Hallmark Builders
 Plan 6 A Mod

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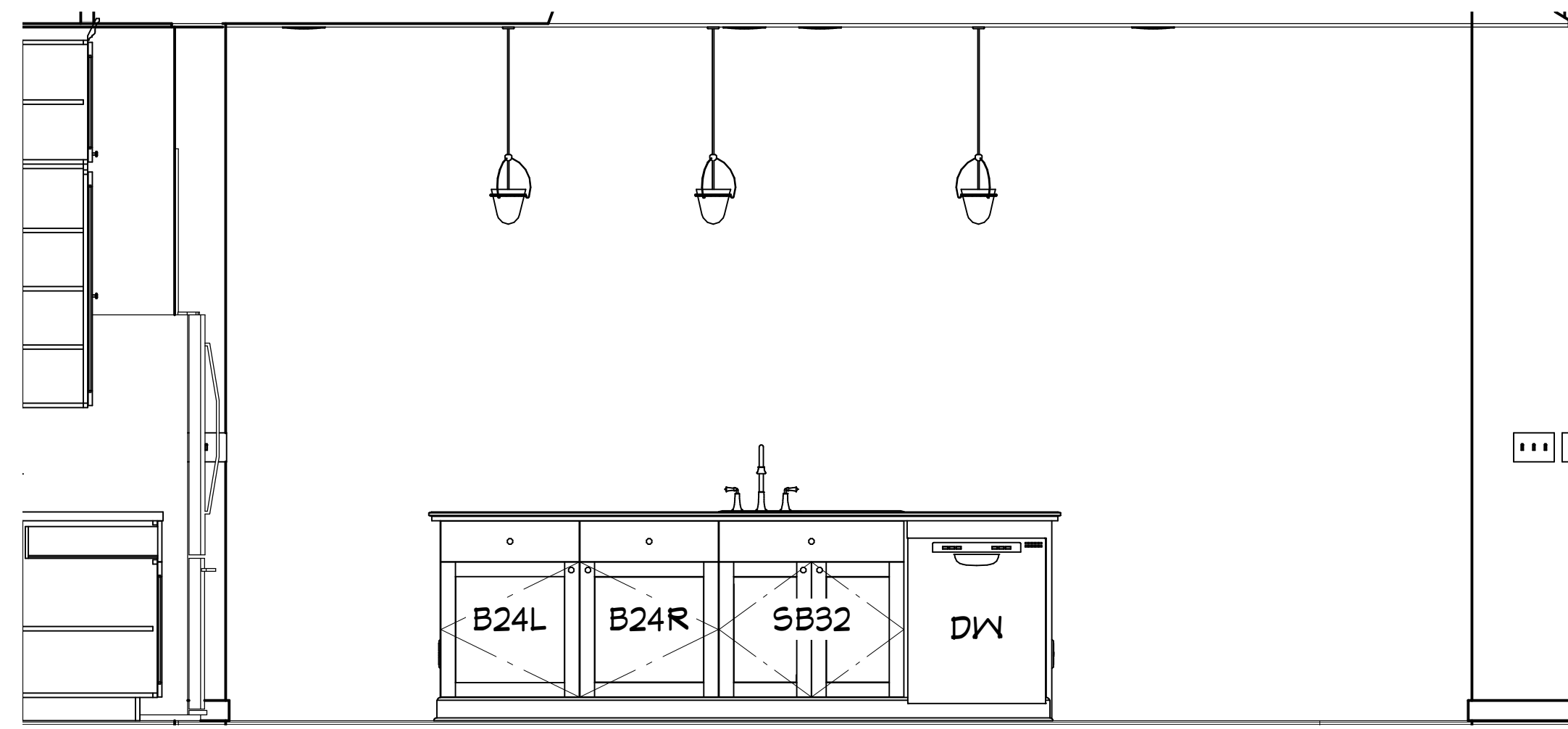
FOUNDATION/PLUMBING

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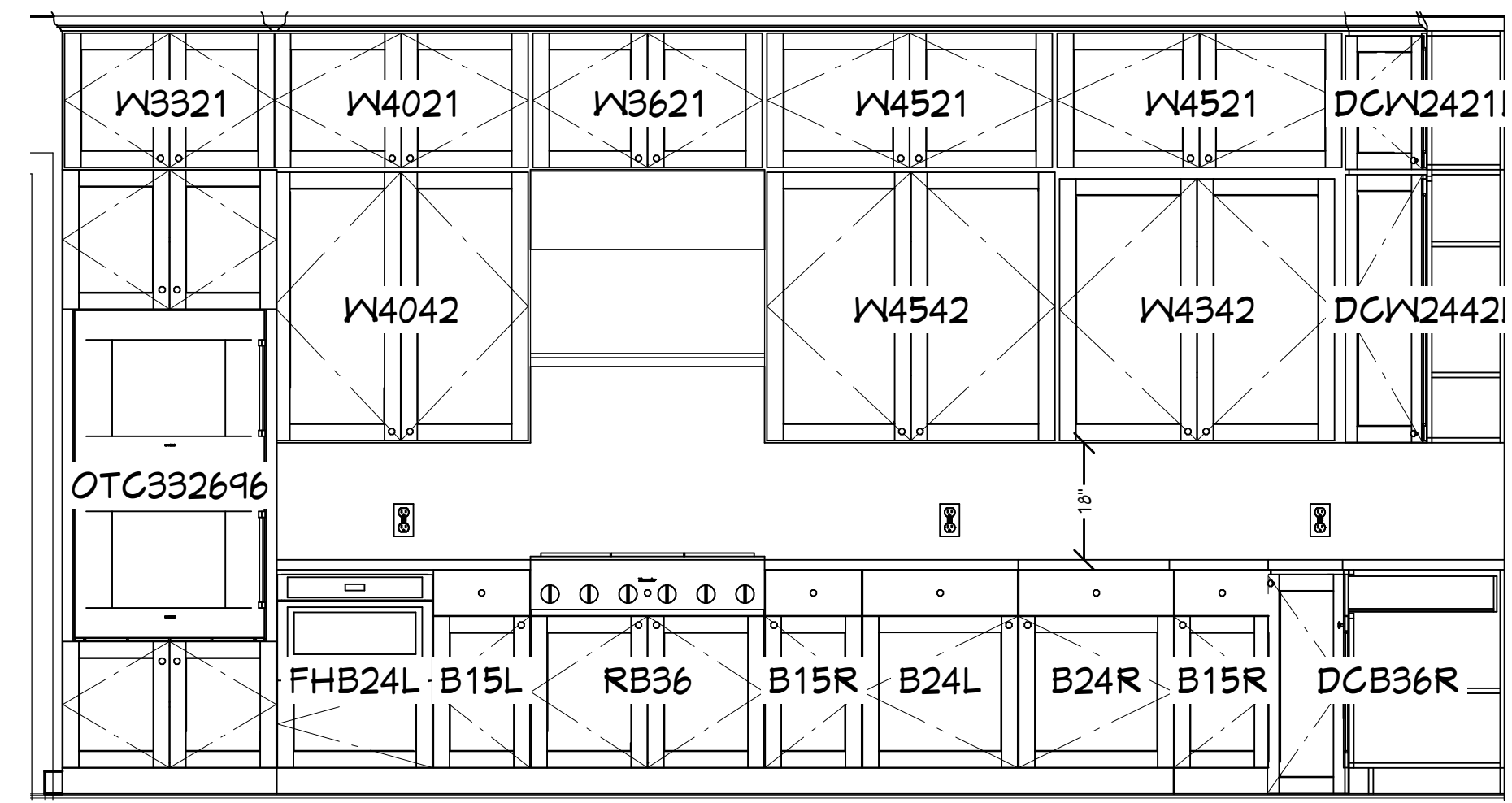
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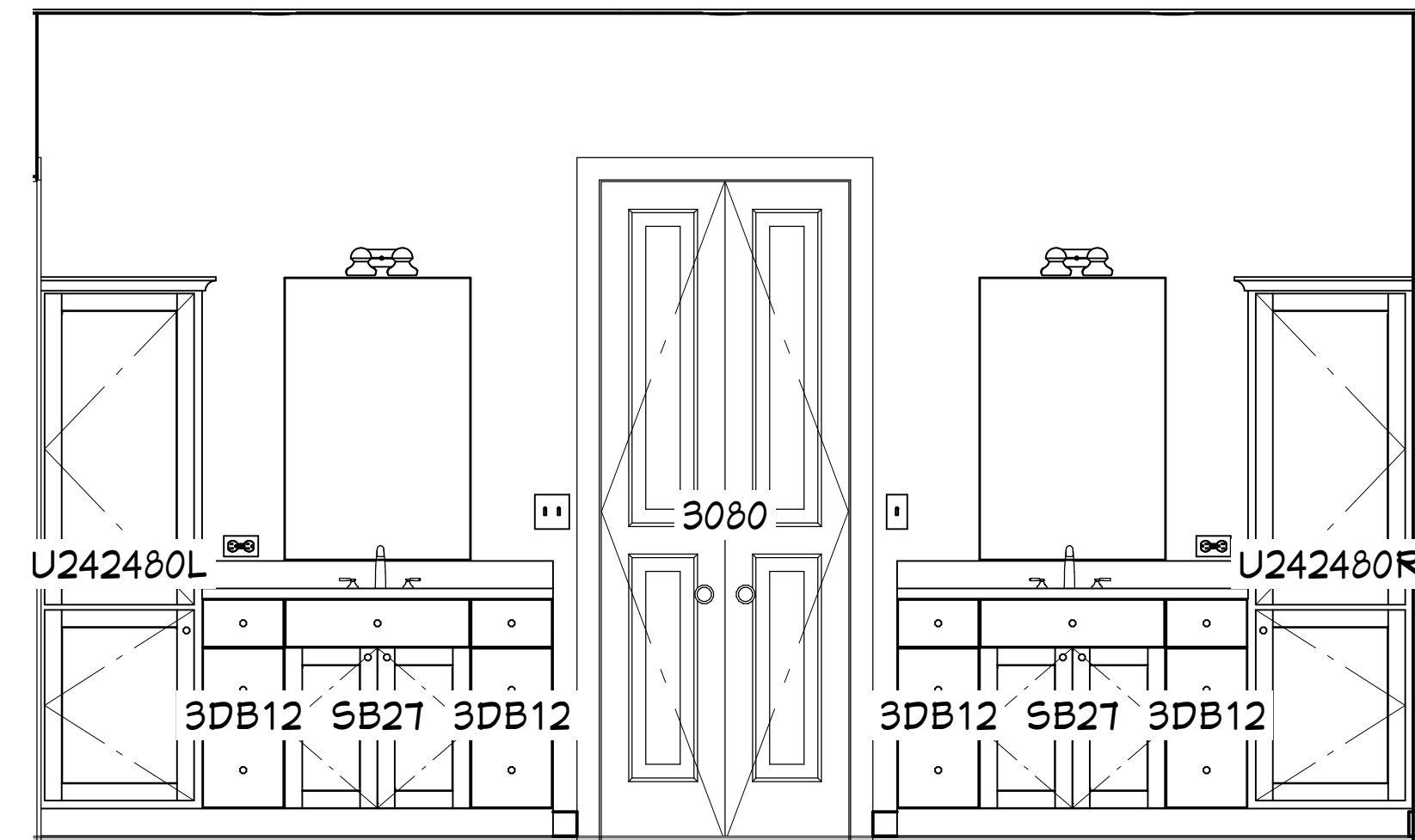
SHEET: plum



K1



K2



M1

Hallmark Builders
Plan 6 A Mod

PROJECT DESCRIPTION:

CABINETS

SHEET TITLE:

DATE: 5/6/2022

SCALE:

SHEET: IE-1