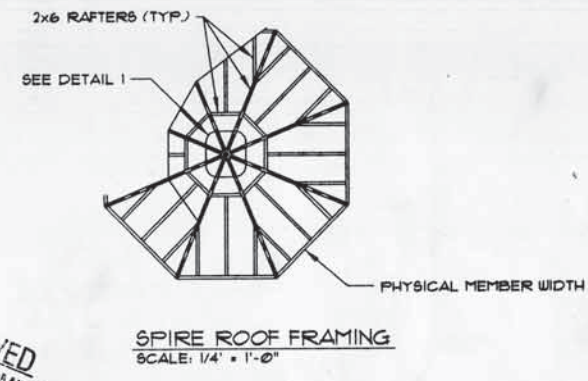
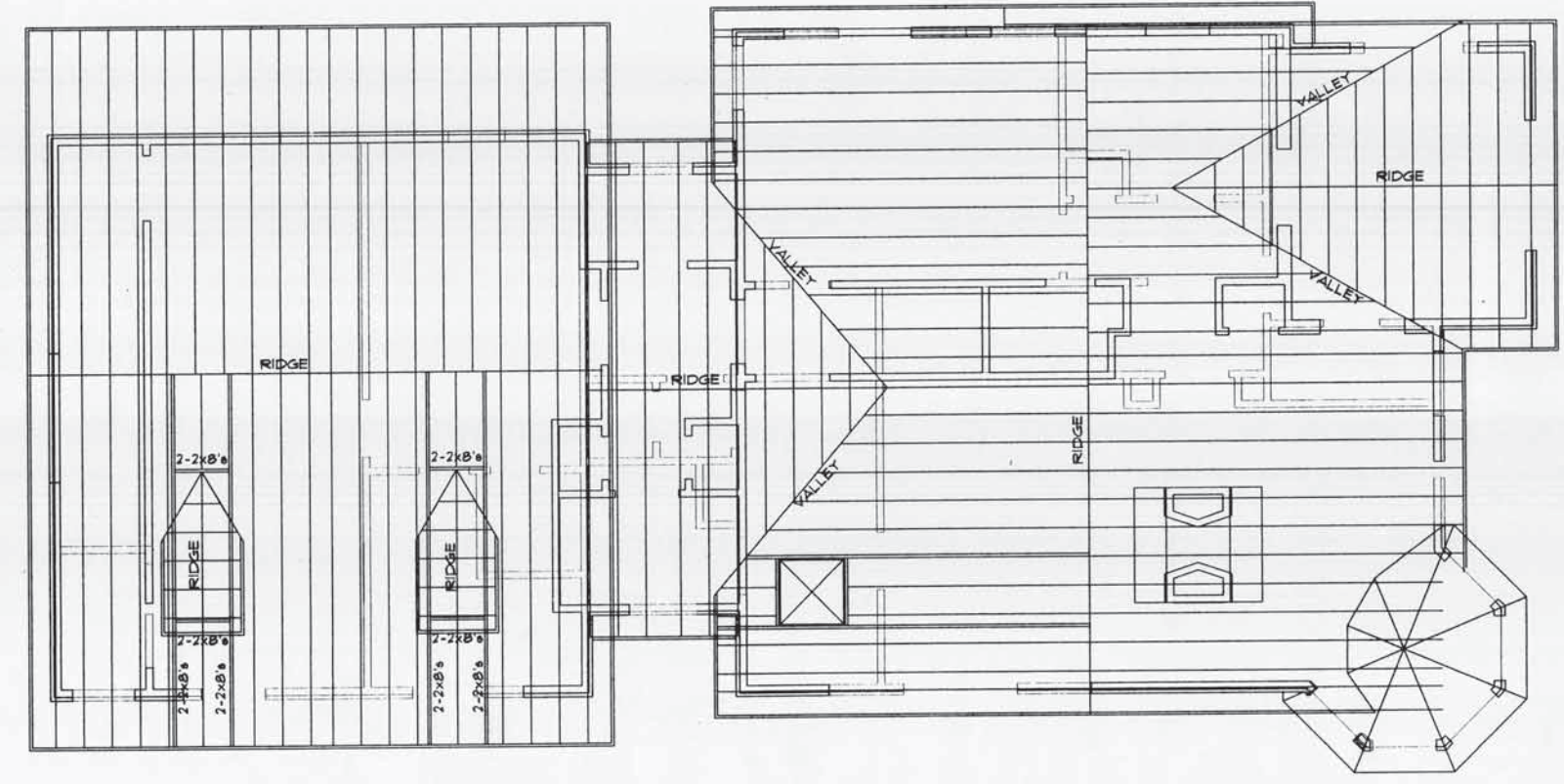
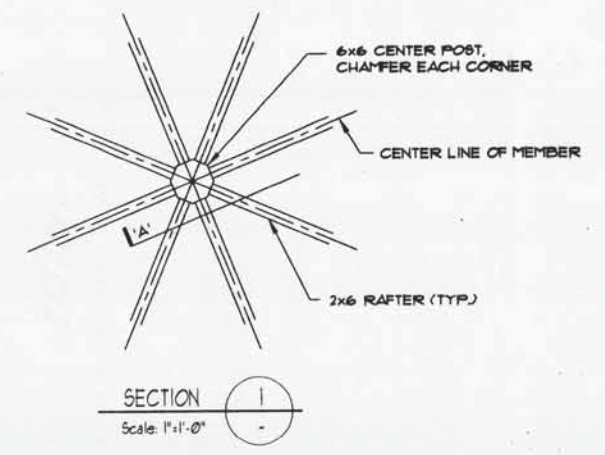
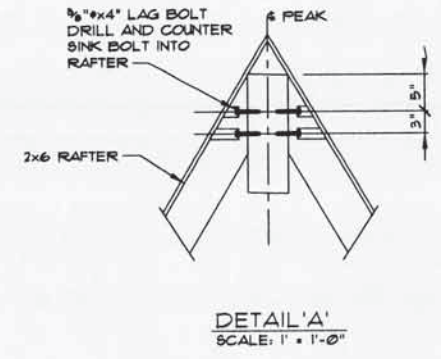


Layne Shelton Residence
216 East 24th Street, Houston, Texas

SECOND FLOOR
ROOF
FRAMING PLAN

S6



SECOND FLOOR ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

ROOF FRAMING NOTES:

1. ALL ROOF FRAMING SHALL BE #2 KD SOUTHERN YELLOW PINE.
2. ALL RAFTERS SHALL BE 2x8 @ 16" o.c. (UNLESS OTHERWISE NOTES)
3. ALL RIDGE AND VALLEY MEMBERS SHALL BE 2x10 (UNLESS OTHERWISE NOTES)
4. ROOF DECKING SHALL BE 1/2" KOOL-PLY PLYWOOD DECKING NAILED W/ 8d NAILS 6" o.c. AT EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS.
5. ALL RAFTERS SHALL BE ANCHORED TO TOP SILL PLATE WITH SIMPSON STRONG-TIE HURRICANE CLIPS H2.5 AT EACH RAFTER.
6. FOR RAFTERS WITH SPANS GREATER THAN 17'-0" SHALL BE SUPPORTED AT MID SPAN BY A PONY WALL.
7. 2x6 COLLAR TIES @ 4'-0" o.c.
8. PROVIDE SIMPSON STRONG-TIE RIDGE STRAPS AT EACH RAFTER AND SHALL BE MSTA36, CENTER ON RIDGE.
9. UNLESS OTHERWISE NOTES, ALL MEMBERS ARE DRAWN AS CENTER LINE OF MEMBER.

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responsibility
Such approval
shall not be
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building official's
done in accordance with the approved plans.
NO. 364

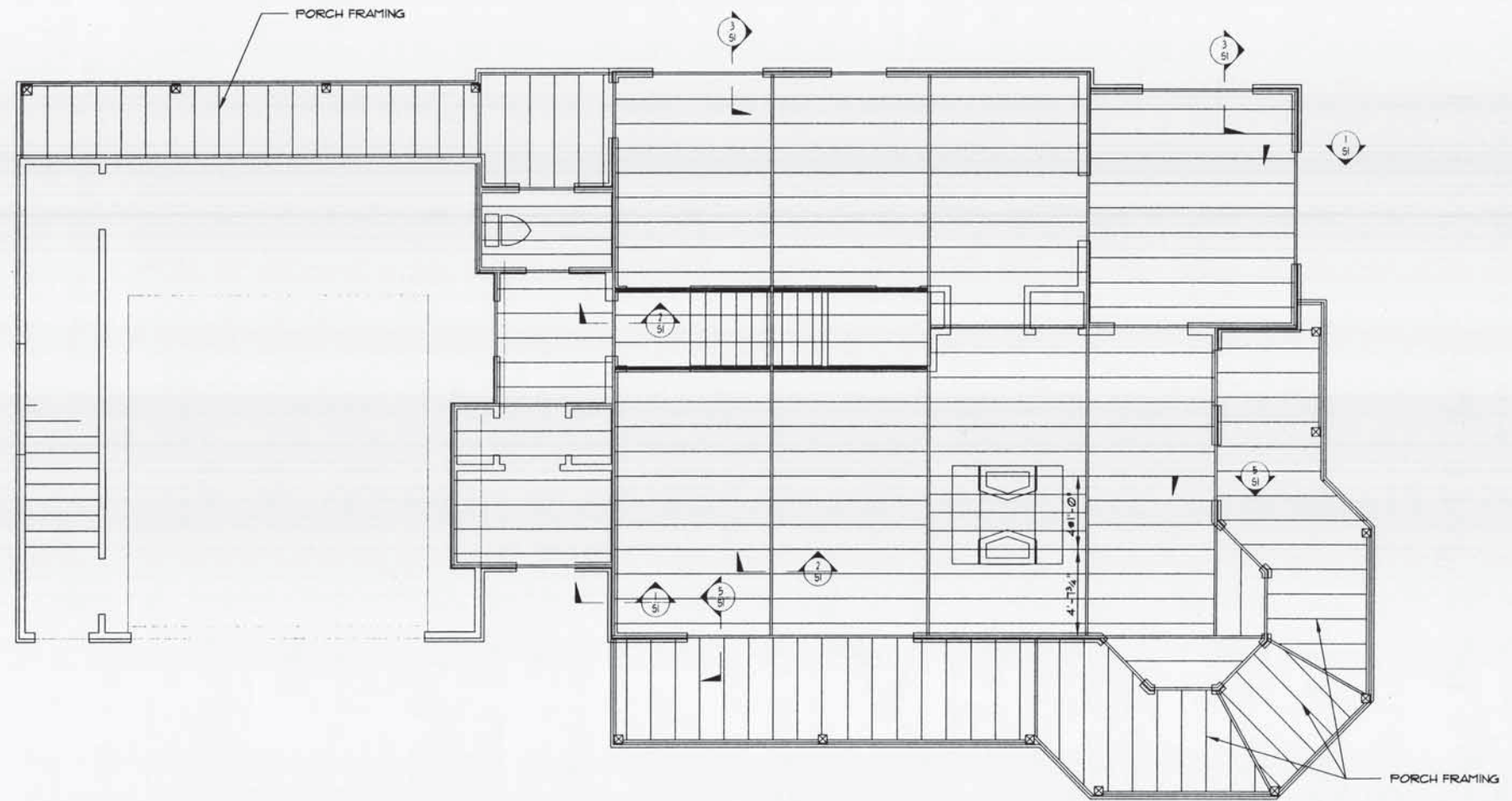
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02038726

Layne Shelton Residence
216 East 24th Street, Houston, Texas



FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR FRAMING NOTES

1. FIRST FLOOR JOIST FRAMING SHALL BE 2 X 10'S @ 16" o.c. AND SHALL BE #2 KD SOUTHERN YELLOW PINE.
2. FIRST FLOOR DECKING SHALL BE 1-1/8" T&G CDX PLYWOOD DECKING AND SHALL BE GLUED & NAILED TO FLOOR JOISTS WITH NAILS AT 6" o.c. AT EDGES OF PLYWOOD AND 12" o.c. AT INTERMEDIATE SUPPORTS.
3. WALL FRAMING SHALL BE 2 X 4 STUDS @ 16" o.c. FOR INTERIOR AND EXTERIOR WALLS. PROVIDE DOUBLE STUDS AT ALL WINDOW JAMBS AND TRIPLE STUDS AT ALL WALL CORNERS.
4. EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" CDX PLYWOOD NAILED WITH 8d NAILS AT 6" o.c. AT EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS.
5. PORCH JOISTS SHALL BE TREATED 2 X 10'S @ 16" o.c.
6. PORCH DECKING SHALL BE TREATED 2 X 6' T&G DECKING.
7. UNLESS OTHERWISE NOTES, ALL MEMBERS ARE DRAWN AS CENTER LINE OF MEMBER.

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NO. 364

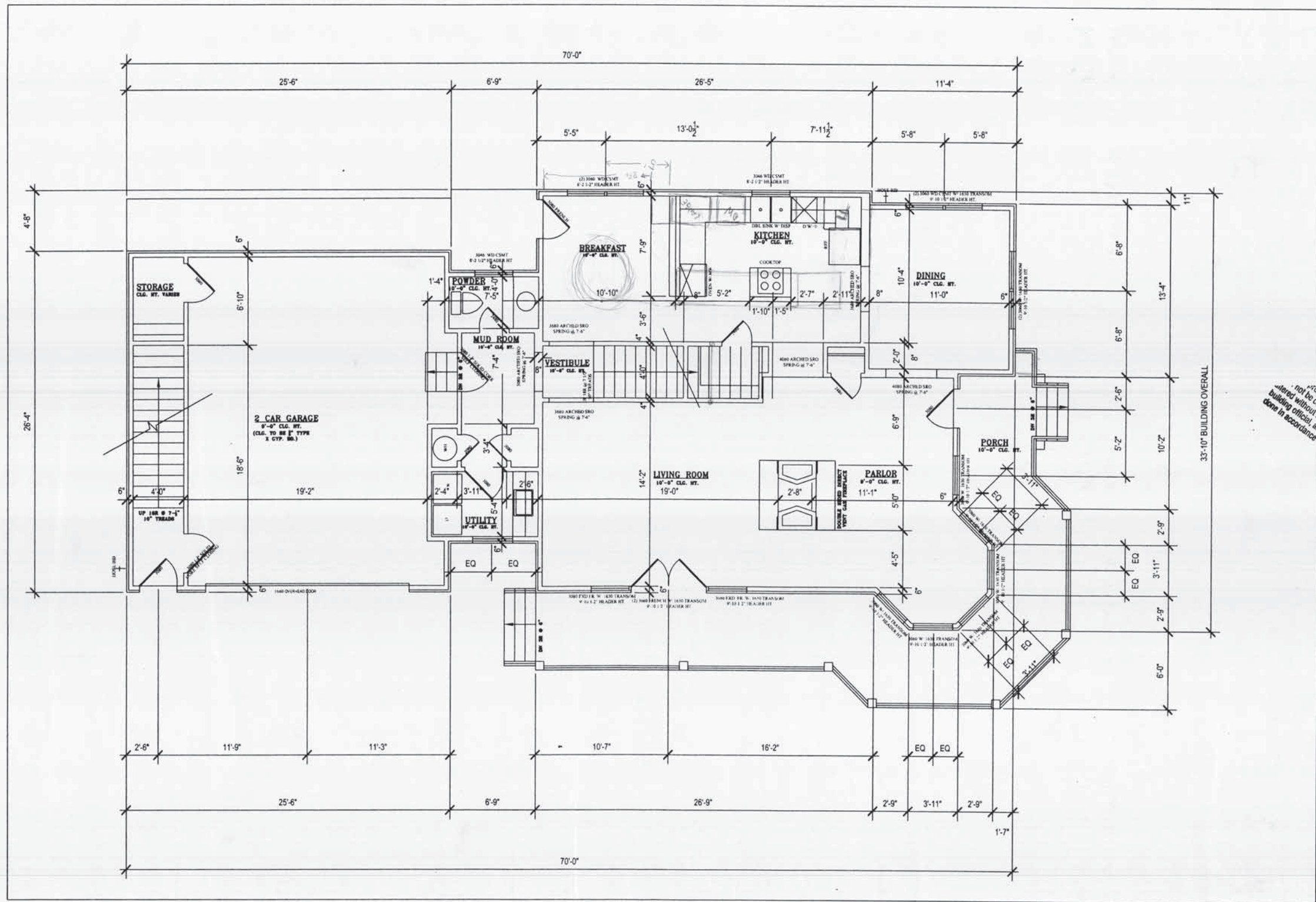
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FIRST FLOOR
FRAMING PLAN

S3

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 with the building Code
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 NO. 364

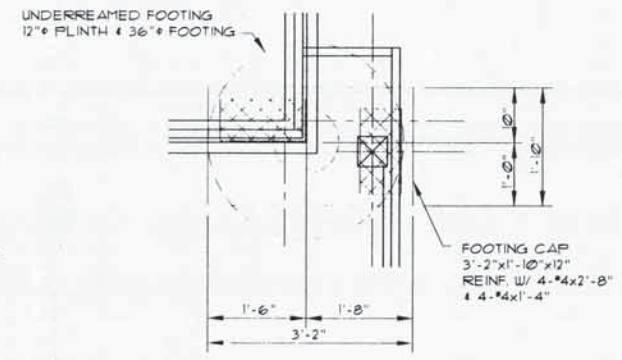
FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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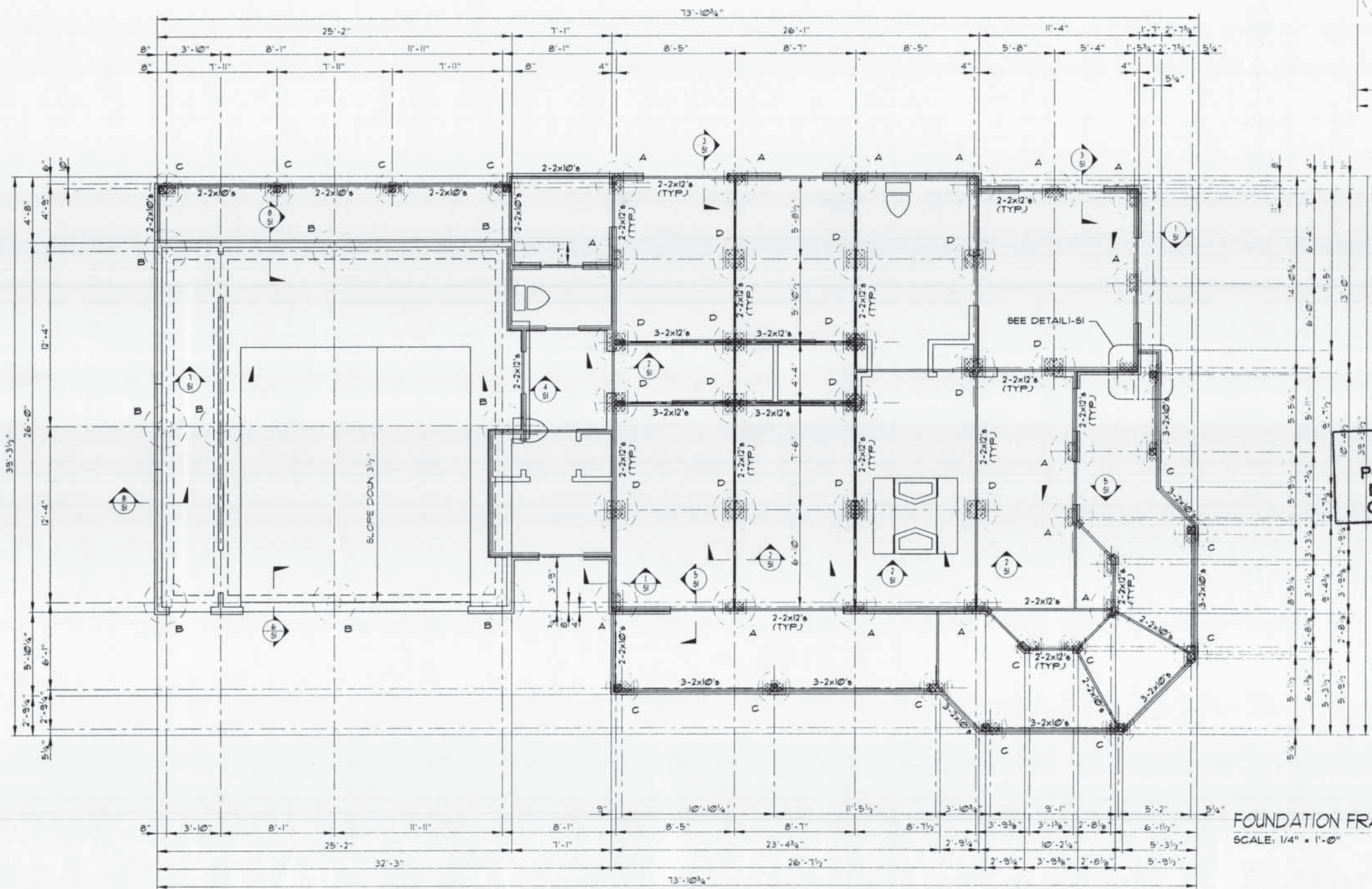
**SHELTON
 RESIDENCE**

A2.01

FIRST FLOOR PLAN



DETAIL I
Scale: 3/4" = 1'-0"



FOUNDATION FRAMING PLAN
SCALE: 1/4" = 1'-0"

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GARAGE FLOOR SLAB NOTES

- GRADE BEAMS AT GARAGE SHALL BE 14"x24", AND SHALL BE REINFORCED w/ 3-#6 CONT. TOP & BOTTOM, 4 #3 STIRRUPS @ 15" o.c.
- ALL CONCRETE SHALL TEST 3000 PSI @ 28 DAYS, AND SHALL BE MIXED, TRANSPORTED, AND PLACED IN ACCORDANCE WITH LATEST ACI 318 STANDARDS.
- #4 AND GREATER REBAR SHALL BE GRADE 60, #3 SHALL BE GRADE 40
- GARAGE FLOOR SLAB SHALL BE A 4" CONCRETE SLAB ON GRADE REINFORCED w/ #3 @ 15" o.c. EACH WAY PLACED 1/2" BELOW TOP OF FLOOR SLAB. CONCRETE SHALL BE PLACED ON SELECT COMPACTED FILL MATERIAL COMPACTED

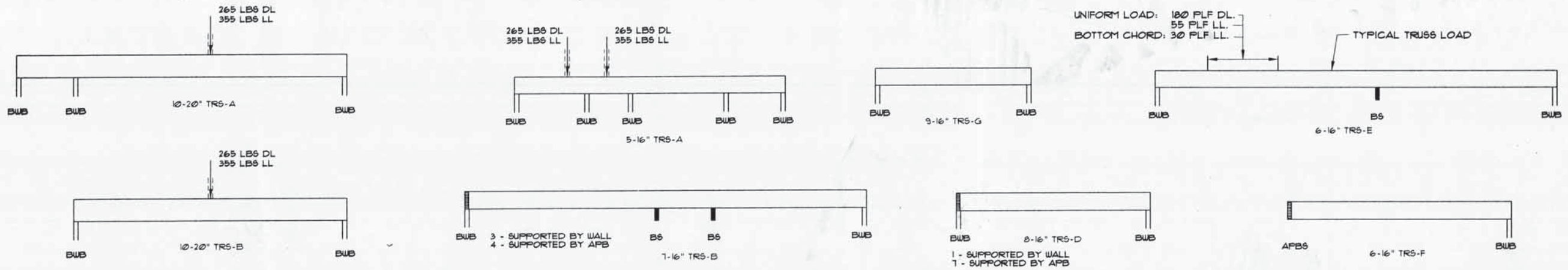
- TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR DENSITY TEST (ASTM D 698-91)
- PROVIDE #6 x 4'-0" CORNER BAR WITH 2'-0" LED AT ALL OUTSIDE CORNERS AT TOP AND BOTTOM REINFORCING STEEL.
- PROVIDE BROOM FINISH FOR GARAGE FLOOR SLAB IN SLOPED AREA ONLY.

FOOTING NOTES

- FOOTING SHALL BE 12" x 36" UNDERREAMED FOOTING, REINF. w/ 3 - #5 VERTICAL 4 #3 TIES @ 12" o.c. PROVIDE 20"x12"x12" FOOTING CAP FOR BLOCK PLINTH ABOVE GRADE.
- FOOTING SHALL BE 12" x 36" UNDERREAMED FOOTING, REINF. w/ 3 - #5 VERTICAL 4 #3 TIES @ 12" o.c. EXTEND PLINTH INTO GRADE BEAM.
- FOOTING SHALL BE 12" x 36" UNDERREAMED FOOTING, REINF. w/ 3 - #5 VERTICAL 4 #3 TIES @ 12" o.c. PROVIDE 20"x12"x12" FOOTING CAP FOR BLOCK PLINTH ABOVE GRADE.
- FOOTING SHALL BE 12" x 36" UNDERREAMED FOOTING, REINF. w/ 3 - #5 VERTICAL 4 #3 TIES @ 12" o.c. PROVIDE 20"x12"x12" FOOTING CAP FOR BLOCK PLINTH ABOVE GRADE.

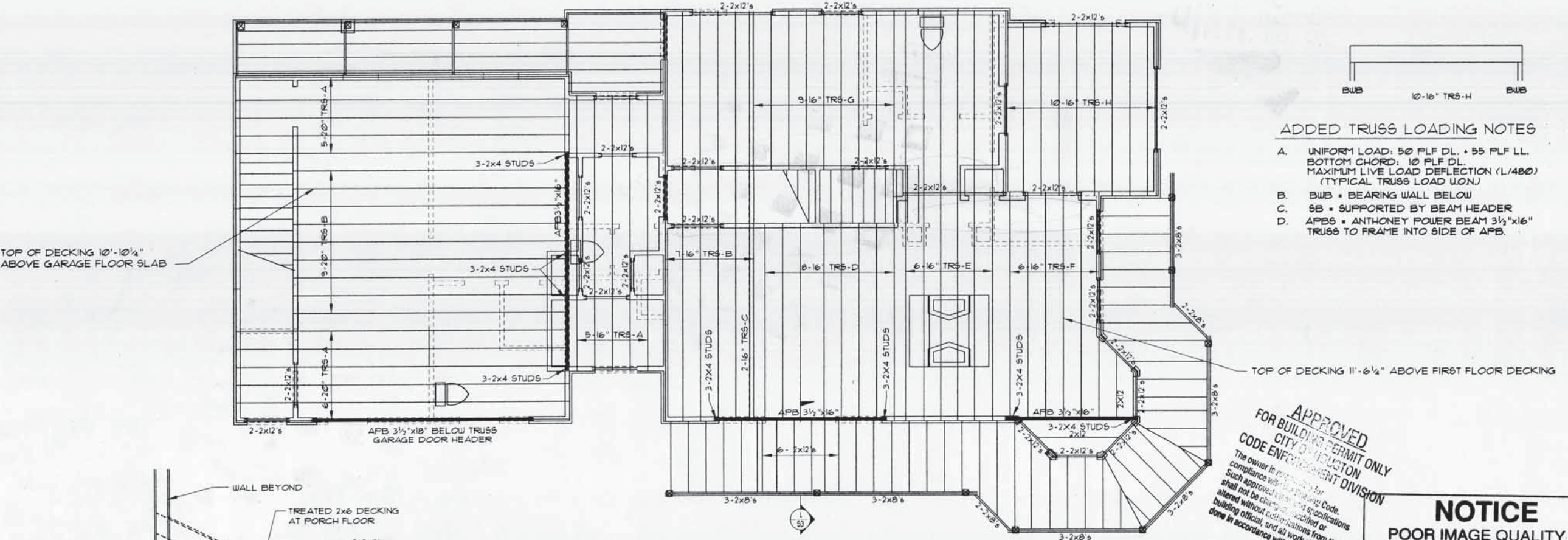
FOUNDATION NOTES

- ALL FOOTINGS UNDER SHALL HAVE A BEARING ELEVATION OF 9'-0" BELOW NATURAL GRADE.
- FOOTINGS SHALL BE REINFORCED w/ 3-#5 VERTICAL 4 #3 TIES @ 12" o.c.
- PLINTH ABOVE GRADE AT PERIMETER SHALL BE 8"x8"x16" CMU BLOCKS, 3 HIGH PROVIDE 1 - #4 VERT. IN EACH CELL OF BLOCK PLINTH FROM FOOTING.
- PLINTH ABOVE GRADE AT INTERIOR FTG. SHALL BE 6 - 8"x8"x16" CMU BLOCKS, 3 HIGH PROVIDE 1 - #4 VERT. IN EACH CELL OF BLOCK PLINTH FROM FOOTING.
- PROVIDE 1 - 5/8" x 10" 'J' BOLT AT EACH PLINTH.
- PROVIDE SIMPSON STRONG-TIE HD5A HOLD-DOWN BRACKET (OR EQUAL) AT EACH PLINTH, LAG BOLT TO 2 X 12 SILL BEAM.
- FIRST FLOOR SILL BEAMS SHALL BE 2-2X12'S TREATED, STAGER JOINTS OVER ALTERNATING FOOTINGS (L.O.N.)
- UNLESS OTHERWISE NOTES, ALL MEMBERS ARE DRAWN AS CENTER LINE OF MEMBER.



ADDED TRUSS LOADING NOTES

- A. UNIFORM LOAD: 50 PLF DL. + 55 PLF LL. BOTTOM CHORD: 10 PLF DL. MAXIMUM LIVE LOAD DEFLECTION (L/400) (TYPICAL TRUSS LOAD U.O.N.)
- B. BWB = BEARING WALL BELOW
- C. SB = SUPPORTED BY BEAM HEADER
- D. APBS = ANTHONY POWER BEAM 3 1/2"x16" TRUSS TO FRAME INTO SIDE OF APB.



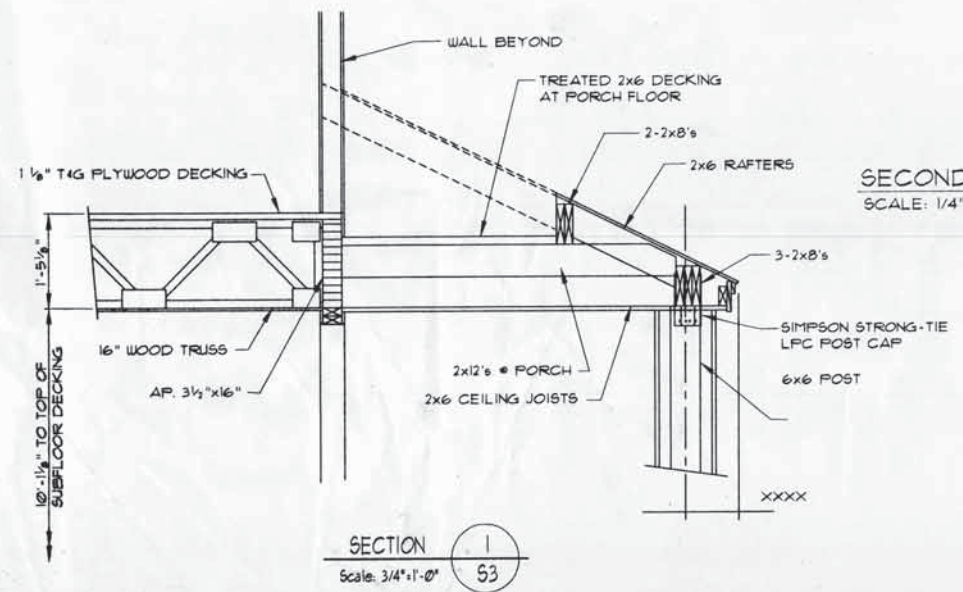
SECOND FLOOR FRAMING & 1st FLOOR CEILING JOISTS
SCALE: 1/4" = 1'-0"

- SECOND FLOOR FRAMING NOTES:
1. ALL WOOD FRAMING SHALL BE #2 KD SOUTHERN YELLOW PINE OF BETTER
 2. PORCH CEILING JOISTS SHALL BE 2x6's AT 16" o.c.
 3. SECOND FLOOR TRUSSES SHALL BE 16" DEEP ENGINEERED OPEN WEB WOOD TRUSSES AT 16" o.c. (UNLESS OTHERWISE NOTED) TRUSS TOP AND BOTTOM CHORDS SHALL BE NO. 1 OR BETTER SOUTHERN YELLOW PINE.
 4. SECOND FLOOR DECKING SHALL BE 1 1/8" CDX PLYWOOD GLUED AND NAILED NAIL DECKING WITH 12d NAILS AT 6" o.c. AT EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS.
 5. DOOR AND WINDOW HEADERS SHALL BE 2-2x12's WITH 1/2" PLYWOOD SPACER.
 6. SECOND FLOOR TRUSSES OVER GARAGE SHALL BE 20" DEEP ENGINEERED OPEN WEB WOOD TRUSSES AT 16" o.c. (UNLESS OTHERWISE NOTED) TRUSS TOP AND BOTTOM CHORDS SHALL BE NO. 1 OR BETTER SOUTHERN YELLOW PINE.
 7. UNLESS OTHERWISE NOTES, ALL MEMBERS ARE DRAWN AS CENTER LINE OF MEMBER.

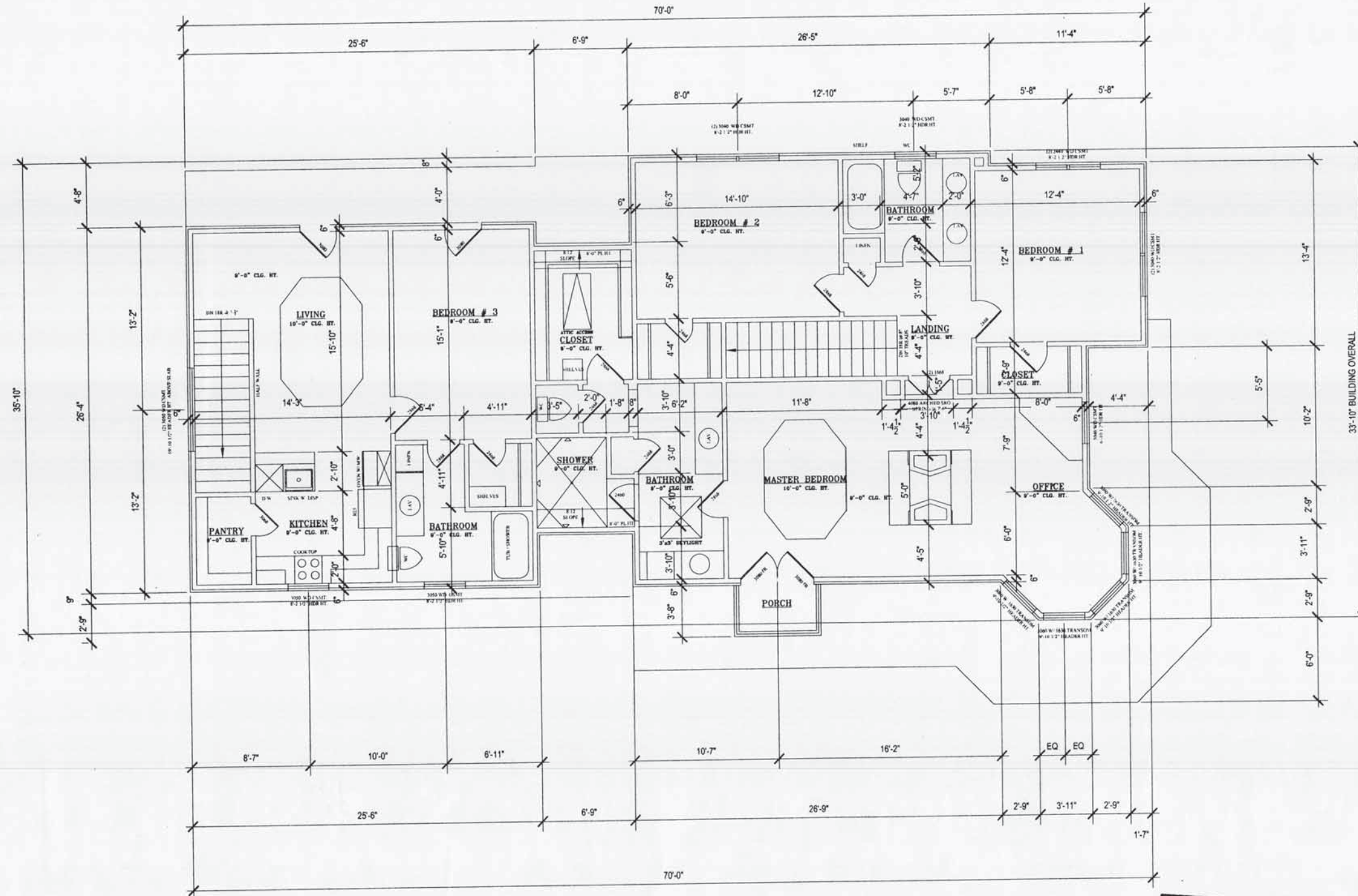
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SECTION 1
Scale: 3/4" = 1'-0"



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SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

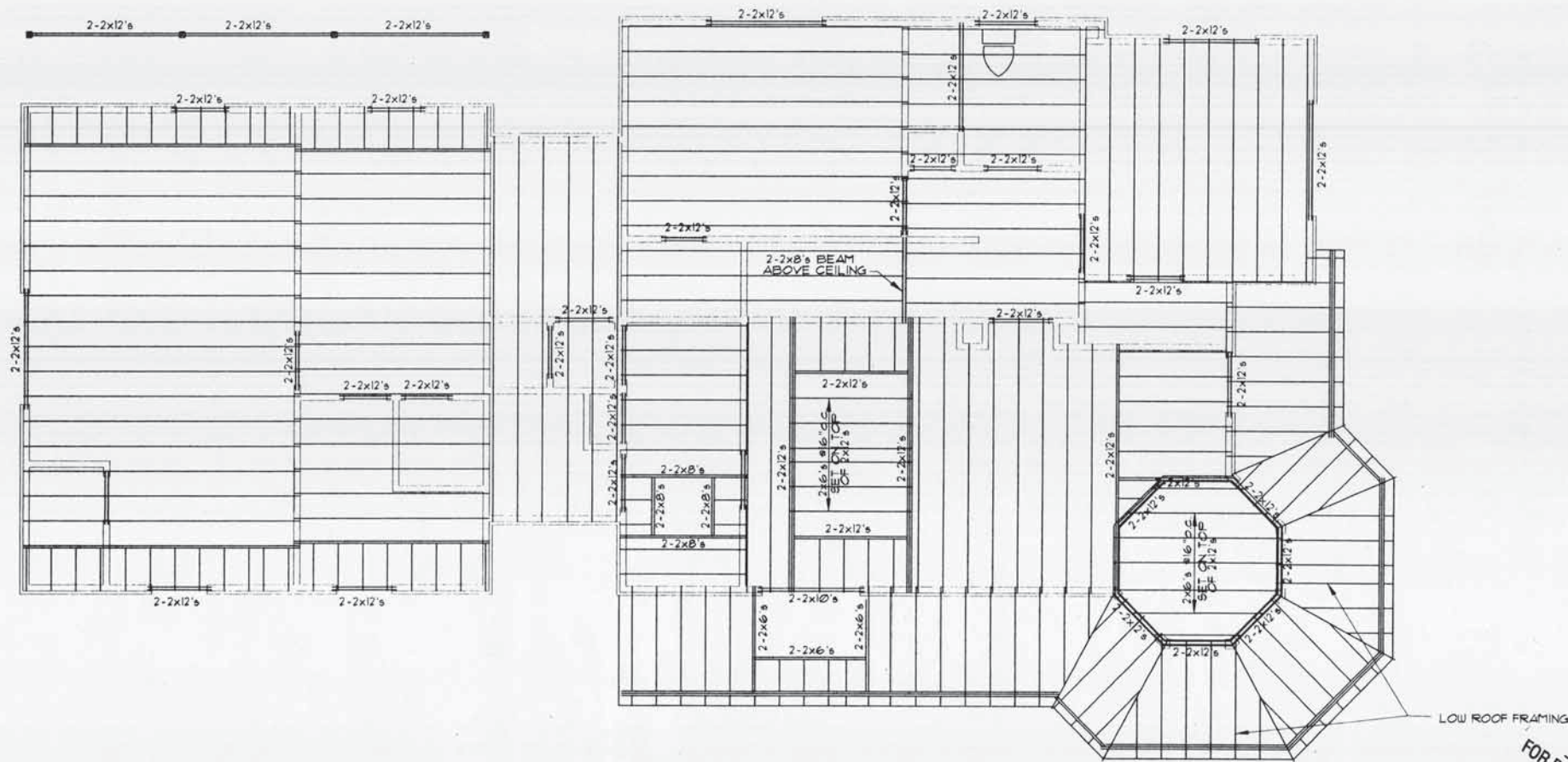
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SECOND FLOOR PLAN

**SHELTON
 RESIDENCE**

A2.02

Layne Shelton Residence
216 East 24th Street, Houston, Texas



SECOND FLOOR CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"

SECOND FLOOR CEILING FRAMING NOTES

1. ALL WOOD FRAMING SHALL BE #2 KD SOUTHERN YELLOW PINE
2. CEILING JOISTS SHALL BE 2x8's @ 16" o.c. (UNLESS OTHERWISE NOTES)
3. DOOR AND WINDOW HEADERS SHALL BE 2-2x12's WITH 1/2" PLYWOOD SPACER

LOW ROOF FRAMING NOTES:

1. ALL ROOF FRAMING SHALL BE #2 KD SOUTHERN YELLOW PINE.
2. ALL RAFTERS SHALL BE 2x6's @ 16" o.c. (UNLESS OTHERWISE NOTES)
3. ROOF DECKING SHALL BE 1/2" KOOL-FLY PLYWOOD DECKING NAILED W/ 8d NAILS 6" o.c. AT EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS.
4. ALL RAFTERS SHALL BE ANCHORED TO TOP SILL PLATE WITH SIMPSON STRONG-TIE HURRICANE CLIPS H25 AT EACH RAFTER
5. FOR RAFTERS WITH SPANS GREATER THAN 17'-0" SHALL BE SUPPORTED AT MID SPAN BY A PONY WALL.
6. UNLESS OTHERWISE NOTES, ALL MEMBERS ARE DRAWN AS CENTER LINE OF MEMBER.

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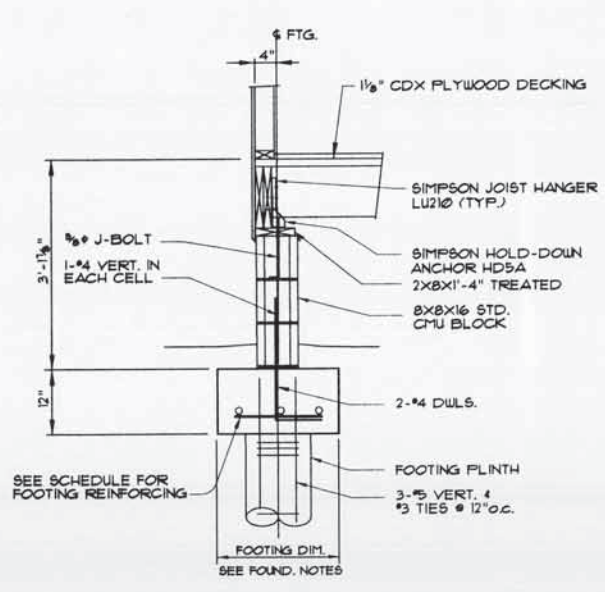
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SECOND FLOOR
CEILING &
LOW ROOF
FRAMING PLAN

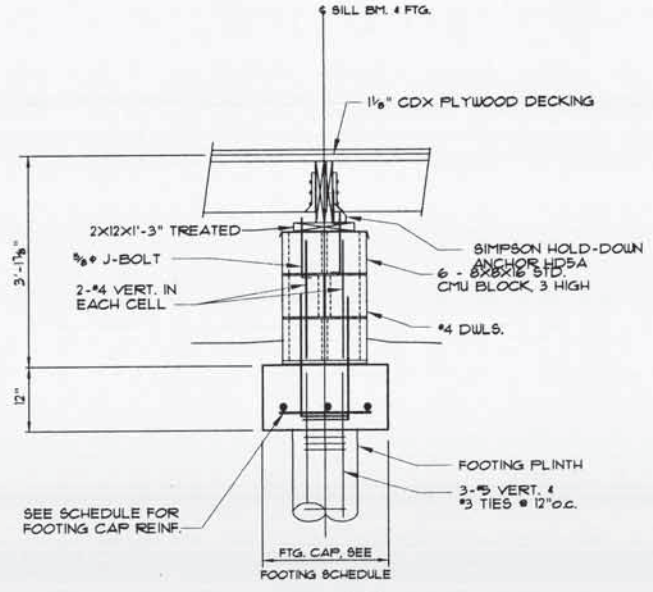
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Layne Shelton Residence
216 East 24th Street, Houston, Texas

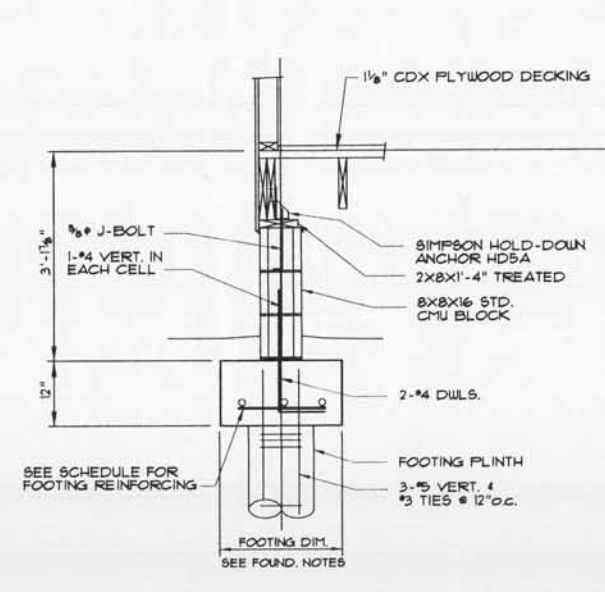
FOUNDATION &
SILL BEAM
FRAMING PLAN



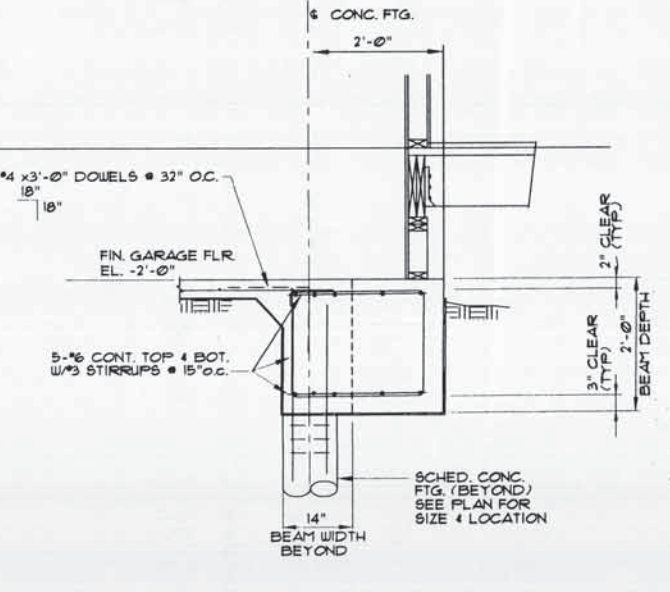
SECTION 1
Scale: 3/4"=1'-0"
S1



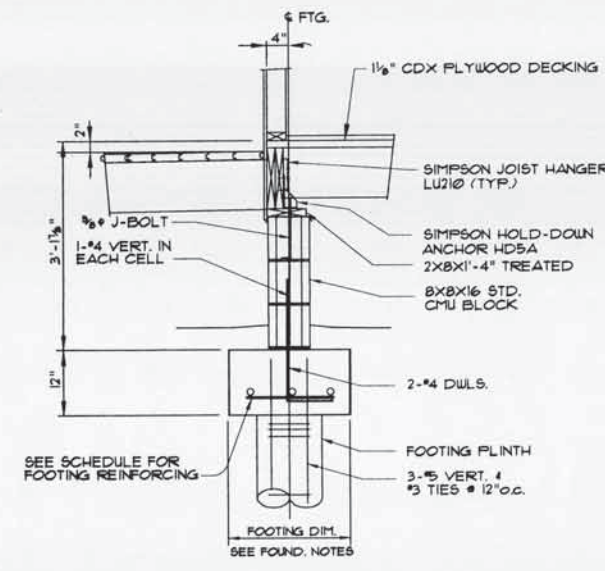
SECTION 2
Scale: 3/4"=1'-0"
S1



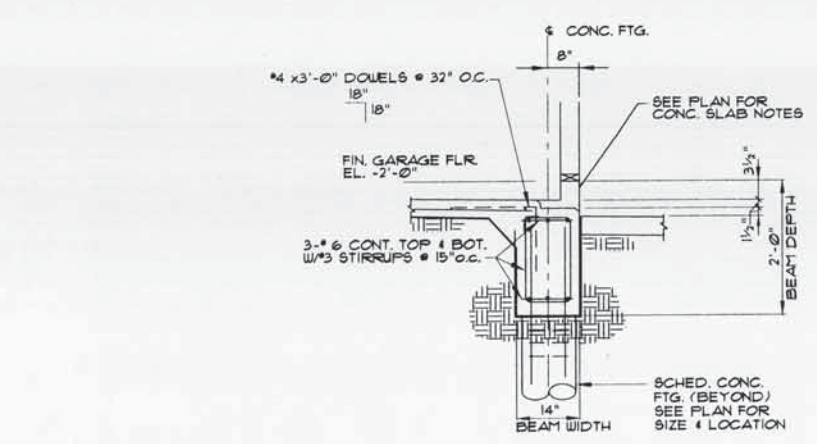
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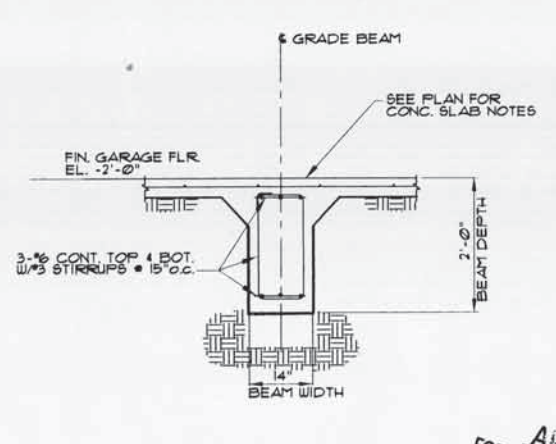
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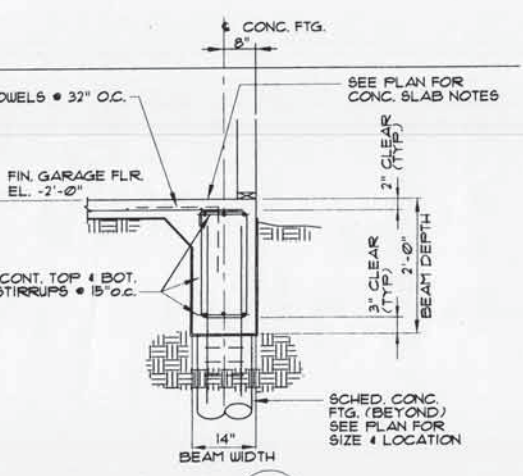
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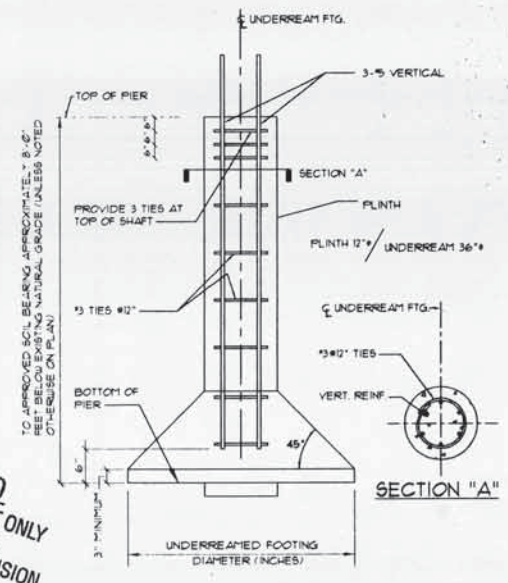
SECTION 6
Scale: 3/4"=1'-0"
S1



SECTION 7
Scale: 3/4"=1'-0"
S1



SECTION 8
Scale: 3/4"=1'-0"
S1



TYPICAL UNDERREAMED FOOTING DETAIL
SCALE: NONE

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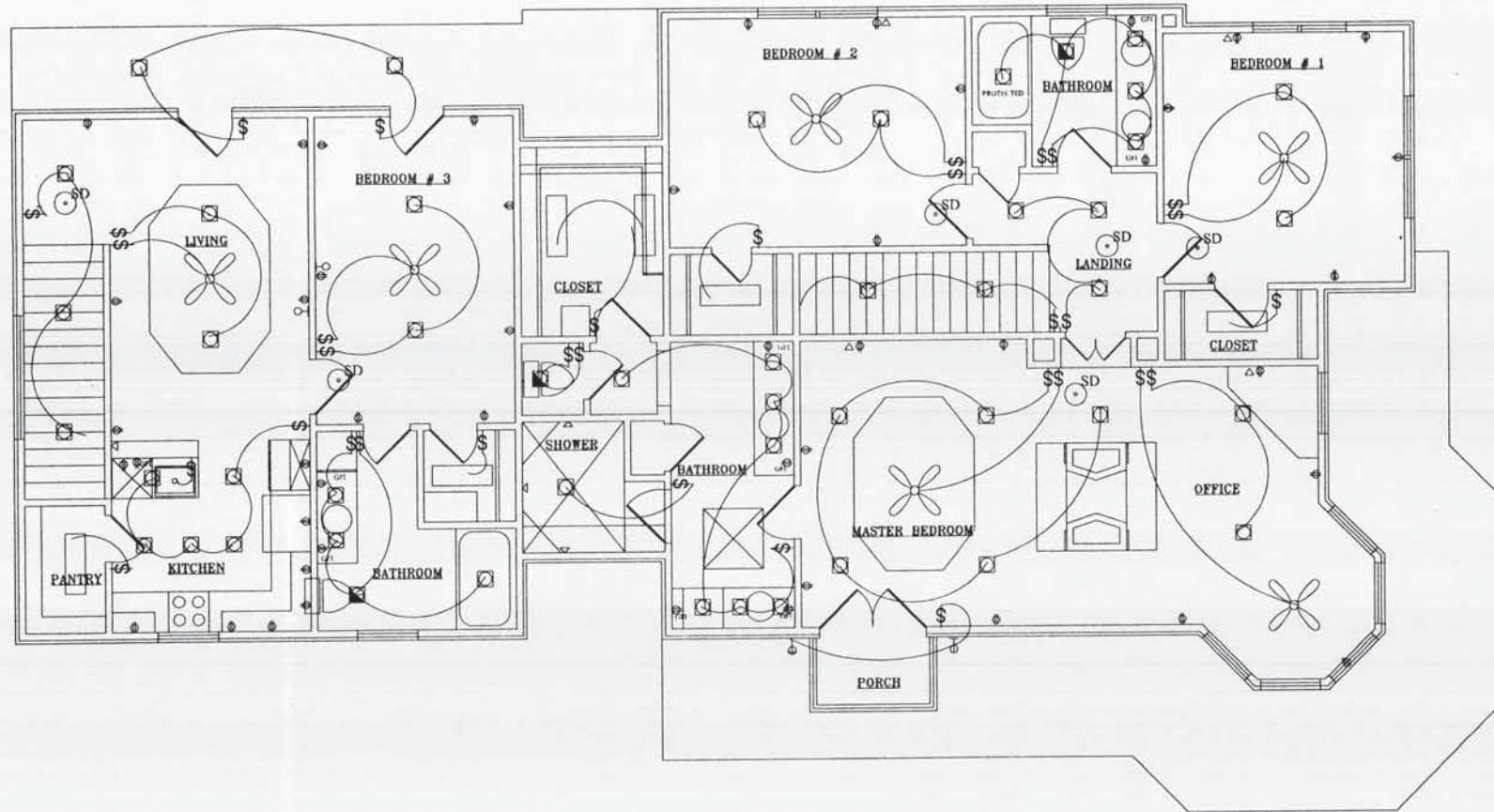
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	110V DUPLEX OUTLET
	EXHAUST FAN W/ LIGHT
	RECESSED CLG FIXTURE
	FLOURESCENT FIXTURE
	GROUNDFAULT OUTLET
	WATERPROOF GROUNDFAULT OUTLET
	SINGLE POLE LIGHT SWITCH
	THREE WAY SWITCH
	TELEVISION OUTLET
	WALL MOUNTED FLOODLIGHT
	SMOKE DETECTOR
	CEILING MOUNTED LIGHT
	CEILING MOUNTED LIGHT W/ PULL CHAIN

*MECHANICAL, ELECTRICAL, PLUMBING
SUBJECT TO FIELD INSPECTION
AND CORRECTION*

SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

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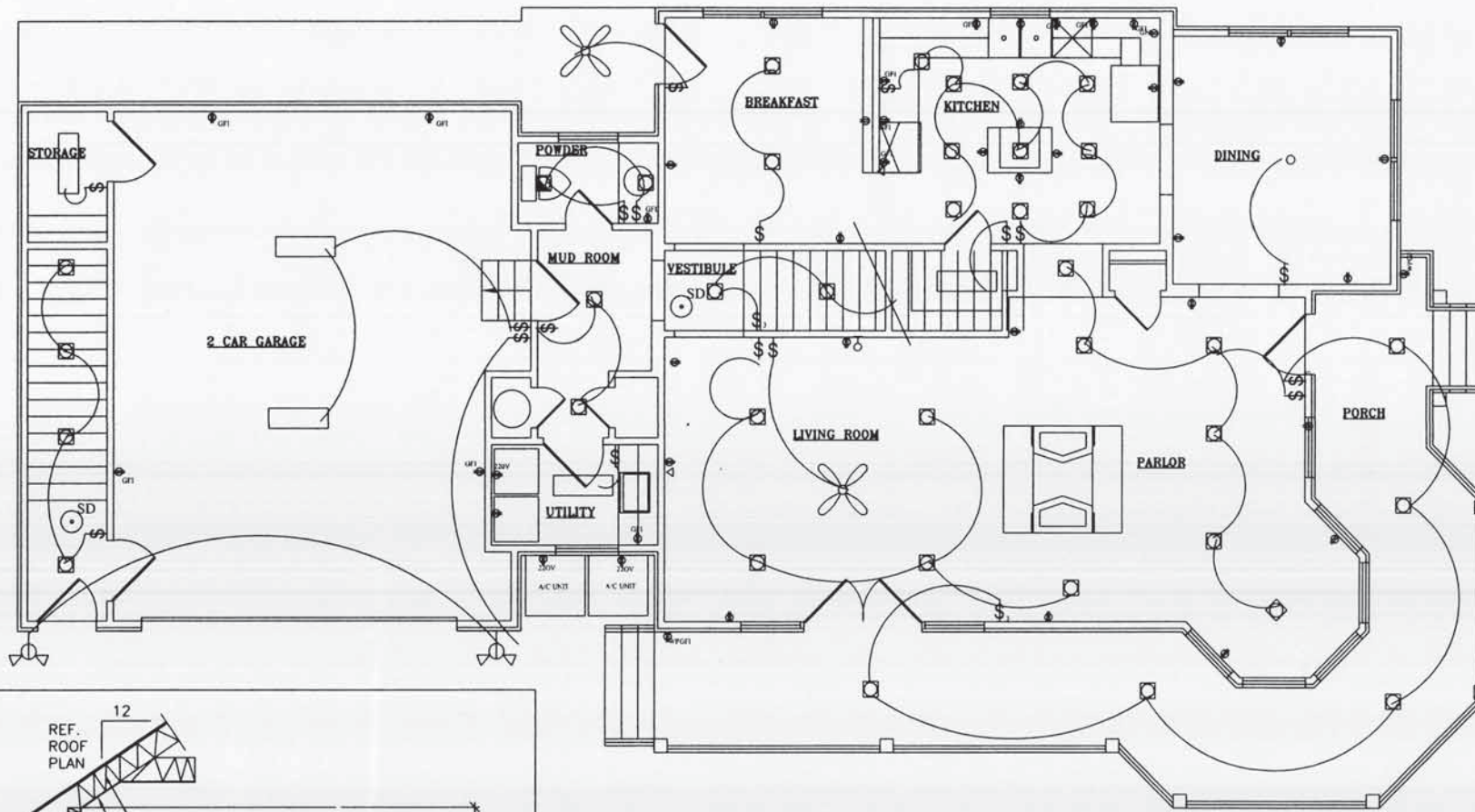
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2ND FLOOR ELECTRICAL PLAN

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RESIDENCE

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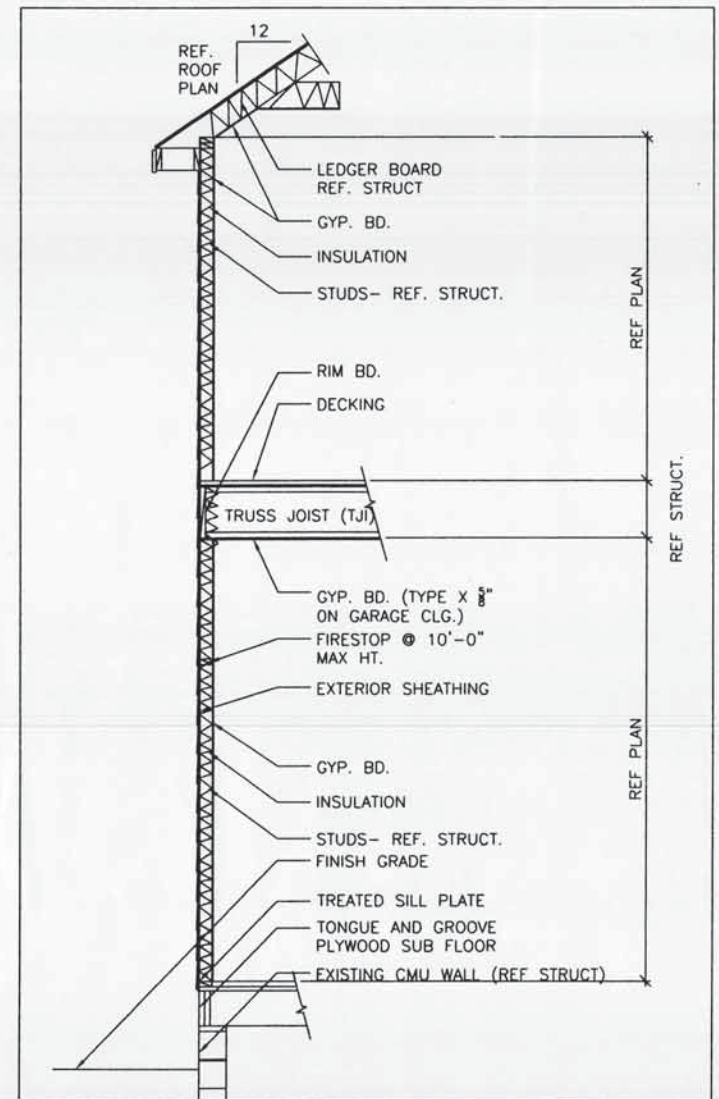
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	EXHAUST FAN W/ LIGHT
	RECESSED CLG FIXTURE
	FLOURESCENT FIXTURE
	GROUNDFAULT OUTLET
	WATERPROOF GROUNDFAULT OUTLET
	SINGLE POLE LIGHT SWITCH
	THREE WAY SWITCH
	TELEVISION OUTLET
	WALL MOUNTED FLOODLIGHT
	SMOKE DETECTOR
	CEILING MOUNTED LIGHT
	WALL MOUNTED LIGHT

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

"MECHANICAL, ELECTRICAL, PLUMBING
SUBJECT TO FIELD INSPECTION
AND CORRECTION"

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NO. 364
DIVISION
REMIT ONLY
STON
DIVISION
The undersigned
certifies that the
plans shown hereon
were prepared by
me or under my
supervision and that
I am a duly licensed
Professional Engineer
in the State of
Massachusetts.
NO. 364



TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"

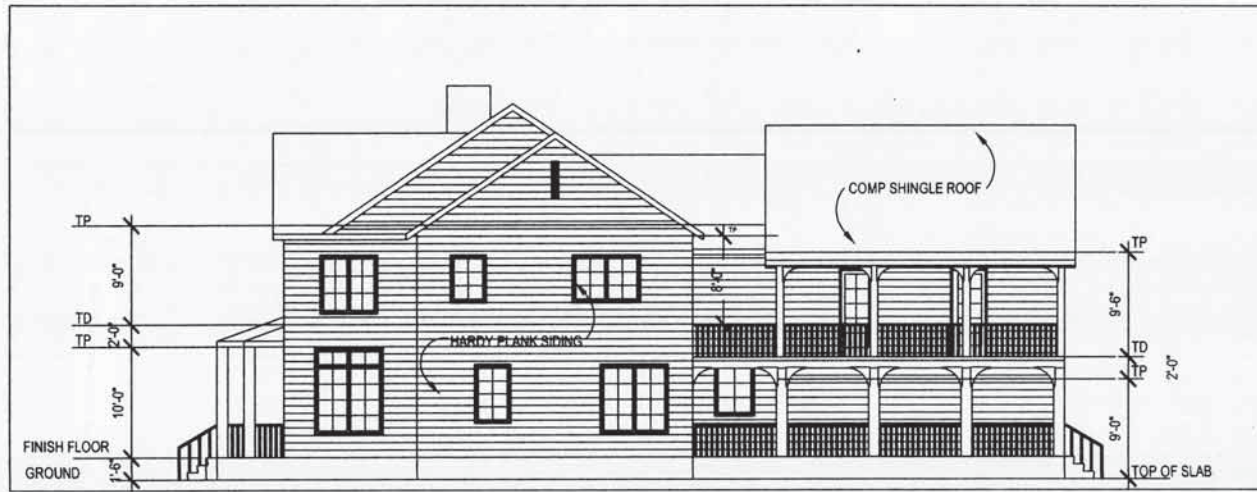
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1ST FLOOR ELECTRICAL PLAN

SHELTON
RESIDENCE

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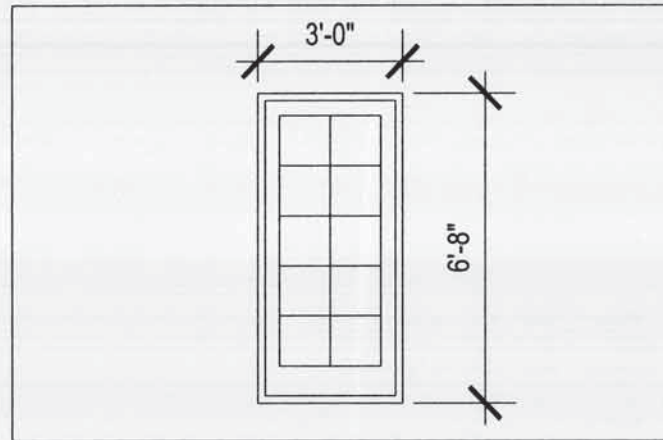
RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



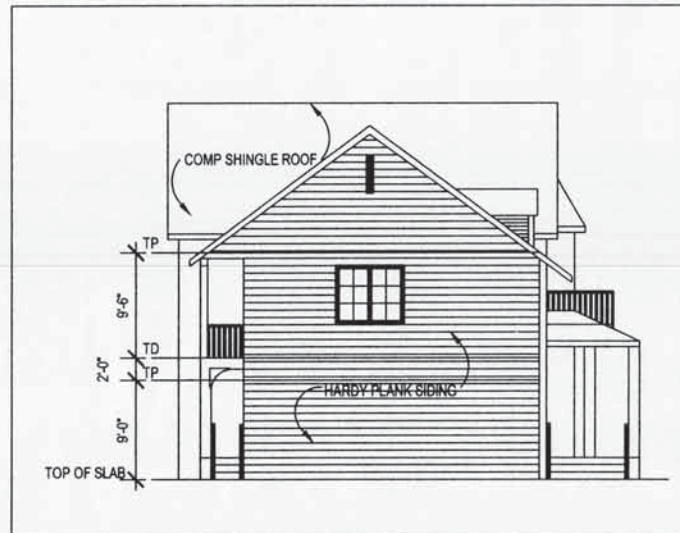
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



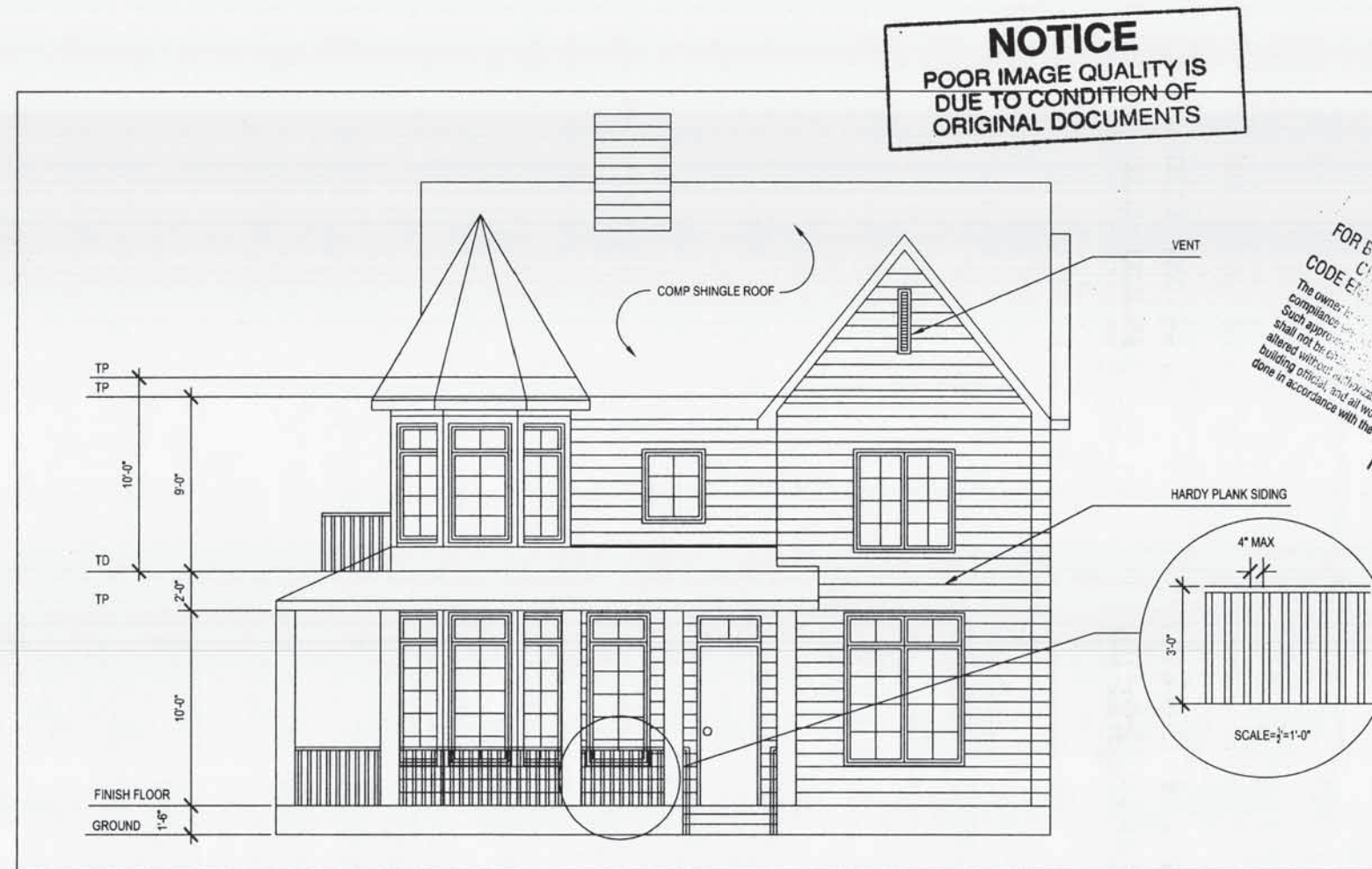
TYPICAL FRENCH DOOR

SCALE: 1/2" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

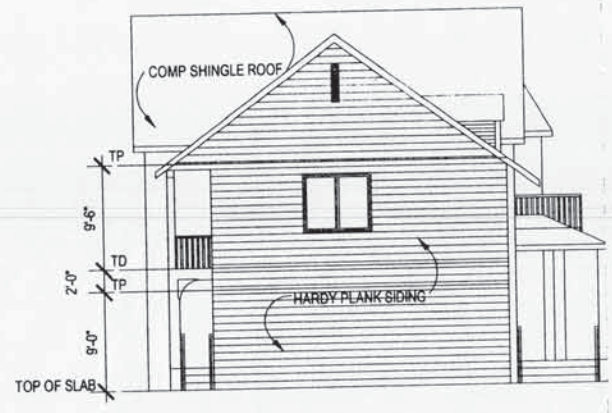
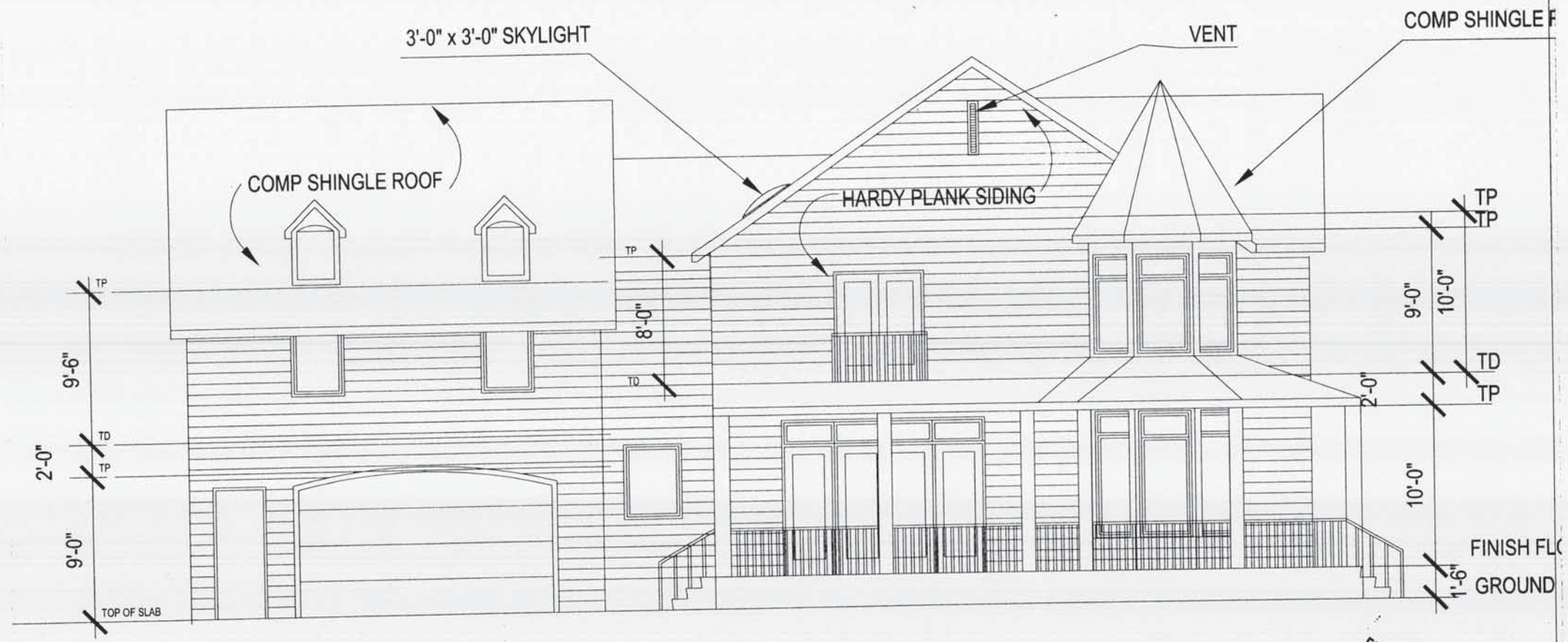
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

SHELTON RESIDENCE

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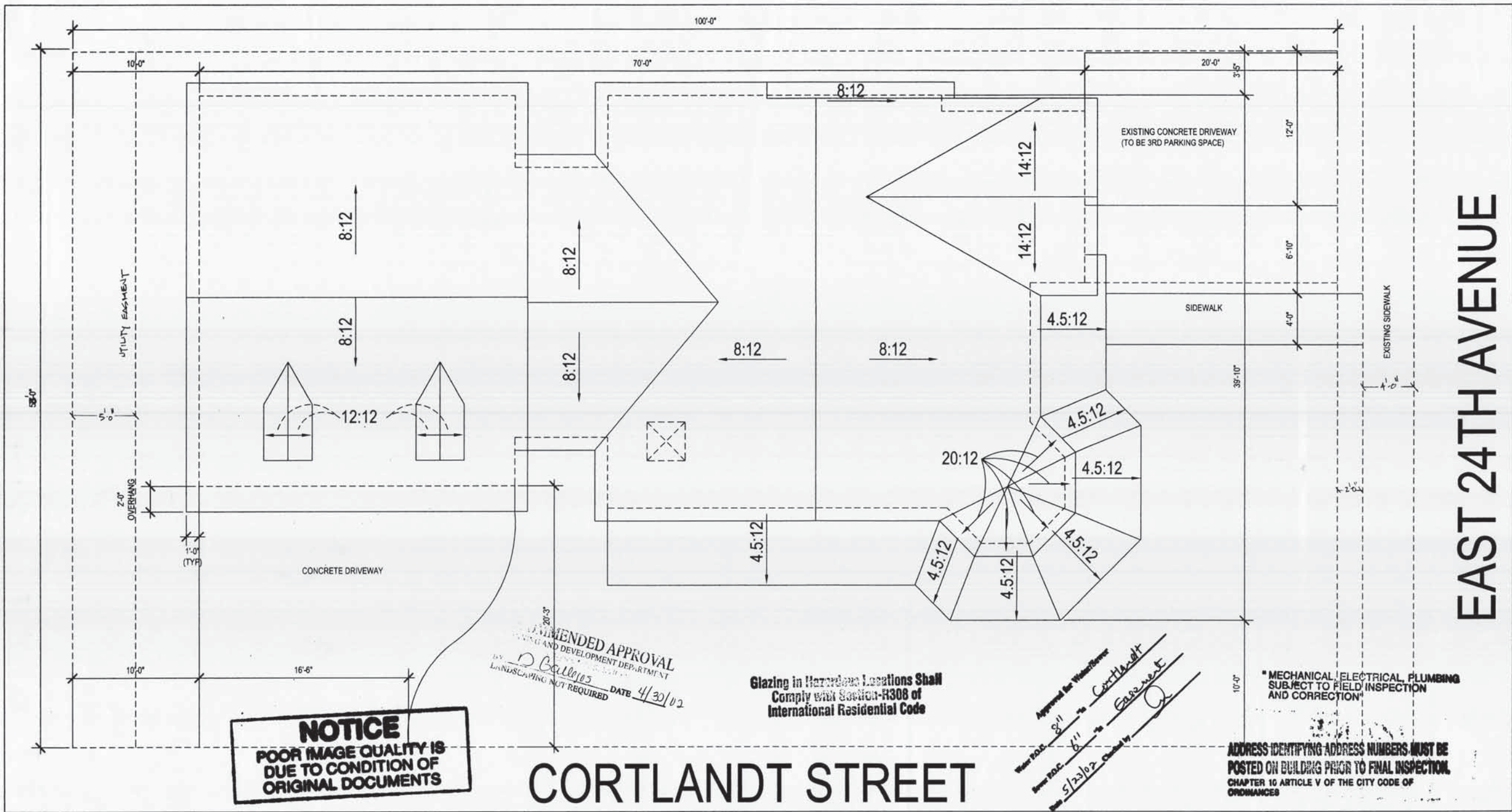
NOTICE
 POOR IMAGE QUALITY IS
 DUE TO CONDITION OF
 ORIGINAL DOCUMENTS

1ST FLOOR PLAN

SHELTON
 RESIDENCE

A2.01

DRAWN BY



NOTICE
POOR IMAGE QUALITY IS
DUE TO CONDITION OF
ORIGINAL DOCUMENTS

RECOMMENDED APPROVAL
PLANNING AND DEVELOPMENT DEPARTMENT
DATE 4/30/02
BY [Signature]

Glazing in Hazardous Locations Shall
Comply with Section R308 of
International Residential Code

Approval for Water/Storm
New P.O.C. 8/11 by Cortlandt
New P.O.C. 8/11 by East 24th
Date 5/23/02 Checked by [Signature]

*MECHANICAL, ELECTRICAL, PLUMBING
SUBJECT TO FIELD INSPECTION
AND CORRECTION*

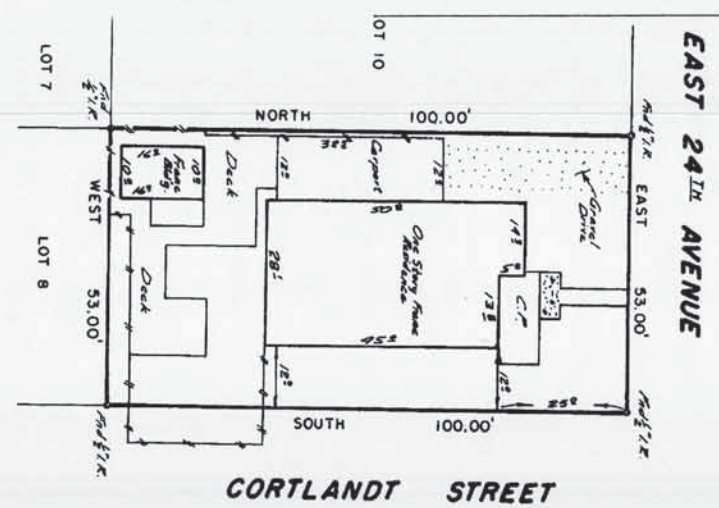
ADDRESS IDENTIFYING ADDRESS NUMBERS MUST BE
POSTED ON BUILDING PRIOR TO FINAL INSPECTION.
CHAPTER 10 ARTICLE V OF THE CITY CODE OF
ORDINANCES

EAST 24TH AVENUE

CORTLANDT STREET

- GENERAL NOTES**
- CONSTRUCTION: COMPLY WITH APPLICABLE CODES AND RELATED AMENDMENTS.
 - CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS BY OWNERS CONSULTANTS.
 - a) ELECTRICAL, MECHANICAL, AND PLUMBING PLANS ARE DIAGRAMMATIC ONLY. ACTUAL DESIGN BY OWNERS CONSULTANT.
 - b) REFER CIVIL & LANDSCAPE DRAWINGS FOR GRADING AND DRAINAGE REQUIREMENTS.
 - c) REFER STRUCTURAL ENGINEER FOR STRUCTURAL DESIGN, SPECIFICATIONS AND DETAILS.
 - VERIFY TYPE AND LOCATION OF UTILITIES SERVING SITE.
 - FIREPLACES:
 - a) VERIFY SIZES, INCLUDING HEARTH EXTENSIONS REQUIRED BY CODE.
 - b) PROVIDE OUTSIDE MAKE-UP AIR INLET WITH SCREENED LOUVER AND AIR DAMPER.
 - VENT CLOTHES DRYER TO OUTSIDE.
 - REFER TO ELEVATIONS FOR ROOFS TO BE OUTLINED, SUBMIT PROPOSED LOCATIONS OF AND DOWNSPOUTS TO OWNER FOR REVIEW AND APPROVAL.

- EXTERIOR MATERIALS AND FINISHES: INSTALL IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS AND DETAILS.
 - FIRE SPRINKLER SYSTEM: REFER TO LOCAL JURISDICTION FOR REQUIREMENTS.
- DIMENSIONING PURPOSES:**
- DO NOT SCALE DRAWINGS
 - VERIFY DIMENSIONS: NOTIFY DESIGNER OF DISCREPANCIES.
 - WOOD STUD WALLS: 2x4'S @ 16" o.c. TO MAXIMUM HEIGHT OF 10' SUPPORTING ONE FLOOR, ROOF AND CEILING. UNSUPPORTED WALL HEIGHTS EXCEEDING 10' AND 3 STORY CONDITIONS REQUIRE STRUCTURAL ANALYSIS TO DETERMINE STUD SIZE AND SPACING.
 - EXTERIOR WOOD STUD/ MASONRY ASSEMBLIES: 9" w/ 2x4's, 11" w/ 2x6's, 13" w/ 2x8's
 - ALL WALLS DIMENSIONED TO CENTERLINE OF WALL. EXCEPTION OVER 6" THICK DIMENSIONED OUT-TO-OUT.
 - WALL PLATE HEIGHTS: CROSS REFERENCE EXTERIOR ELEVATIONS, WALL SECTIONS, AND FASCIA DETAILS TO DETERMINE.
 - WINDOWS:
 - a) REFER EXTERIOR ELEVATIONS AND FLOOR PLANS OR SCHEDULE FOR HEAD HEIGHTS.



- NOTICE**
- THIS PLAN MUST BE KEPT ON JOB FOR ALL CITY INSPECTIONS
- A SEPARATE PERMIT IS REQUIRED FOR SIDEWALK-CURB AND CURB, DRIVEWAY, PLUMBING, AIR CONDITIONING, ELECTRICAL, SWIMMING POOLS, ELEVATORS AND SIGNS.
- THE BUILDING PERMIT FOR THIS STRUCTURE IS ISSUED ON THE CONDITION THAT THE FINISHED FLOOR OF THE BUILDING IS NOT LESS THAN TWELVE RICHES (12") ABOVE THE HIGHEST FINISHED SURFACE, OR WHERE NO SURFACE IS AVAILABLE THE FINISHED FLOOR SHALL NOT BE LESS THAN FOUR INCHES (4") ABOVE THE GRADE OF THE STREET AND IN ALL INSTANCES AT OR ABOVE THE PROJECTED 100 YEAR BASE FLOOD ELEVATION APPLICABLE.
- SPECIAL INSPECTIONS AS PER SECTION 1701 REQUIRED FOR:**
- CONCRETE
 - MOMENT-RESISTING CONCRETE FRAME
 - REINFORCING STEEL AND PRESTRESSING STEEL
 - WELDING
 - HIGH-STRENGTH BOLTING
 - STRUCTURAL MASONRY
 - REINFORCED GYPSUM CONCRETE
 - INSULATING CONCRETE FILL
 - SPRAY-APPLIED FIREPROOFING
 - PLUMBING DRILLED PIERLAND CASING
 - SPECIAL GRADING, EXCAVATION AND FILL
 - POST TENSION AND GRADING OPERATION
 - SPECIAL CASES

SQUARE FOOTAGE CALCULATIONS

1,270	FIRST FLOOR AC
1,921	SECOND FLOOR AC
3,191	TOTAL AC
570	GARAGE
846	COVERED PORCHES / BALCONY
1,416	TOTAL NON AC
4,601	TOTAL CONSTRUCTION

NOTICE

FABRICATOR REQUIREMENTS

Building permit for this structure is issued on the condition that all prefabricated primary members of the structure be fabricated by a City approved fabricator. All such members must also be identified by approval fabricator's registration number for inspection by City Inspector.

Approved fabricator registration number for this structure is

SHEET INDEX

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A2.02	SECOND FLOOR PLAN
A3.01	EXTERIOR ELEVATIONS
E1.01	FIRST FLOOR ELECTRICAL PLAN
E1.02	SECOND FLOOR ELECTRICAL PLAN

SITE PLAN / GENERAL NOTES

SHELTON RESIDENCE

A1.01

07038726