



# REDSTAR PROFESSIONAL HOME INSPECTION, INC

832-643-9724

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<https://www.redstarhomeinspection.com>



## REDSTAR RESIDENTIAL INSPECTION REI 7-6

404 S Beauregard St  
Alvin, TX 77511



Inspector

Timothy Jones

TREC #24624

832-643-9724

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# PROPERTY INSPECTION REPORT FORM

Angela Poole <i>Name of Client</i>	05/13/2022 2:00 pm <i>Date of Inspection</i>
404 S Beauregard St, Alvin, TX 77511 <i>Address of Inspected Property</i>	
Timothy Jones <i>Name of Inspector</i>	TREC #24624 <i>TREC License #</i>
Jeremy Benefiel TREC # <i>Name of Sponsor (if applicable)</i>	8595 <i>TREC License #</i>

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

## NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

:Furnished

*In Attendance:* List agent/representative

*Temperature (approximate):* 85 Fahrenheit (F)

*Type of Building:* Single Family

*Weather Conditions:* Humid, Dry, Hot, Partly Cloudy

*Storage Items/Furnished Home:*

Stored items and/or furniture were present at the property that obstructed view or access to some locations. The inspector does not move storage items or furnishings that impede the visual inspection of any components. Items blocked by storage/furnishings are not inspected.

*Appliances Not Inspected:*

Refrigerators, trash compactors, freezers, clothes washers, and dryers are not included in the inspection.

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## I. STRUCTURAL SYSTEMS

**A. Foundations**

*Type of Foundation(s):* Pier and Beam

*Foundation Performance: Further Evaluation is Recommended:*

Structural movement and/or settling noted. Visible differential movement was noted at the interior/exterior of the structure. See the report for more information regarding these signs. Suggest that an expert in this field be consulted for further evaluation of the structure and to provide suggestions as to what, if any, corrective actions should be taken.

*Areas of foundation obstructed:* Concrete/Wood deck against home -

These conditions resulted in areas of the foundation slab not being readily visible or were obstructing inspection. A minimum of 2-4" of foundation exposure should be maintained around home, and foliage/soil kept clear. Inspector does not move any debris or stored items, or pull back any heavy foliage or high soil conditions. Correction of these conditions may reveal hidden issues.

*Crawlspace Inspection Limited:* No proper access, Limited clearance, Excessive foliage/debris -

Inspection of the crawlspace for the home was limited by these conditions at the time of inspection. Inspector does not access crawlspaces that do not meet minimum requirements. Inspector does not access crawlspaces with excess items/debris or standing water and similar hazards. More information may be included in the report.

Note: Access openings through the floor shall be a minimum of 18 inches by 24 inches (457 mm by 610 mm). Openings through a perimeter wall shall be not less than 16 inches by 24 inches (407 mm x 610 mm). Minimum clearance height of 18" is required in crawlspace.

### 1: Pier and Beam: Multiple Issues/Recommend further evaluation

 Recommendation

Signs of excessive structural movement and issues observed in relation to the condition of the pier and beam foundation as observed at time of inspection. These issues include:

- Inadequate support of the structural beams at some locations with some of the wood beams being loose or inadequately shimmed and supported.
- Piers are shifted/leaning or show signs of deterioration. The piers in place are aged brick piers with some newer concrete blocks and most of the aged piers showed excessive deterioration and will likely require replacement. Consult with a qualified contractor to evaluate the condition of the piers and extent of repairs/replacement/additions needed.
- Deflections in the subfloor and signs of the foundation being excessively out of level.
- Wood rot and previous wood destroying insect damage observed to sections of the wood beams and areas that will likely require supplementing or replacement.

The pier and beam foundation and related components require further evaluation by qualified contractor to determine the extent of necessary repairs. Recommend a foundation repair company (who is familiar with pier and beam structures) or a structural engineer be consulted to perform a foundation performance evaluation and determine what corrective action is needed.

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Note: Red Star Inspectors are not structural engineers and are not acting as a structural engineer. All statements relating to structural movement are based on the professional opinion of this company.

Recommendation: Contact a qualified structural engineer.



**2: Pier and Beam: Deficiencies noted**

👉 Recommendation

Wood destroying insect damage, Inadequate shimming or support of beams -  
This comment is still being worked on!

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Recommendation: Contact a foundation contractor.

**3: Crawlspace: Inadequate ventilation**

Recommendation

Improper venting of the crawlspace area was observed at the time of inspection. *Note: The under-floor space between the bottom of the floor joists and the earth under any building (except space occupied by a basement) shall have ventilation openings through foundation walls or exterior walls. The minimum net area of ventilation openings shall be not less than 1 square foot for each 150 square feet of under-floor space area, unless the ground surface is covered by Class 1 vapor retarder material. Where a Class 1 vapor retarder material is used, the minimum net area of ventilation openings shall be not less than 1 square foot for each 1,500 square feet of under-floor space area. One such ventilating opening shall be within 3 feet of each corner of the building.*

Poor or inadequate venting of crawlspaces can contribute to moisture/mold conditions in the area. Recommend consulting with a qualified contractor to evaluate the crawlspace further and determine the extent of needed repairs.

Recommendation: Contact a foundation contractor.

**4: Floor Joist**

Recommendation

One or more floor joist was observed not resting on the pier correct. This condition could lead to structural movement. Recommend qualified person to further evaluate and to repair as needed.

Recommendation: Contact a qualified professional.

**5: Crawlspace: Inadequate access/clearance**

Recommendation

No proper access to the crawlspace was observed around the home, and view at much of the foundation was extremely limited due to low footing. Modern code for crawlspace access and clearance are not present at most locations. Recommend you consult with a qualified contractor to help with drainage issues and to provide as much possible clearance and access as possible. Recommend all currently inaccessible areas are evaluated in conjunction with these repairs for potentially obstructed issues.

Note: "Access openings through the floor shall be a minimum of 18 inches by 24 inches (457 mm by 610 mm). Openings through a perimeter wall shall be not less than 16 inches by 24 inches (407 mm x 610 mm). Minimum clearance height of 18" is required in crawlspace."

Recommendation: Contact a qualified professional.

**6: Missing Insulation**

Recommendation

Modern building practices recommend that crawl spaces be encapsulated or sealed and then be insulated with rigid foam board insulation.

Recommend HVAC professional upgrade and correct if desired.

Recommendation: Contact a qualified HVAC professional.

**B. Grading and Drainage**

Recommend further evaluation:

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Several issues observed in relation to the Grading and Drainage items on the property. Recommend further evaluation of these conditions by appropriate contractor to determine extent of needed repairs.

*Fence Not Included:*

The fence is not covered under the scope of this inspection.

**1: Landscaping: Trim trees and heavy foliage**

**➔Recommendation**

Recommend trimming foliage in contact with the structure to prevent damage to the veneer and moisture penetration over time. Recommend all tree limbs be cleared back a minimum of 3' from the roof covering and foliage 18" from the exterior walls.

Recommendation: Contact a qualified landscaping contractor



**2: Grading & Drainage: Multiple issues**

**➔Recommendation**

There appears to be improper grading and drainage of the property at multiple locations around the home. Issues observed include negative slope towards foundation, soil erosion around perimeter of the home, and inadequate slope of the grade around property to ensure proper drainage. Recommend consulting with a qualified contractor to determine the best method of repair.

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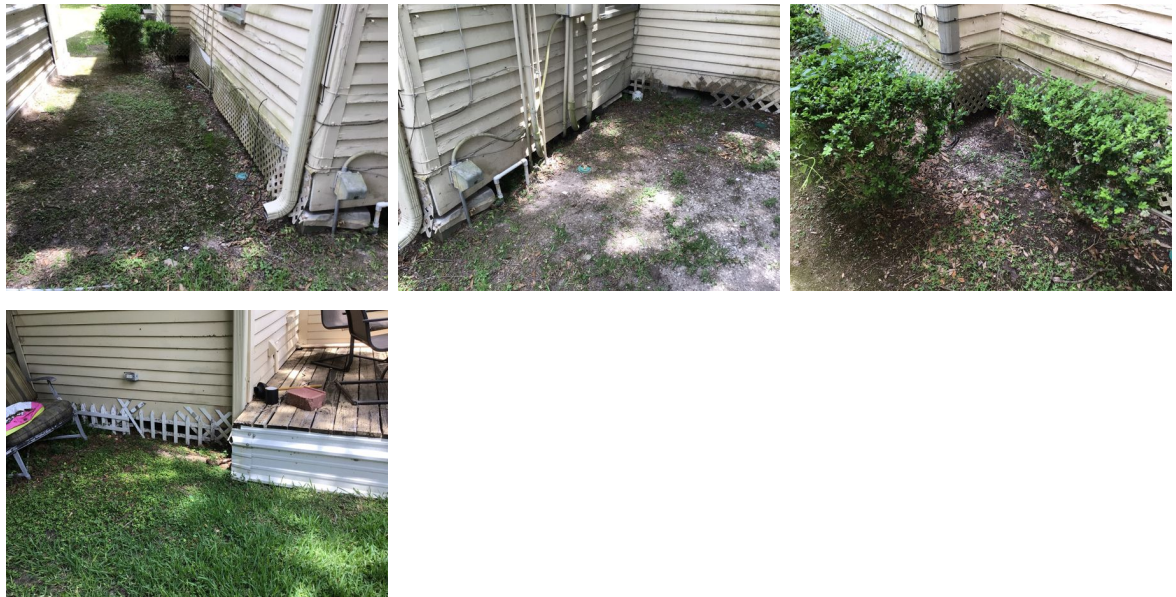
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**Drainage Building Code:** IRC R401.3 Drainage. Surface drainage shall be diverted to a storm sewer conveyance (typically the street) or other approved point of collection so as to not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. The final grade shall slope away from the foundation at a minimum slope of 5 percent and the water shall be directed to drains or swales shall be provided to ensure drainage away from the structure.

Swales shall be sloped a minimum of 2 percent when located within 10 feet of the building foundation. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.

Recommendation: Contact a qualified landscaping contractor



**3: Gutters: Multiple issues**

🔴 Recommendation

Multiple issues observed with the condition of the gutters around the property at time of inspection. These issues may include: damaged or loose sections, signs of leaking, and inadequately sloped or clogged sections. Due to the extent of observed issues, I recommend further evaluation by qualified contractor to determine the extent of needed repairs.

Recommendation: Contact a qualified gutter contractor





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**4: Grass health**

**🔴 Recommendation**

The health of the grass at the lawn around the property was observed to be poor at the time of inspection. This includes areas of poor growth and weeds. Recommend you consult with a qualified landscaping contractor to determine extent of needed repairs to ensure the health of the grass. Recommend you install a sprinkler system or develop a regular watering schedule.

Recommendation: Contact a qualified landscaping contractor

**C. Roof Covering Materials**

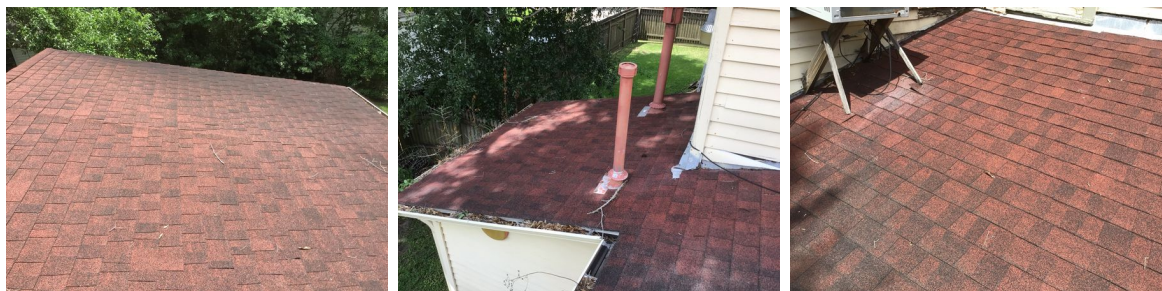
*Types of Roof Covering:* Composition Shingles

*Viewed From:* Walking the Roof Surface, Ladder

*Certified Roof Technician:*

The roof covering shows multiple issues that require further evaluation to determine the extent of necessary repairs. A Certified Roofing Company should be consulted for further evaluation.

*General Photos:*



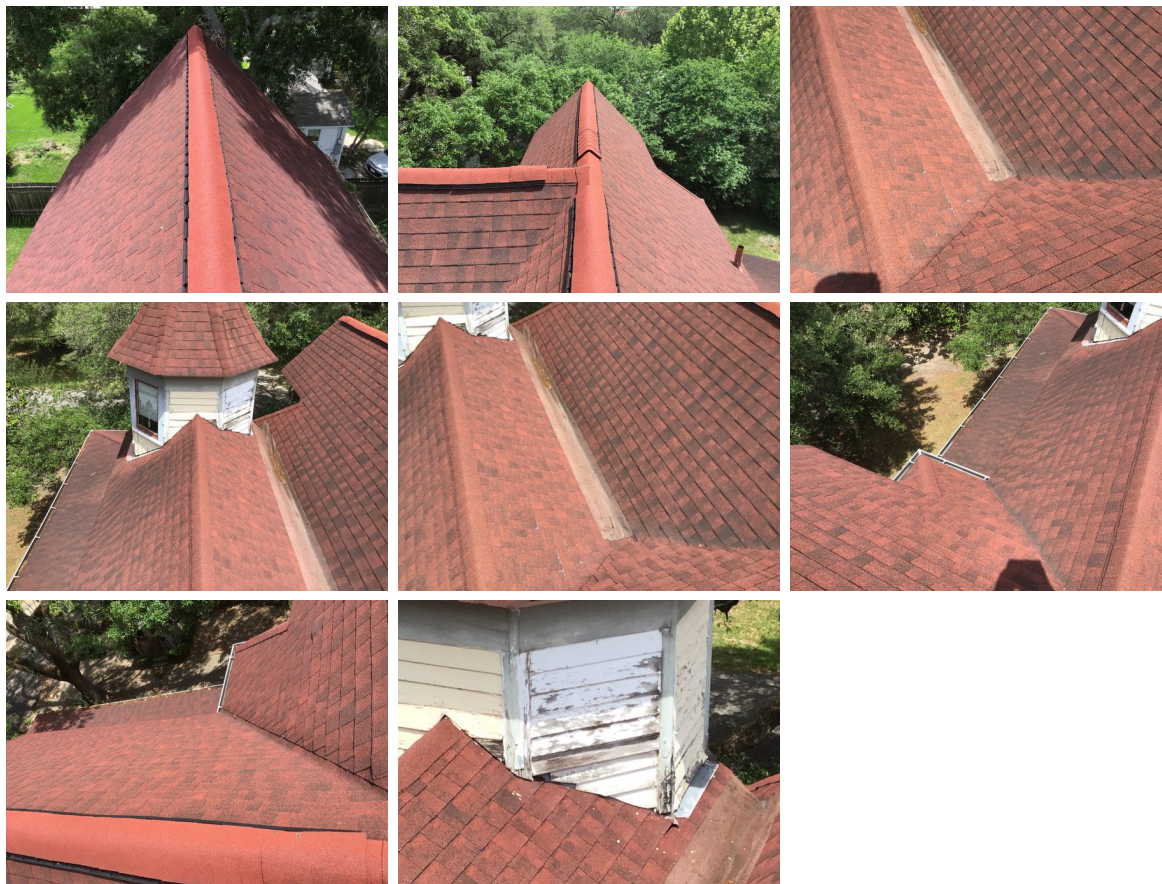
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*ROOF ACCESS WAS LIMITED BY::* Too Steep, Too High -  
 The above stated conditions limited the inspectors ability to inspect the roof. Inspector is not required to access roofs that are unsafe, and all efforts are made to inspect the roof despite these limitations.

**1: Unpainted Materials**

**🔴Recommendation**

Several locations including exposed flashing, vent assemblies, and/or plumbing vents were observed to have not been painted. All areas exposed above the roof line are required to be properly painted to avoid deterioration. Recommend correction.

Recommendation: Contact a qualified roofing professional.



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**2: Flashing: Deteriorated Sealant**

*Maintenance Item*

Deteriorated sealant was observed around plumbing and other flashing components. It is vital to maintain these locations to ensure performance of the covering. Recommend correction to avoid further deterioration or potential moisture intrusion issues.

Recommendation: Contact a qualified roofing professional.



**3: Flashing: Loose/Raised Flashing**

*Maintenance Item*

Raised or loose flashing areas were observed around the roof covering. This condition leaves the covering exposed to potential moisture or pest intrusion. Recommend all areas be evaluated and secured/sealed as needed.

Recommendation: Contact a qualified roofing professional.

**D. Roof Structures and Attics**

*Viewed From: Attic, Limited Access*

*Approximate Average Depth of Insulation: 10 Inches*

*Type of Attic Roof Ventilation: Ridge Vent, Gable Vent*

*Type of Insulation Material: Blown Fiberglass*

*Further Evaluation Recommended:*

The inspector observed conditions in relation to the roof structure and/or attic space that, in the opinion of the inspector, warrants further evaluation by appropriate contractors. See the report for more information.

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*Aged roof structure:*

Note: The home is aged, and the roof structure does not meet modern code requirements for bracing and other structural elements. The roof structure does not meet modern code requirements. Future replacement of the roof covering or other repairs may reveal a need for supplementing or additional bracing. The report may contain more information or suggestions on these areas.

*General Photos:*



*Only Accessible Areas Were Entered:*

Note: Only accessible areas of the attic were inspected. The inspector does not crawl/walk over areas that are unsafe or not easily accessible.

*Inspection was limited: Stored Items -*

The above stated conditions limited the inspectors access to view some or all of the roof structure and attic space. The inspector does not remove access panels that are nailed/painted shut to avoid potential damage. The inspector does not access any areas that are unsafe, have inadequate clearance or access, or are not

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"readily accessible". The inspector does not remove furniture or other stored items to gain access to any attic openings. All attempts were made to view as much of the roof structure and attic space as possible.

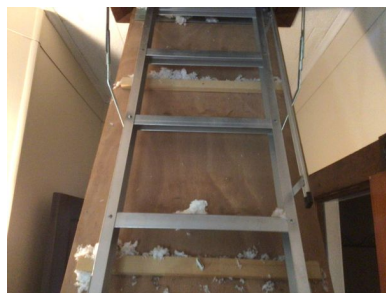
**1: Attic Door: Issues Observed**

**Recommendation**

Door not insulated -

The above stated issues were observed in relation to the attic access door at the time of inspection. Attic access doors are required to be properly insulated, weatherstripped, and seal firmly for energy efficiency reasons. Pull down attic ladders are required to be properly secured to the ceiling framing with appropriate fasteners, the hardware on the doors should be kept in good condition and be regularly serviced for safety reasons. Recommend correction of any above referenced issues to ensure performance and proper installation.

Recommendation: Contact a qualified handyman.



**2: Moisture intrusion**

**Recommendation**

Inspector observed multiple issues inside the attic space where it appeared moisture had penetrated the exterior at the time of inspection. Recommend evaluation and correction to avoid future moisture intrusion.

Recommendation: Contact a qualified professional.



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**E. Walls (Interior and Exterior)**

*Types of Exterior Wall Covering:* Wood Siding and Trim - The

*Previous Repairs Noted:*

The inspector noted evidence of previous or recent repairs to the walls at observed locations. More information may be contained within this report. Recommend you consult with the seller regarding any previous repairs or issues at these locations.

*Previous/Recent Remodeling Noted:*

The inspector observed evidence of previous or recent remodeling to the original structure. Inspector does not determine the extent any previous remodeling, and is unable to verify any details or construction obstructed from view. Recommend you consult with the seller to determine extent of any previous remodeling and any applicable paperwork or permitting associated. More information may be contained in the report.

*Inspection Limited:* Furniture, Heavy foliage, Stored Items/Equipment -

Inspection of areas on the interior or exterior of the home were obstructed from view by the above stated conditions. The inspector does not move any furniture, stored items, heavy foliage, or any other obstruction. Areas that are locked or otherwise obstructed are not included in the scope of this inspection. High soil conditions or low footings can also obstruct potential issues. More information may be contained within the report.

Areas that are obstructed can potentially hide issues from view. Recommend further evaluation of all areas once these conditions are corrected or items are removed.

*Moving in Progress:*

Home was in the process of being vacated. Stored items and personal belongings blocked the view of many areas of the home, including walls and limited the inspectors view. Inspection opinions are based on what was visible to the inspector at the time of inspection.

*Stored Materials:*

Excessive storage of materials or debris may limit the visibility of the wall structure, foundation and limit the inspectors visibility. Recommend removal of items stored near the structure for home health.

**1: Minor cosmetic/maintenance Issues**

 Maintenance Item

Mildew buildup, Paint touch up needed -

The above stated issues were observed at the home at time of inspection. These items are related to cosmetic issues or maintenance due to expected wear and tear. Recommend you budget for repair of these issues for cosmetic reasons, or to avoid further deterioration.



**2: Caulking and Sealing Needed**

 Maintenance Item

Around windows, Various locations on trim and siding -

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The above stated locations were identified as areas in need of proper caulking and sealing, or maintenance to the existing sealant. Examples of locations needing sealing are pictured for your reference. Recommend further evaluation of these areas and all others to determine the extent of needed repairs.

Recommendation: Contact a qualified handyman.



### 3: Siding: Moderate Damage/Repairs Needed

🔴Recommendation

The siding displayed sections with moderate damage that requires further evaluation and corrective action to avoid potential moisture intrusion or other issues. Recommend further evaluation of these locations by a qualified contractor and budget for necessary repairs.

Recommendation: Contact a qualified siding specialist.



### 4: Siding: Wood Rot/Moisture Issues

🔵Maintenance Item

Moisture penetration was observed to the wooden trim, fascia boards and siding at multiple locations around the home. Repair as needed to prevent further deterioration.

Recommendation: Contact a qualified professional.



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**5: Siding: Paint/Finish Issues**

🔴 Recommendation

There were some areas of the exterior siding or trim that needs painting or staining to prevent premature weathering of building materials. Remedy as needed.

Recommendation: Contact a qualified professional.



**6: Wood Ground Contact**

🔴 Recommendation

Wood was observed to be in contact with slab or grade. This can lead to deterioration and rot issues. Recommend correction.

Recommendation: Contact a qualified professional.



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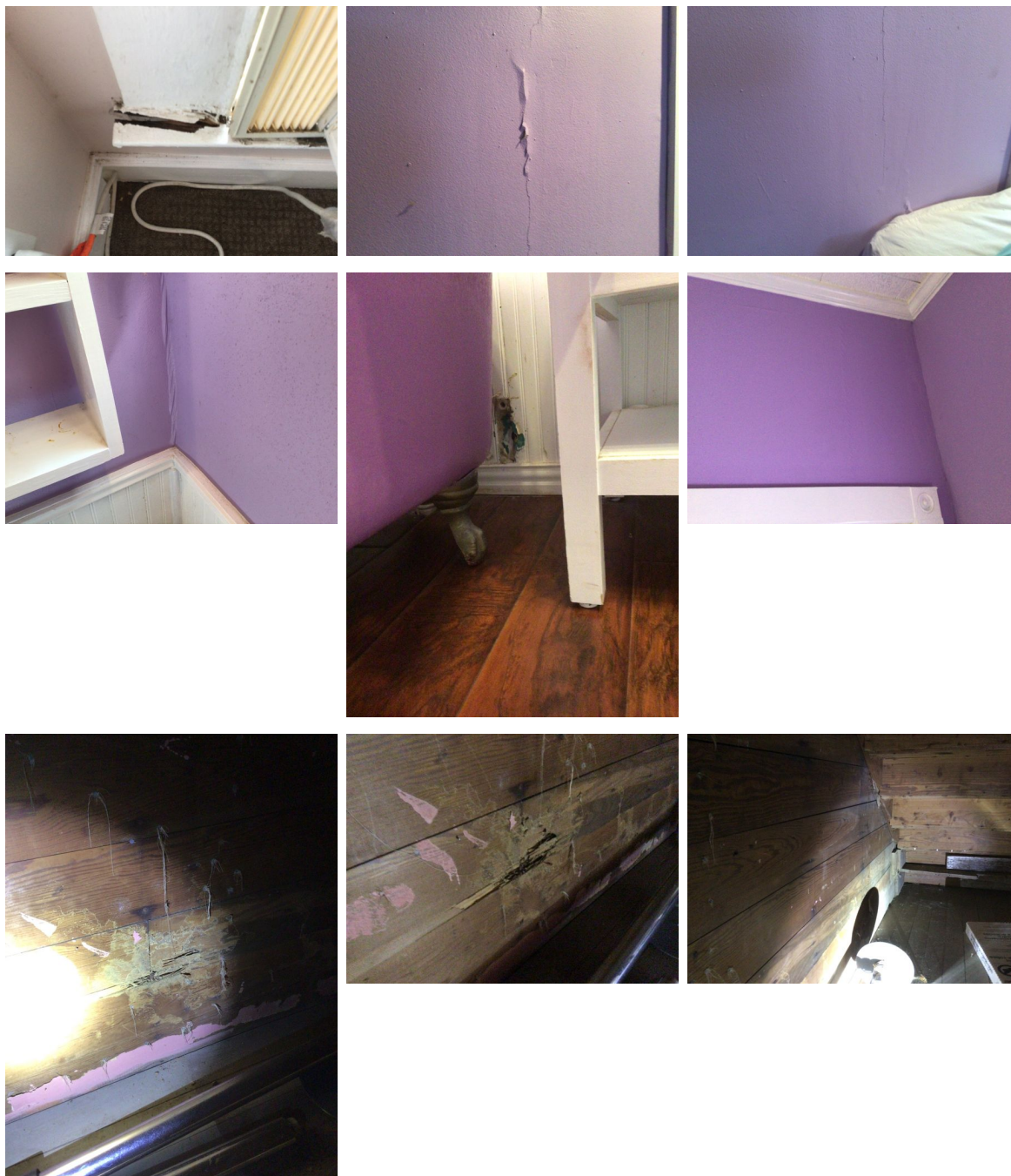
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**7: Interior wall/trim**

**🔴 Recommendation**

Inspector observed multiple issues with the interior walls/trim inside the property including but not limited to cracking, deteriorated paint, damaged areas, and bubbling paint. Recommend evaluation and correction by qualified contractor.

Recommendation: Contact a qualified professional.



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**F. Ceilings and Floors**

*Previous Repairs:*

Previous repairs were noted. Recommend obtaining all repair documents or further evaluation of repairs.

*Floors - Area Rugs or Obstructions:*

Area rugs and other obstructions limit viewing the floor area. There could be hidden damage that the inspector can not see.

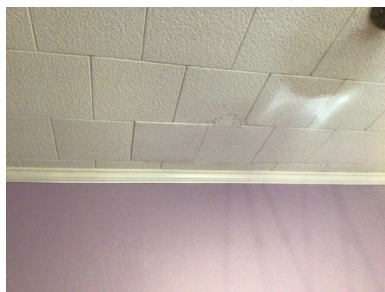
**1: Note: Patched Ceilings**

**Recommendation**

Upstairs rear bedroom

A patched ceiling area was observed at the above stated location at the time of the inspection. Recommend you consult with seller to try and determine any previous issues at this location. Thermal imaging and inspection of this area did not reveal any active issues at the time of inspection. Recommend cosmetic repair as desired, and further monitoring of this location.

Recommendation: Contact a qualified professional.



**2: Ceiling: Moisture Damage/ Water Mark**

**Recommendation**

Water staining observed at the interior of the home at the ceiling. Thermal imaging revealed no signs of active moisture at these locations, and it appears these stains are related to a previous issue. Recommend consulting with the seller to determine any previous issues at these locations, and recommend cosmetic repair and further monitoring to help ensure no leaking is present.

Recommendation: Contact a qualified professional.

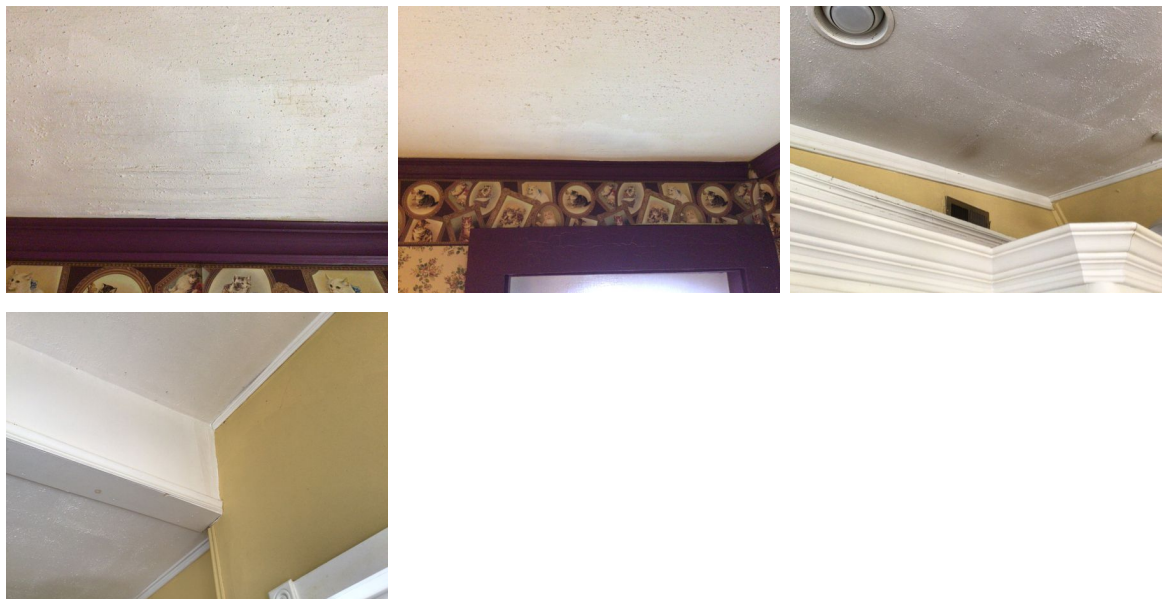
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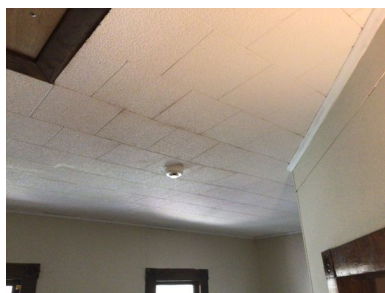


**3: Ceiling: Sagging Drywall**

[Maintenance Item](#)

Ceiling drywall sagged visibly at the time of the inspection. The exact cause was not determined, but this condition is typically caused by prior moisture damage. Further evaluation is recommended.

Recommendation: Contact a qualified professional.

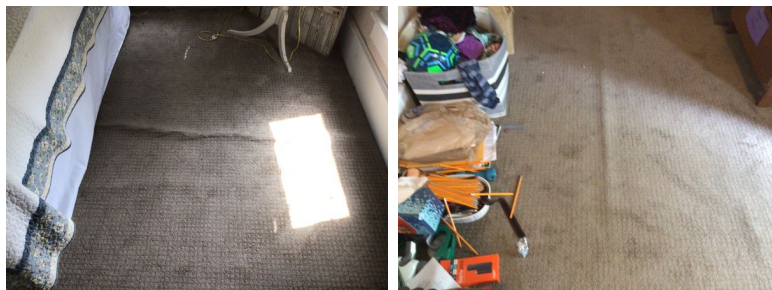


**4: Flooring: Buckled/Rippled Carpet**

[Maintenance Item](#)

Buckled or rippled carpet can be a trip hazard. Re-stretching by a qualified flooring contractor is recommended.

Recommendation: Contact a qualified professional.



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**5: Flooring: Tiles Cracked or Chipped**

 Maintenance Item

Floor tiles are cracked or chipped at various locations. Recommend you budget for repair or replacement as desired.

Recommendation: Contact a qualified flooring contractor

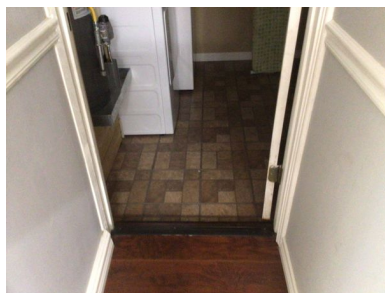


**6: Flooring: Flooring is Sloped**

 Recommendation

The flooring is noticeably sloped. This is common in aged, multi story structures and may be due to flooring installation, loosening of floor joists, typical settlement or an as built condition. See additional comments on foundation performance and other areas for additional detail if any.

Recommendation: Contact a qualified professional.



**7: Flooring: Squeaky Subflooring**

 Recommendation

The flooring on the second floor was observed to pop and squeak when walked on. Squeaky flooring is not uncommon and is usually caused by subflooring that is beginning to loosen from the joists. Recommend further evaluation and repair as needed.

Recommendation: Contact a qualified flooring contractor

**8: Floors: Minor Damage**

 Maintenance Item

Minor damage and scratches were observed to the flooring at multiple locations. Repair as needed.

Recommendation: Contact a qualified professional.

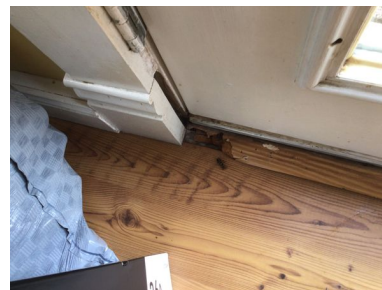
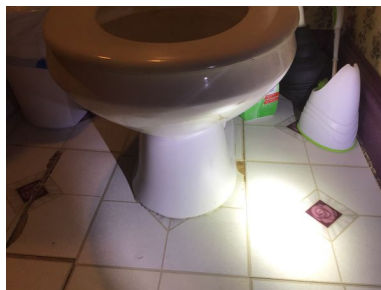
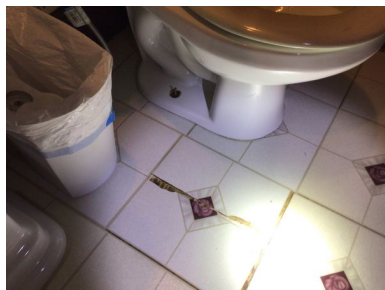
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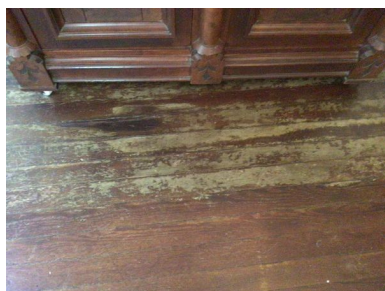
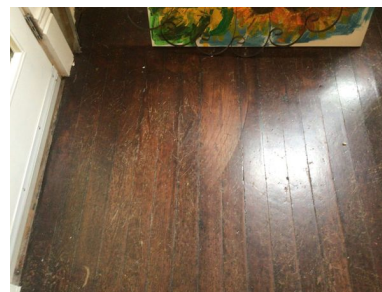
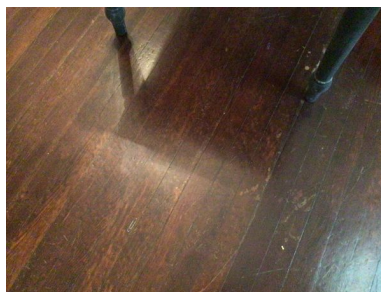
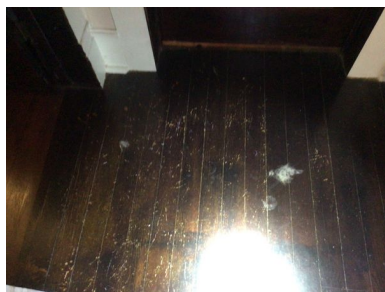


**9: Floors - Surface Damage**

**Recommendation**

Some areas of the flooring covering was observed having surface damage. Some of the top coat gloss is in need of repair or refinished. Recommend a qualified person to further evaluate and repair as needed.

Recommendation: Contact a qualified professional.

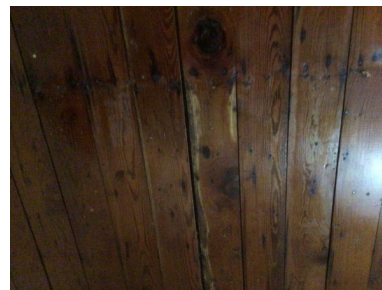
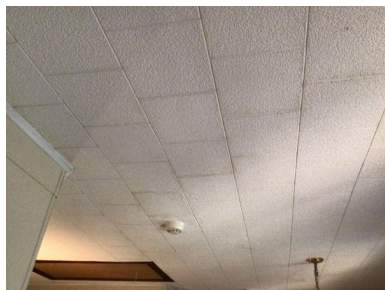


**10: Ceiling stains**

**Recommendation**

Inspector observed multiple areas where it appeared the ceiling was stained at the time of inspection. Recommend evaluation and correction.

Recommendation: Contact a qualified professional.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

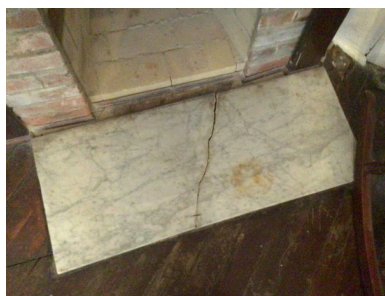


**11: Cracked tile hearth**

➡ Recommendation

Inspector observed what appeared to be a decorative tile hearth to be cracked at the time of inspection. Recommend evaluation and correction if desired.

Recommendation: Contact a qualified professional.



**G. Doors (Interior and Exterior)**

*Handyman/Carpenter recommended:*

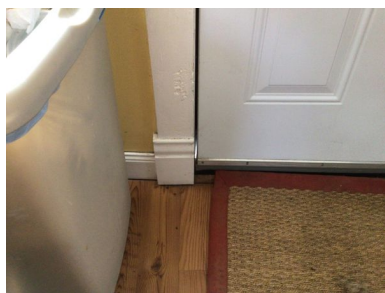
Several issues observed with the doors and related items at the time of inspection. Recommend you consult with a qualified contractor to evaluate further, determine the extent of necessary repairs, and perform the repairs.

**1: Exterior Door: Weatherstripping Missing or Damaged**

🔧 Maintenance Item

Multiple exterior doors showed damage or were missing its weatherstripping. Recommend installation or repair of standard weatherstripping to prevent energy loss and/or moisture intrusion.

Recommendation: Contact a qualified professional.



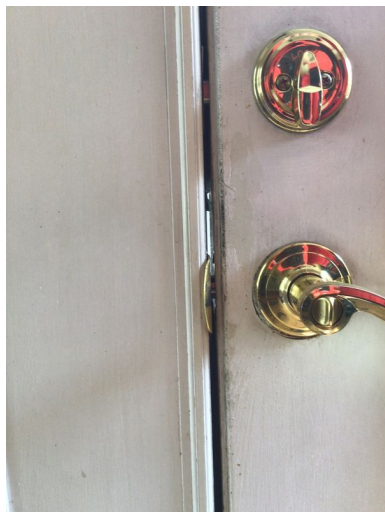
I=Inspected

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D=Deficient

I NI NP D



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**2: Exterior Door: Wood Rot at Base of Door**

🔴Recommendation

Breakfast nook

The inspector observed wood rot at the base of one or more exterior doors. Remedy as needed.

Recommendation: Contact a handyman or DIY project



---

**3: Door: Swings Open/Closes on its Own**

🔧Maintenance Item

Multiple

Observed one or more doors that swing open/closed by themselves. This can be caused by incorrect adjustment to the door framing or structural movement. Further evaluation and repair is recommended.

Recommendation: Contact a qualified professional.

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D=Deficient

I NI NP D



**4: Interior Door Hardware: Missing Handle**

Maintenance Item

The hardware for one or more doors around the home was loose. Repair as needed.

Recommendation: Contact a qualified professional.



**H. Windows**

*Windows obstructed:*

Inspection of the windows was limited due to furniture, stored items, or window coverings. Recommend further evaluation once access permits.

*Windows dirty:*

The windows were observed to be excessively dirty at the time of inspection. This condition can obscure potential issues, and proper cleaning may reveal hidden defects. Recommend cleaning and further evaluation as needed.

**1: Low Window Sill Height**

Safety Hazard

Window sill height for the upstairs windows were below 24 inches. Modern codes do not permit this window height as it can be a potential hazard for small children when windows are opened. Recommend safety locks or guarding be placed so that a child cannot open it more than 4 inches.

Recommendation: Contact a handyman or DIY project





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I	NI	NP	D
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## 2: Glass Cracked

▲Safety Hazard

The inspector observed sections of the window glass to be cracked at above stated locations. Recommend budgeting for replacement of these glass panes to avoid a potential hazard.

Recommendation: Contact a qualified window repair/installation contractor.



## 3: Aged windows

●Recommendation

Several of the windows on the home are the original units. Multiple windows were observed to be difficult to operate or lock and are in need of proper repair and maintenance to avoid further issues. Recommend further evaluation of all locations and proper maintenance as needed. Recommend you consider replacement if remodeling is going to be undertaken.

Recommendation: Contact a qualified window repair/installation contractor.



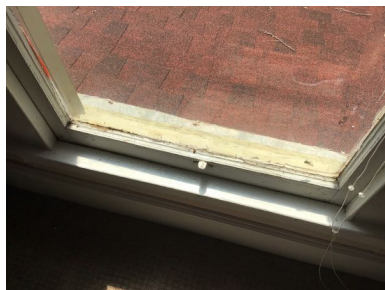
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NP=Not Present

D=Deficient

I NI NP D



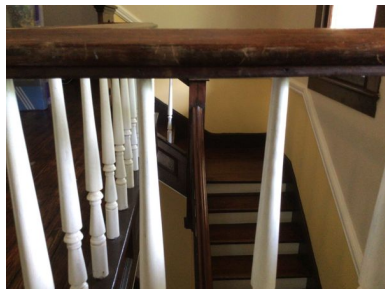
**I. Stairways (Interior and Exterior)**

**1: Baluster: Greater Than 4 inches**

**▲Safety Hazard**

Baluster spacing is greater than 4 inches. While this may have not been an issue when the home was constructed, modern building codes require that the space between balusters not be greater than 4 inches. **Recommend caution and considering repair to prevent injury to small children and pets.**

Recommendation: Contact a qualified carpenter.



**2: Loose stair tread**

**🟡Recommendation**

Inspector observed what appeared to be one of the stair treads to be loose at the time of inspection. Recommend evaluation and correction.

Recommendation: Contact a qualified professional.



**K. Porches, Balconies, Decks, and Carports**

*Wood deck obstructs inspection:*

I=Inspected

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NP=Not Present

D=Deficient

I NI NP D

The wood deck installed at the exterior of the home obstructs inspection of the foundation line at this location. Recommend you consider modification to allow for regular maintenance and inspection of the foundation line along this deck area.

**1: Porch/balcony multiple issues**

**▲Safety Hazard**

Inspector observed multiple issues with the porch/balcony areas including but not limited to decking rot, wood destroying insect damage, guard rails/handrails not meeting modern building standards, and deteriorated finish. Recommend evaluation and correction by qualified contractor to determine the extent of repairs necessary.

Recommendation: Contact a qualified professional.



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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**J. Fireplaces and Chimneys**

**L. Other**

**1: Note: previous subterranean termite treatment**

🔴 **Recommendation**

Note: A previous subterranean termite treatment has been performed on this property as indicated by the drill holes observed in the concrete around the foundation. Recommend you consult with the seller to try and obtain information on the extent of repairs and possible **warranty**.

Recommendation: Contact the seller for more info



**2: Subterranean termite monitoring stations**

🔧 **Maintenance Item**

Inspector observed termite monitoring stations around the perimeter of the foundation. Recommend consulting with the seller regarding these items to determine why the system was installed and if the system is currently being monitored or is under warranty. Recommend consulting with a qualified pest control to evaluate the system or removal as desired.

Recommendation: Contact the seller for more info

I=Inspected

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D=Deficient

I	NI	NP	D
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**3: Active termite infestation**

**Recommendation**

Inspector observed what appeared to be an active termite infestation in the front porch stairway handle at the time of inspection. Recommend evaluation and correction by qualified pest control company to determine the extent of repairs necessary.

Recommendation: Contact a qualified professional.



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D=Deficient

I	NI	NP	D
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## II. ELECTRICAL SYSTEMS

**A. Service Entrance and Panels**

*Main Disconnect/Service Box Type and Location:* Breakers-Exterior Wall, Sub-Panel -

•

*Service Entrance Cable Location:* Copper -

•

*Service Size:* 200 Amps, With sub panel -

•

*Photo of Panel:*



*Photo of Sub Panel:*



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I	NI	NP	D
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*Recommend Electrician:*

Recommend a licensed electrician to further evaluate and perform the necessary repairs.

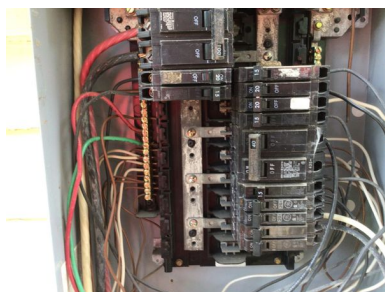
**1: Arc-Fault Safety Protection Missing**

**Recommendation**

Arc-fault safety protection was not installed for *all currently* required 15 and 20 amp circuits. While this protection may not have been required when this property was built, recommend you consider upgrading to satisfy modern code requirements and for safety reasons.

**Note:** This protection was required by the National Electric Code for homes built after 2008. The Texas Real Estate Commission recognizes that the building codes have not always required AFCIs, however the agency believes that it is important for consumers to be made aware of these safety devices when they are not present and functioning in a home as a consumer protection issue, and requires inspectors to comment regardless of the homes age.

Recommendation: Contact a qualified electrical contractor.

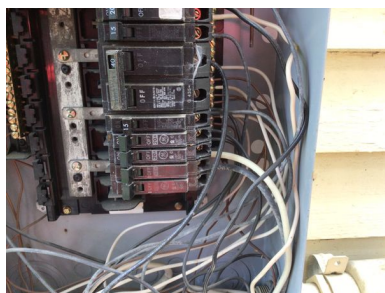


**2: White Wires not Marked**

**Recommendation**

White wires were observed connected to breakers. White wires are typically neutral but when they are connected to a breaker they become hot/live and should be marked as such. Recommend to have an electrician evaluate for remedy.

Recommendation: Contact a qualified professional.



**3: Double Lugged Neutral Wires**

**Maintenance Item**

Double lugged neutral wires were on the neutral bus bar inside the distribution panel. While this may have not been a requirement when the home was built, One neutral wire per lug is recommended. Remedy as needed.

I=Inspected

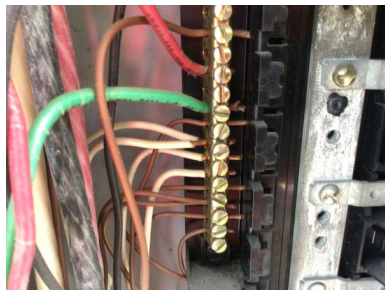
NI=Not Inspected

NP=Not Present

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Recommendation: Contact a qualified electrical contractor.



#### 4: Electrical Panel: Labeling

▲Safety Hazard

The circuits inside the panel are not fully/clearly labeled. Recommend correction.

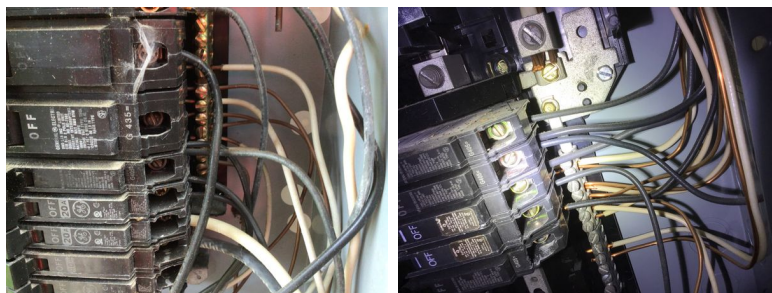
Recommendation: Contact a qualified electrical contractor.

#### 5: Double Lugged Breaker

⊖Recommendation

Two or more wires are attached to a single breaker. Most terminals are not designed for two wires, and is a poor installation practice. Further evaluation by an electrical contractor is recommended.

Recommendation: Contact a qualified electrical contractor.



#### 6: Missing filler plates

⊖Recommendation

Safety filler plates were missing from the panel cover. Evaluation and/or remedy by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.

#### 7: Sheathing Not Removed

⊖Recommendation

Current building standards allow for a maximum of 2 inches of wire sheathing to extend into the panel. Remedy as needed.

Recommendation: Contact a qualified professional.



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I	NI	NP	D
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**8: Improper Location**

🔴 Recommendation

Modern building practices do not allow electrical panels to be installed in areas such as clothes closets, bathrooms, pantries, or areas in which they are exposed to physical damage. Additionally shelves should not be installed in front of the panel that would prevent proper opening of the panel.

Recommendation: Contact a qualified electrical contractor.



**9: Gap in Conduit**

🔴 Recommendation

There was a gap in the conduit under the service meter. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



**10: Undersized Conductors**

🔴 Recommendation

One or more conductors appear to be undersized for the breakers that they are attached to. Evaluation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.

I=Inspected

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I NI NP D



**11: FPE (Federal Pacific Equipment) panel**

🚩Recommendation

The panel for this property is a brand called Federal Pacific Equipment or FPE. This panel brand has been proven to fail in overcurrent situation, and presents a potential fire hazard. I recommend you budget for replacement of this panel to avoid potential hazard. Consult with a qualified electrician to evaluate further.

For more information on these panels , go to [FPE Panels](#)

Recommendation: Contact a qualified electrical contractor.



**12: Surge Protection: Missing**

🚩Recommendation

Per NEC 230.67: As of 2020, a type 1 or 2 surge protection device must be installed and may be integrated into the main panel or adjacent to it.

*2020 Code Language: 230.67 Surge Protection.*

*(A) Surge-Protective Device. All services supplying dwelling units shall be provided with a surge-protective device (SPD).*

*(B) Location. The SPD shall be an integral part of the service equipment or shall be located immediately adjacent thereto.*

Recommendation: Contact your builder.

**13: 240v GFCI absent**

🚩Recommendation

I=Inspected

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D=Deficient

I	NI	NP	D
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Inspector observed no GFCI protection in place for the 240 V breaker that is serving the dryer plug in the laundry room. The recent changes to the 2020 NEC now require all plugs in wet areas (up to 250 V) to have GFCI protection.

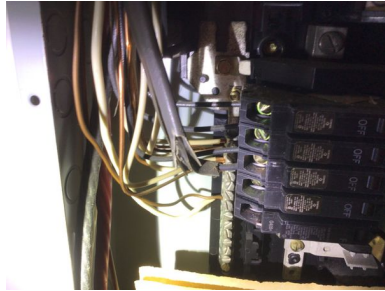
Recommendation: Contact your builder.

**14: Plastic sheathing**

🔴Recommendation

Inspector observed multiple wires with the plastic sheathing appeared to have been damaged or weathered at the time of inspection. Recommend evaluation and correction.

Recommendation: Contact a qualified professional.

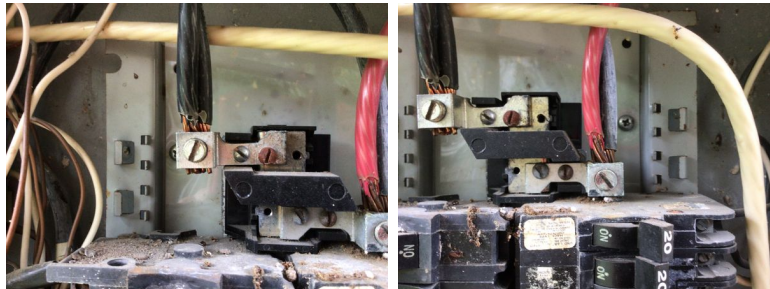


**15: Double lugged supply**

🔴Recommendation

Inspector observed what appeared to be supply wires that were double lugged at the time of inspection. Recommend evaluation and correction by qualified electrical contractor to determine the extent of repairs necessary.

Recommendation: Contact a qualified professional.



**16: Undersized service wires**

🔴Recommendation

Inspector observed what appeared to be undersized service wires at the time of inspection. Recommend evaluation and correction by qualified electrical contractor to determine the extent of repairs necessary.

Recommendation: Contact a qualified professional.

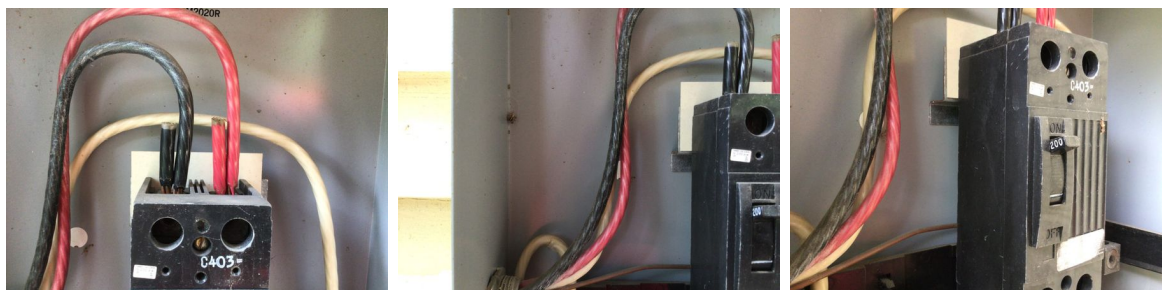
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I NI NP D



**B. Branch Circuits, Connected Devices, and Fixtures**

*Type of Wiring:* Copper

*Electrician needed:*

Multiple issues observed with the branch wiring and fixtures for the property. Recommend consulting with a qualified electrician to evaluate further and determine the extent of necessary repairs.

*Inspection limited:*

Inspection of outlets, switches and accessory connections was limited due to concealment behind furniture/storage or child proofing.

*Restriction the receptacles:*

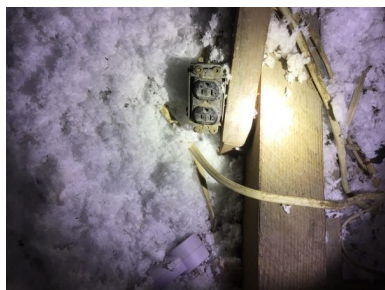
Not all receptacles were accessible due to usage or furniture locations.

**1: Cover Plates:Missing**

🚫 Recommendation

One or more switches/receptacles are missing a cover plate. Recommend correction as needed to avoid potential hazard.

Recommendation: Contact a qualified electrical contractor.



**2: Outlets: No GFCI Protection**

⚠️ Safety Hazard

Multiple

No GFCI protection was observed at the required locations. Repair as needed for safety purposes as all electrical outlets within 6 feet of water source should be GFCI protected.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation: Contact a qualified electrical contractor.

I=Inspected

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I NI NP D



**3: Outlets: Missing Weather Cover**

🔴Recommendation

All exterior outlets should have a weatherproof cover installed to prevent moisture penetration. Recommend to have an electrician evaluate for remedy.

Recommendation: Contact a qualified professional.

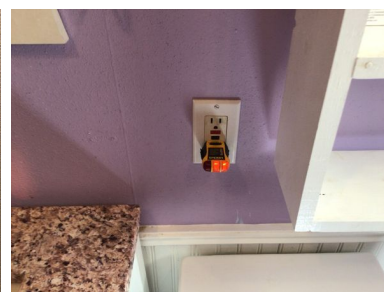
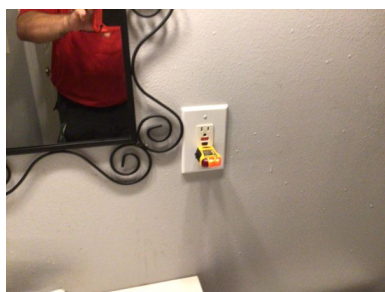


**4: Outlets: GFCI failed to trip**

🔴Recommendation

One or more of the GFCI outlets installed for the home failed to trip when tested. This is indicative of an issue with the device and I recommend correction.

Recommendation: Contact a qualified electrical contractor.



**5: Outlet: Hot / Neutral Reversed**

🔴Recommendation

The hot and neutral wires are reversed on the outlet. Recommend to have an electrician evaluate and remedy.

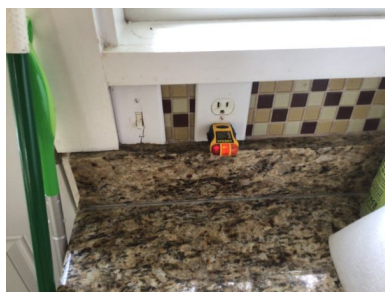
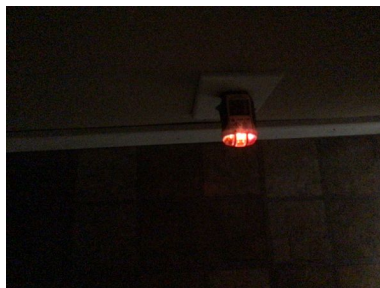
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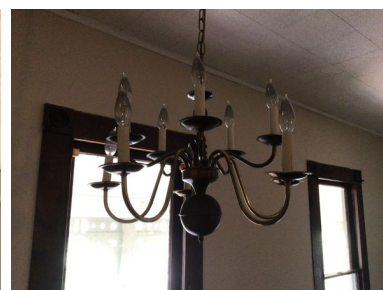


**6: Light: Inoperable**

🔴Recommendation

One or more light fixtures around the home did not function, possibly bulb related. Correct as needed.

Recommendation: Contact a qualified electrical contractor.



**7: Wiring: Exposed Ends & Splices**

🔴Recommendation

All wire connections & charged wires with exposed ends and splices should be covered in junction boxes for safety. Recommend a qualified electrician correct.

Recommendation: Contact a qualified electrical contractor.



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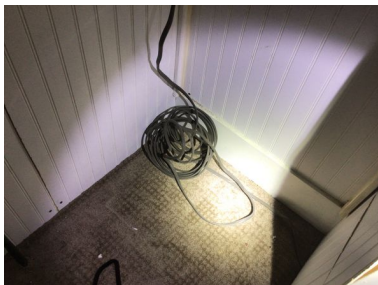
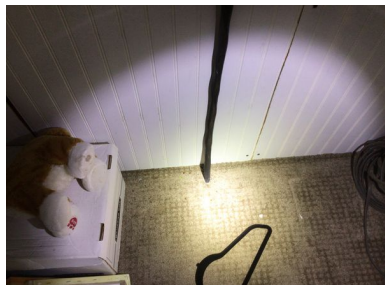
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**8: Wiring: Improper Wiring**

🔴Recommendation

Improper wiring was observed at the time of inspection. Recommend a licensed electrician evaluate and repair.

Recommendation: Contact a qualified electrical contractor.



**9: Wiring: Extension cord for fixed wiring**

⚠️Safety Hazard

Extension cord is being used as fixed or permanent wiring for some of the circuits. Extension cord is not approved for use as fixed wiring or with permanent loads. Recommend further evaluation and correction as needed.

Recommendation: Contact a qualified electrical contractor.



**10: Wiring: Romex is Exposed**

🔴Recommendation

Crawlspace

Romex is exposed and subject to physical damage. Install behind walls or inside conduit for safety. Recommend further evaluation by an electrician is recommended.

Recommendation: Contact a qualified electrical contractor.

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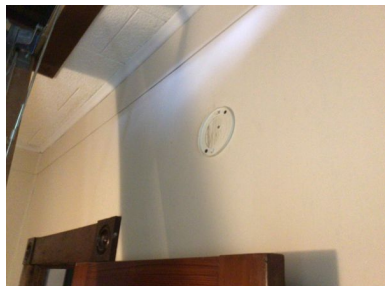
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**11: Smoke Alarms: Missing**

🚫Recommendation

The inspector observed one or more smoke alarms missing in the home. Evaluate and replace as needed.

Recommendation: Contact a qualified professional.



**12: No kitchen island outlet**

🚫Recommendation

No outlet was observed to be in place serving the countertop area for the kitchen island. Building code does require a minimum of one outlet to be serving the kitchen island countertop space. Recommend correction as desired.

Recommendation: Contact a qualified electrical contractor.



**13: Number of Outlets**

🚫Recommendation

There are only two outlets observed for the kitchen countertop. Kitchen countertop receptacles should be spaced minimum 24 inches apart and also be GFCI protected. Recommend a licensed electrician to further evaluate and repair as needed.

Recommendation: Contact a qualified professional.



**14: Missing attic light**

🚫Recommendation

No light observed in the attic space above the garage area. All accessible areas of attic space are required to have a proper light. Consult with the builder to correct as needed.



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I NI NP D

Note: The NEC (National Electrical Code) specifies at 210.70(A)(3) that any “attics, underfloor spaces, utility rooms, and basements” have at least one lighting outlet, but only “where these spaces are used for storage or contain equipment requiring servicing.” We suppose it is open to interpretation by the local building inspector whether a particular attic is, or could be, used for storage. But most attics have a light located inside at least one of the attic access openings.

Recommendation: Contact your builder.

**15: Outlet:Blocked By Paint**

🔴Recommendation

The sockets of the multiple outlets throughout the property were observed to be blocked/clogged by paint. Recommend correction and/or replacement by licensed electricians.

Recommendation: Contact a qualified electrical contractor.

**16: Outlet issue**

🔴Recommendation

Inspector observed what appeared to be a 220 outlet on the exterior of the home to be quite dirty at the time of inspection. Recommend evaluation and correction by qualified electrical contractor.

Recommendation: Contact a qualified professional.



C. Other

I=Inspected

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D=Deficient

I	NI	NP	D
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### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

- A. Heating Equipment**  
*Type of Systems:* Gas-Fired Heat  
*Energy Sources:* Natural Gas

**1: Inoperable**

**⊖ Recommendation**

Heating element was inoperable at time of inspection. Recommend qualified HVAC professional evaluate & ensure functionality.

Recommendation: Contact a qualified HVAC professional.



- B. Cooling Equipment**  
*Type of Systems:* Window AC  
*A/C window units not inspected:*  
Items are not within our scope of practice.

- C. Duct Systems, Chases, and Vents**

- D. Other**

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I NI NP D

### IV. PLUMBING SYSTEMS

**A. Plumbing Supply, Distribution Systems, and Fixtures**

*Location of Water Meter:* Not determined

*Location of Main Water Supply Valve :* Exterior wall- Rear



*Static Water Pressure Reading:* 50-55 PSI -

•

*Type of Supply Piping Material:* PVC

*Type of Piping:::* Copper, PEX

*Plumbing Repairs Needed:*

Several issues were observed in relation to the plumbing distribution and fixtures throughout the property. Recommend consulting with a qualified plumber to evaluate conditions further and determine the extent of necessary repairs.

*Plumbing in Vacant Houses:*

It is not uncommon for plumbing seals (gaskets, commode seals, etc.) to dry out when a property is vacant for an extended period of time. These dried out seals may crack and leak after a short period of time when placed back in service. If the property has been vacant, monitoring is recommended. The inspector can only observe the conditions at the time of the inspection.

*No Plumbing Access:*

There was not an access panel at one or more bathrooms to observe bath drain lines.

**1: Hose Bibb (outdoor faucet): Backflow Prevention Missing**

[Maintenance Item](#)

One or more hose bibb(s) Missing a backflow preventer. These devices are inexpensive, easily installed and help prevent contamination of potable water. Repair as needed.

Recommendation: Contact a handyman or DIY project



**2: Toilet: Not Secure to the Floor**

[Maintenance Item](#)

I=Inspected

NI=Not Inspected

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D=Deficient

I NI NP D

The toilet was not fastened securely to the floor. This can cause a leak in between the wax seal and the pipe. Remedy as needed.

Recommendation: Contact a qualified plumbing contractor.



**3: Sink: Drain Stop Ineffective**

Maintenance Item

The drain stop in the sink is ineffective and will not function properly . Remedy as needed.

Recommendation: Contact a handyman or DIY project

**4: Plumbing Insulation**

Recommendation

Plumbing insulation repairs were needed at the main shut off at the time of the inspection. Recommend a qualified person to repair as needed.

Recommendation: Contact a qualified professional.



**B. Drains, Wastes, and Vents**

Type of Piping:: PVC, Cast Iron

Type of Drain Piping Material: PVC

Recommend plumber:

Several issues observed with the condition of the plumbing drains throughout the home. Recommend consulting with a qualified, licensed plumber to evaluate these conditions further and determine the extent of necessary repairs.

No Access to Drains:

No access was present to view the drain lines for the bathroom tubs. Recommend an access be added to allow for regular maintenance and inspection.

Drain inspection limited - Items under sinks:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Note: Inspection of the drain assemblies under the sinks were severely limited due to excessive amounts of stored items at the time of inspection. Recommend further evaluation of these locations once items are removed. Removal of these items may reveal hidden defects.

*Crawlspace access:*

Inspector was unable to fully evaluate the draining/plumbing underneath the home due to issues with the crawlspace at the time of inspection.

**1: Hydro Test/Scope: Age**

☹️Recommendation

Hydrostatic testing and/or scoping of the latent plumbing drain lines under the house is recommended due to the age and type of materials currently installed. Recommend further evaluation by a plumbing contractor.

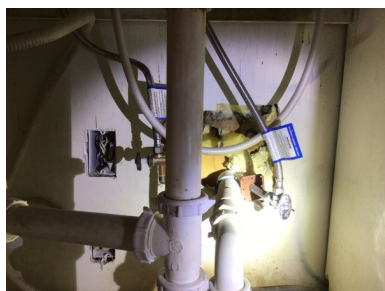
Recommendation: Contact a qualified plumbing contractor.

**2: Escutchen Plate Missing/ Damaged**

☹️Recommendation

Wall penetration coverings under sinks were noted to be missing or damaged in one or more locations. Recommend repair to prevent pest or moisture intrusion into unwanted areas.

Recommendation: Contact a qualified professional.



**3: Standing water in cleanout**

☹️Recommendation

Inspector observed what appeared to be standing water about two or three inches deep in the clean out at the time of inspection. This indicates that there is an issue with the main drain line, as this area of the drain should not have standing water. Recommend evaluation and correction by a qualified plumbing contractor to determine the extent of repairs necessary.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



#### 4: Vent support

##### 🔴 Recommendation

Inspector observed what appeared to be improper vent support on the rear of the home at the time of inspection. Recommend evaluation and correction.

Recommendation: Contact a qualified professional.



**C. Water Heating Equipment**

*Energy Sources:* Natural gas

*Capacity:* 40 Gallons -

•

*Location:* Utility Room -

•

*Data label:*

Rheem - 2019

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



**D. Hydro-Massage Therapy Equipment**

**E. Gas Distribution Systems and Gas Appliances**

*Location of Gas Meter: Exterior Wall*

*Type of Gas Distribution Piping Material: Stainless Steel*

**1: Uncapped gas line**

**Recommendation**

Inspector observed what appeared to be uncapped gas lines inside the property at the time of inspection. Recommend evaluation and correction.

Recommendation: Contact a qualified professional.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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## V. APPLIANCES

**A. Dishwashers**

*Photos:*



**B. Food Waste Disposers**

*Photos:*



**C. Range Hood and Exhaust Systems**

*Photos:*



**1: Greasy Kitchen Filter**

[Maintenance Item](#)

Grease build up was observed on the exhaust filter. Recommend to clean or replace.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Recommendation: Contact a qualified professional.

**2: Exhaust Light is Out**

 Maintenance Item

The range hood light did not function, it appears to be bulb related. Repair as needed.

Recommendation: Contact a qualified professional.

**3: Missing Filter**

 Maintenance Item

Exhaust filter is missing. Remedy as needed.

Recommendation: Contact a qualified professional.



**D. Ranges, Cooktops, and Ovens**

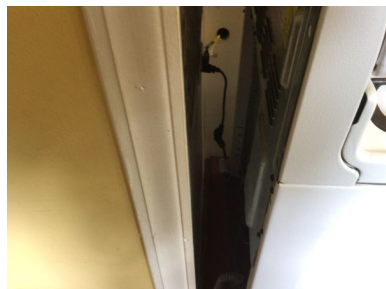
*Photos:*



**1: Anti-Tip Device Missing**

 Recommendation

The oven should have an anti-tip device installed for the rear legs of the cook top to prevent it from tipping over when the door is open. Repair as needed for safety purposes.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

**2: Gas Flame Not Fully Igniting**

**Recommendation**

May be caused by dirty or clogged gas vents. Recommend cleaning. If not effective, evaluation and repair.

Recommendation: Contact a qualified appliance repair professional.



**E. Microwave Ovens**

*Microwave was performing as intended at the time of the inspection.:*



**F. Mechanical Exhaust Vents and Bathroom Heaters**

**G. Garage Door Operators**

**H. Dryer Exhaust Systems**

**1: Cleaning Vent Recommended**

**Maintenance Item**

Cleaning of the dryer vent line is recommended as normal maintenance to prevent lint build up in line.

Recommendation: Contact a qualified professional.



**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
----------	-----------	-----------	----------

## TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Rule 57.176 Requires this department prescribed form to be used for real estate transactions in Texas regarding the visible presence or absence of wood destroying insects and conditions conducive to infestations of wood destroying insects.

404 S Beaugard St

Inspected Address

Alvin

City

77511

Zip Code

### SCOPE OF INSPECTION

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). **Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.**
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. **The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment; has rendered the pest(s) inactive.**
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.**
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). The warranty should specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Service of the Texas Department of Agriculture.

404 S Beaugard St

Alvin

77511

Inspected Address

City

Zip Code

1A. Life After Bugs LLC 1B. 0691524  
 Name of Inspection Company SPCS Business License Number

1C. 2006 Thompsons Rd. #205 Richmond Tx 77469 832-643-9724  
 Address of Inspection Company City State Zip Telephone No.

1D. Timothy Jones 1E. Certified Applicator  (check one)  
 Name of Inspector (Please Print) Technician

1F. 05/13/2022  
 Inspection Date

2. Angela Poole Seller  Agent  Buyer  Management Co.  Other  N/A  
 Name of Person Purchasing Inspection

3. Owner of Record  
 Owner/Seller

4. REPORT FORWARDED TO: Title Company or Mortgagee  Purchaser of Service  Seller  Agent  Buyer   
 (Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Department of Agriculture Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

5A. Residence, Detached Garage  
 List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection)

5B. Type of Construction:  
 Foundation: Slab  Pier & Beam  Pier Type: Brick/ Cinder Basement  Other  N/A Crawlspace   
 Siding: Wood  Fiber Cement Board  Brick  Stone  Stucco  Other  Masonite  Vinyl Siding  Metal   
 Roof: Composition  Wood Shingle  Metal  Tile  Other  N/A

6A. This company has treated or is treating the structure for the following wood destroying insects: N/A  
 If treating for subterranean termites, the treatment was: Partial  Spot  Bait  Other   
 If treating for drywood termites or related insects, the treatment was: Full  Limited

6B. N/A N/A N/A  
 Date of Treatment by Inspecting Company Common Name of Insect Name of Pesticide, Bait or Other Method

This company has a contract or warranty in effect for control of the following wood destroying insects:  
 Yes  No  List Insects: N/A  
**If "Yes", copy(ies) of warranty and treatment diagram must be attached.**

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the purchase or sale of this property. I do further state that neither I nor the company for which I am acting is associated in any way with any party to this real estate transaction.

Signatures:   
 7A. 0859949  
 Inspector (Technician or Certified Applicator Name and License Number)

Others Present:  
 7B. N/A  
 Apprentices, Technicians, or Certified Applicators Name(s) and Registration/License Number(s)

Notice of Inspection Was Posted At or Near:  
 8A. Electric Breaker Box   
 Water Heater Closet   
 Beneath the Kitchen Sink   
 8B. Date Posted: 05/13/2022

9A. Were any areas of the property obstructed or inaccessible? Yes  No   
 (Refer to Part B & C, Scope of Inspection) If "Yes" specify in 9B.

9B. The obstructed or inaccessible areas include but are not limited to the following:  
 Attic  Insulated area of attic  Plumbing Areas  Planter box abutting structure   
 Deck  Sub Floors  Slab Joints  Craw Space   
 Soil Grade Too High  Heavy Foliage  Eaves  Weepholes   
 Limited Exterior Accessibility  High Water  Tall Grass  Limited Attic Access   
 Zero Lot Line      
 Other  Specify: Furniture/Storage, Stored Materials, Wooden Stairs, Paint

10A. Conditions conducive to wood destroying insect infestation: Yes  No   
 (Refer to Part J, Scope of Inspection) If "Yes" specify in 10B.

10B. Conducive Conditions include but are not limited to:  
 Wood to Ground Contact (G)  Formboards left in place (I)  Excessive Moisture (J)   
 Debris under or around structure (K)  Footing too low or soil line too high (L)  Wood Rot (M)  Structure (Q)   
 Heavy Foliage (N)  Planter box abutting structure (O)  Wooden Fence in Contact with the Structure (R)   
 Insufficient ventilation (T)   
 Other (C)   
 Corner pops  N/A   
 Specify: \_\_\_\_\_

404 S Beauregard St

Alvin

77511

Inspected Address

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- 11. Inspection Reveals Visible Evidence in or on the structure:
- 11A.Subterranean Termites
- 11B.Drywood Termites
- 11C.Formosan Termites
- 11D.Carpenter Ants
- 11E.Other Wood Destroying Insects

- Active Infestation
- Yes  No
- Yes  No
- Yes  No
- Yes  No
- Yes  No

- Previous Infestation
- Yes  No
- Yes  No
- Yes  No
- Yes  No
- Yes  No

- Previous Treatment
- Yes  No
- Yes  No
- Yes  No
- Yes  No
- Yes  No

Specify:

11F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified:

Monitoring/bait stations

11G. Visible evidence of: Visually confirmed presence of termites. has been observed in the following areas: Front porch stair railing.

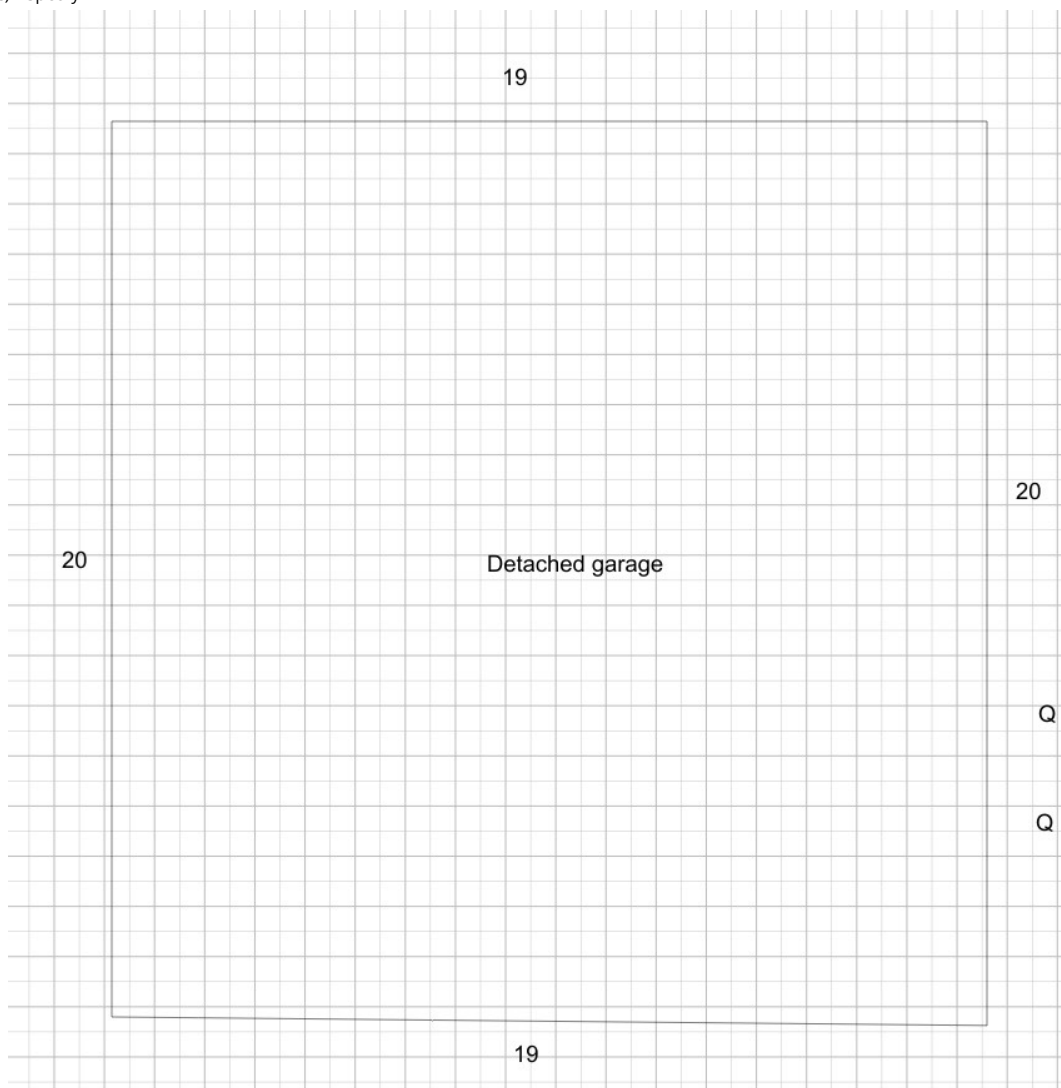
If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed in the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

12A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment as identified in Section 11. (Refer to Part G, H, and I, Scope of Inspection) Yes  No

12B. A preventive treatment and/or correction of conducive conditions as identified in 10A & 10B is recommended as follows: Yes  No   
Specify reason: Conductive Conditions ( See Graph), Wood rot, Prior WDI Damage  
Refer to Scope of Inspection Part]

Diagram of Structure(s) Inspected

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E-Evidence of Infestation, A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conductive Conditions; B-Wood Boring Beetles; H-Carpenter Ants; Other(s) - Specify



Additional Comments \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**404 S Beauregard St**

Inspected Address

**Alvin**

City

**77511**

Zip Code

**Statement of Purchaser**

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: \_\_\_\_\_

Signature of Purchaser of Property or their Designee

Date

Customer or Designee Not present

**Buyer's Initials** \_\_\_\_\_

Alvin Pest Control  
Post Office Box 790  
Alvin, TX 77512-0790  
281-331-0126

# INVOICE / Inspection Report

**ORDER #: 171108**

WORK DATE: 05/19/2022

**BILL-TO**                    **106631**

**LOCATION**                    **106631**

**Time In:**                    5/19/2022 2:00:34 PM  
**Time Out:**                  5/19/2022 2:11:38 PM

**Customer Signature**

Angie Poole  
404 S Beauregard St  
Alvin, TX 77511-2721

Angie Poole  
404 S Beauregard St  
Alvin, TX 77511-2721

Phone:                    832-748-1040 xcell

Phone:                    832-748-1040 xMsCel  
Mobile:                   832-748-1040 xMsCel

Customer is unavailable to sign  
**Technician Signature**



Jackie Thornton  
**License #:**                0562707

Purchase Order	Terms	Service Description	Quantity	Amount	
None	AUTO DRAFT	Sentricon AA System Recheck	1.00	0.00	
				<b>Subtotal</b>	0.00
				<b>Tax</b>	0.00
				<b>Total Due:</b>	<b>0.00</b>

## TECHNICIANS

Jackie Thornton

License #:  
0562707

## GENERAL COMMENTS / INSTRUCTIONS

Inspected front support post for stair railing and found wood rot in post. Found no visible termite activity.  
\* Customer stated there are active termites on front porch stairway handle. Please inspect.  
\* Confirmed w/Ms. Poole.

CONDITIONS / OBSERVATIONS	Reported	Severity	Responsibility	Reviewed
None Noted.				

## PRODUCTS APPLICATION SUMMARY

None Noted.

PEST ACTIVITY	# Areas	# Devices	Pest Totals
None Noted.			

## DEVICE INSPECTION SUMMARY

Device Type	# Inspected	Inspected w/Activity	# Skipped	# Replaced
Inground Station	0 of 26 (0.00%)	0 of 0 (0.00%)	0	0
<b>-Totals:</b>	0 of 26 (0.00%)	0 of 0 (0.00%)	0	0

## AREA COMMENTS

Alvin Pest Control is licensed and regulated by the Texas Department of Agriculture, P.O. Box 12847, Austin TX 78711-2847, PH (866) 918-4481, Fax (888) 232-2567. For a copy of the Consumer Information Sheet see our website at [www.alvinpestcontrol.com](http://www.alvinpestcontrol.com)



**ORDER #: 171108**

WORK DATE: 05/19/2022

**AREA COMMENTS**

*None Noted.*

**DEVICE INSPECTION EXCEPTIONS**

*None Noted.*

**INSPECTION DETAIL**

Area	Time	Type	Status	Pest Findings
Home Exterior	2:10:12 PM	Area	No Activity	

**PRODUCTS APPLIED**

*None Noted.*