

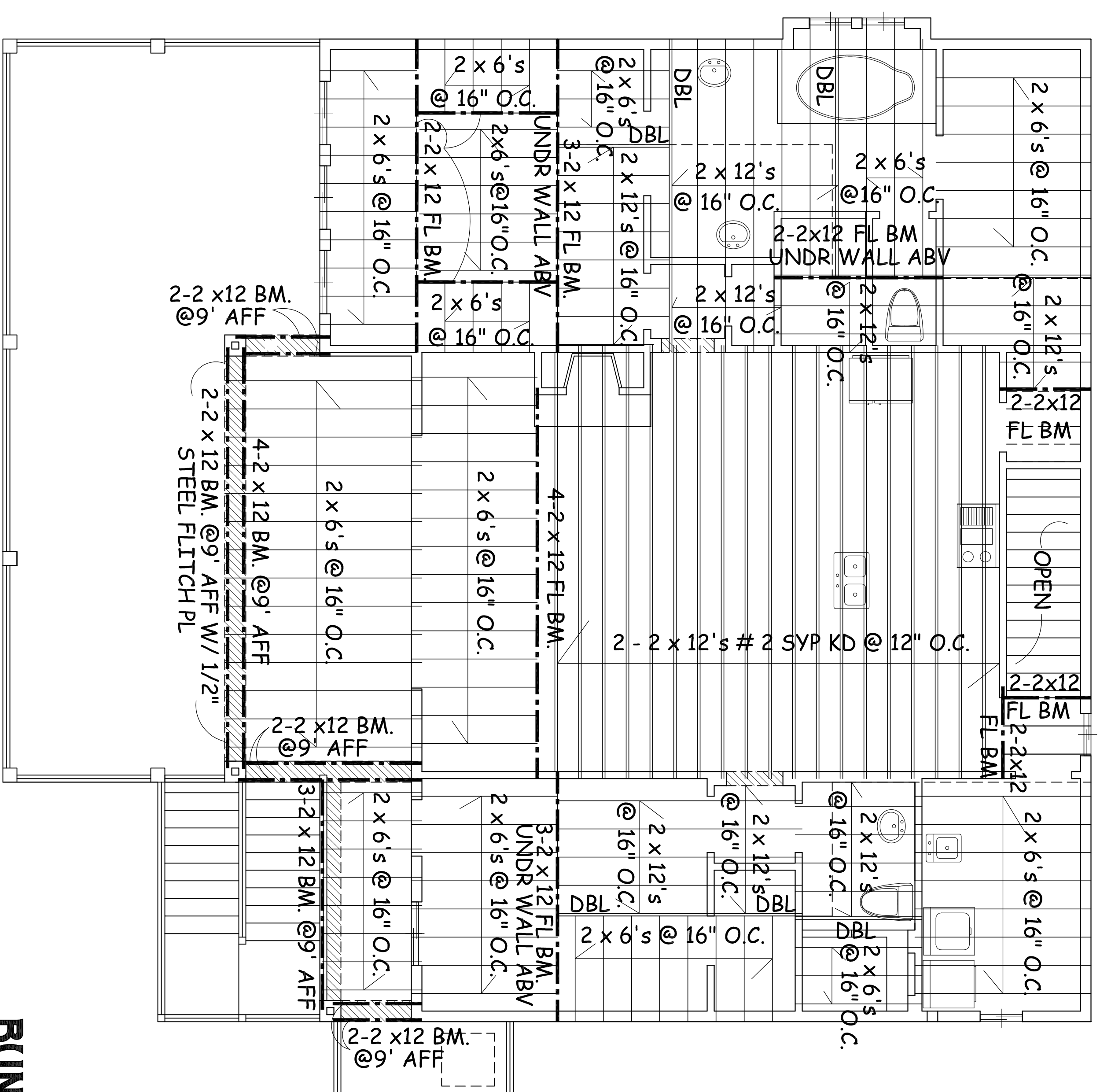
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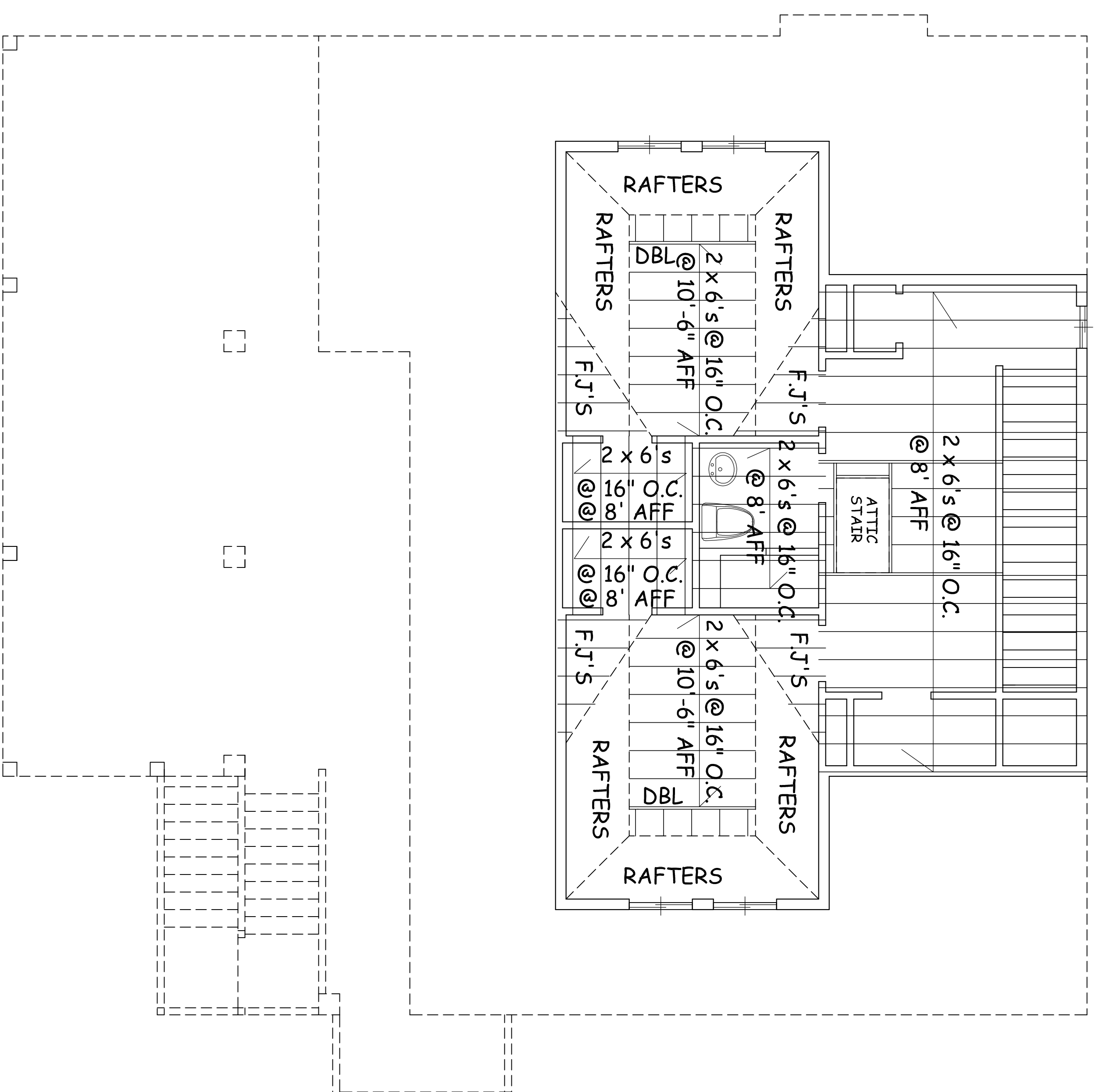
BUNKER HILL DESIGN p.l.c.
9121 ELIZABETH ST., SUITE 108
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DRAWN BY: MTS
PLAN 2250

SCALE: AS NOTED
SHEET A16



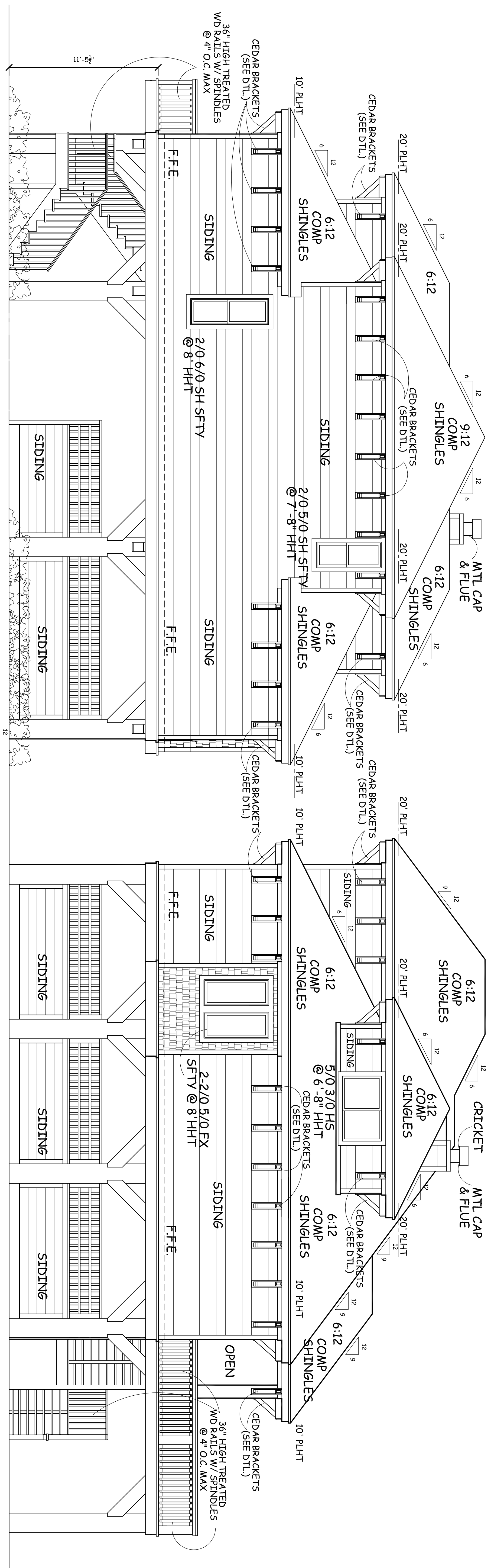
FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- Notation Schedule:**
- Joist to sill or girder, toe nail (3-8d) (2-8d)
 - Bridging to joist, toe nail each end (2-8d) (2-8d)
 - 2x6 subfloor or less to each joist, face nail (2-8d)
 - 2x6 subfloor over 2x6 joist, face nail (2-16d)
 - 2" subfloor to joist or girder, blind and face nail (2-16d)
 - 2" subfloor to joist or girder, blind and face nail (2-16d)
 - Stud to sole plate, toe nail (4-8d)
 - Double studs, face nail (16d @ 2x6 o.c.) (2-16d)
 - Double studs, face nail (16d @ 16" o.c.) (2-16d)
 - Top plates, tops and intersections, face nail (2-16d)
 - Continuous header, two pieces (16d @ 16" o.c.) (2-16d)
 - Ceiling joist to plate, toe nail each edge (4-8d)
 - Continuous header to stud, toe nail (2-16d)
 - Ceiling joist, tops over partitions, toe nail (3-16d)
 - Ceiling joist, tops over joists, toe nail (3-16d)
 - 1" brace to each stud and plate, face nail (2-8d)
 - 1" brace to each stud and plate, face nail (2-8d)
 - Wider than 2" x 8" sheathing to each bearing, face nail (3-8d)
 - Built-up corner studs (16d @ 2x6 o.c.) (2-16d)
 - Built-up girder and beam (16d @ 2x6 o.c.) (2-16d)
 - 2" plates at each splice (2-16d @ each bearing)
 - 2" plates (2-16d @ each bearing)
 - Wall sheathing (to frame) (8d)
 - Plywood roof and wall sheathing (to framing):
1/2" and less (6d)
5/8" - 3/4" (8d common or 6d)
1/2" and less (6d)
1/2" - 1/4" (10d or 8d)
1/2" - 1/4" (8d)
1/2" - 1/4" (8d)
 - Combine subfloor underlayment (to framing):
7/8" - 1/2" (8d)
1/2" - 1/4" (8d)
1/2" - 1/4" (8d)
 - 1/2" (No. 1699)
1/2" (No. 1199)
1/2" (No. 1699)
1/2" (No. 1699)

- Framing Notes:**
1. Framing material (unless noted otherwise).
 - a. Floor joists, ceiling joists, roof rafters, door and window headers.
F7x1 - 85 psi
E = 1,500,000 psi
Southern Yellow Pine No. 34d
 - b. All beams
F7b1 - 1300 psi
E = 1,600,000 psi
Southern Yellow Pine No. 24d
 2. Window and door headers 6" and under can be fir.
 3. Studs supporting roof and ceiling only to be 2x4" o.c.
 4. Studs supporting roof, ceiling and floor to be 16" o.c.
 5. All rafters to be 2x6 @ 16" o.c., unless noted otherwise.
 6. Maximum unsupported length to be 7'-11", unless noted otherwise.
 7. Ridges and hips not to be cut from lumber with a depth less than the cut of the rafters.
 8. Joists to be 2x6 @ 19.2" o.c., unless noted otherwise.
 9. Second floor framing @ 6" o.c., unless noted otherwise.
 10. Studs supporting roof and ceiling to be 2x4" o.c. between joist or sit on joist.
 11. Joists to have solid or diagonal bridging at intervals not exceeding 10'.
 12. Second floor walls running parallel to floor joists to have blocking @ 24" o.c. between joist or sit on joist.
 13. Show a continuous header over front doors and sideights in two story entries.
 14. Show a continuous header over front doors and sideights in two story entries.
 15. Show a continuous header over front doors and sideights in two story entries.
 16. Show a continuous header over front doors and sideights in two story entries.
 17. Reference standard detail sheet for cornice and brick accent details.



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

WEST ELEVATION

SCALE: 1/4" = 1'-0"

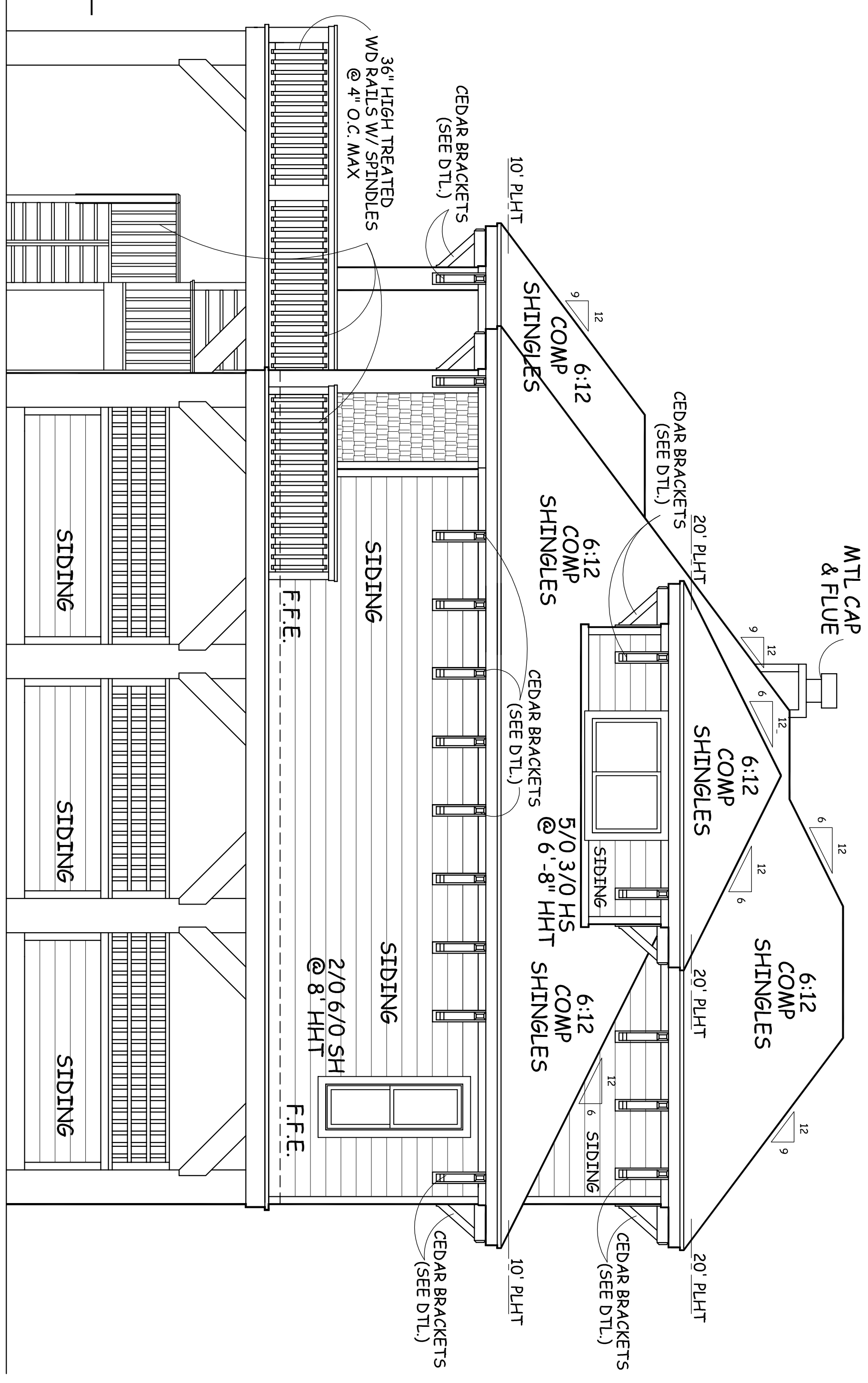
Exterior windows adjacent to the exterior finish grade w/ more than 72" difference in elevation from window opening to stud finish grade, must have sills to sit least 24" above the floor of the room (As per 2012 IRC R013.2).

NOTE:
GUARDRAILS AND HANDRAILS TO COMPLY WITH 2012 IRC TABLE 301.4 - 36" HIGH RAILS W/ BALUSTERS @ 4" O.C. MAX. MUST WITHSTAND MIN. UNIFORMLY DIST. 200 LBS. PER SQ. FT. LIVE LOADS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE GUARDRAIL OR HANDRAIL.

NOTE:
ALL SECOND FLOOR ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL BE AT LEAST 20" ABOVE FINISH GRADE. THE NET CLEAR WIDTH OPENING SHALL BE NOT LESS THAN 20". CLEAR HEIGHT OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQ. FT. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

EAST ELEVATION

SCALE: 1/4" = 1'-0"



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DATE: 11/01/14
REVISION:

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DRAWN BY: MTS
PLAN SHEET: 2250

SCALE: AS NOTED
SHEET: A15

DATE: 11/01/14
REVISION:

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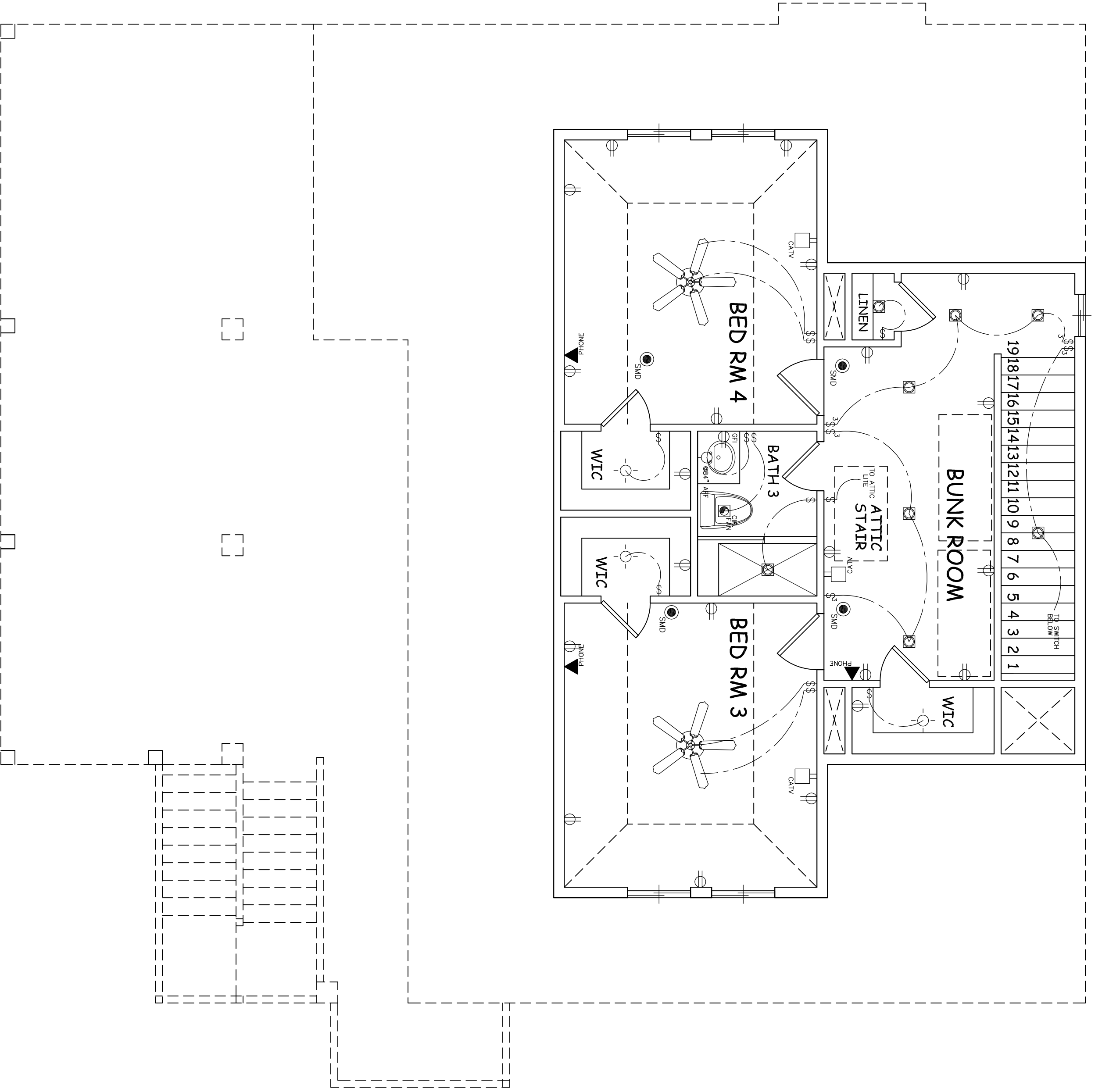
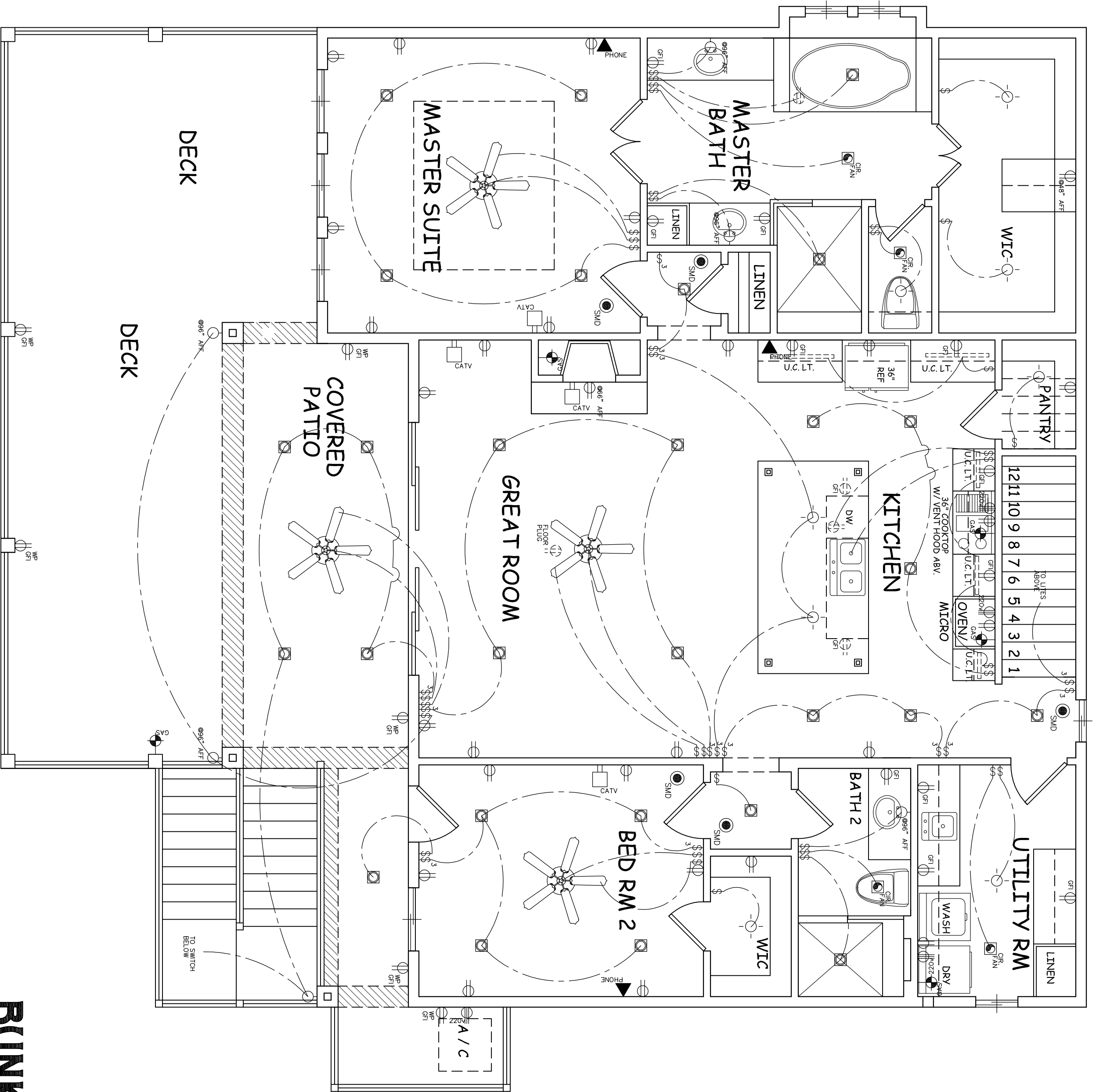
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DRAWN BY: **MTS**
PLAN: **2250**

SCALE: **AS NOTED**
SHEET: **A4**

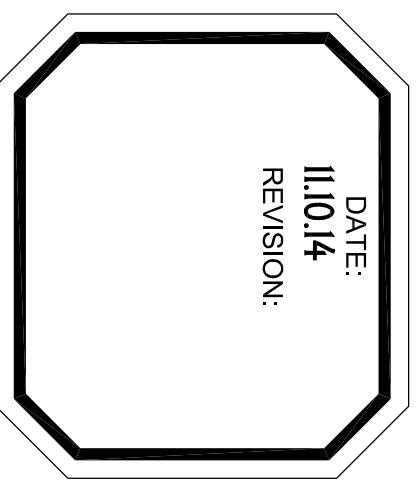
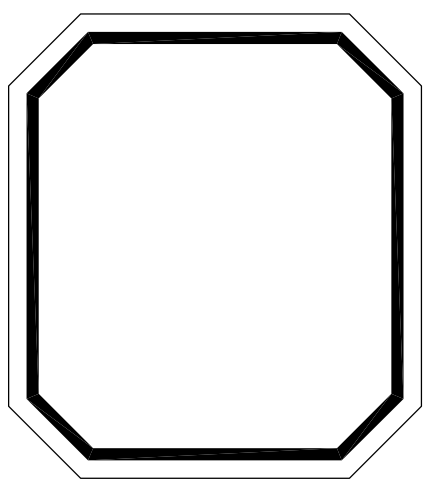
ELECTRIC LEGEND	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	120 VOLT RECEPTACLE
	SURFACE MOUNTED LIGHT
	CIRCULATION FAN
	CABLE TV OUTLET
	SMOKE DETECTOR
	TELEPHONE RECEPTACLE
	DOOR BELL
	6AS OUTLET
	250V OUTLET
	WALL MOUNT FIXTURE
	RECESSED LIGHT FIXTURE
	EGRESS LIGHT
	MASTER BEDROOM RECEPTACLE
	CEILING FAN W/LIGHT

- ELECTRICAL NOTES:**
- ELECTRICAL INSTALLATION TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE - NFPA-70
 - THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ELECTRICAL PERMITS AND INSPECTION.
 - CONVENIENCE RECEPTACLE - MOUNT AT 12" A.F.F. UNLESS NOTED OTHERWISE.
 - MICROWAVE-OPEN TO HAVE SEPARATE 20AMP SINGLE RECEPTACLE AT 78" A.F.F.
 - BATHROOM RECEPTACLE - GFI MOUNT 40" A.F.F.
 - RECEPTACLES IN THE GARAGE TO BE GFI UNLESS NOTED OTHERWISE.
 - EXTERIOR RECEPTACLES TO BE GFI AND WEATHER PROTECTED
 - WASHER - DRYER TO HAVE SEPARATE 20AMP DUBLEX RECEPTACLE AT 44" A.F.F.
 - TELEPHONE OUTLETS - PROVIDE BOX (MOUNT AT 12" A.F.F. UNLESS NOTED OTHERWISE). COVER PLATE 4/0 W/RE-TERMINATE NEAR PANEL.
 - KITCHEN COUNTER AND REFRIGERATION RECEPTACLES AND APPLIANCE SWITCHES MOUNT AT 44" A.F.F.
 - SWITCHED - MOUNT AT 54" A.F.F.
 - ATTC LIGHT SWITCH MOUNT AT 84" A.F.F.
 - SMOKE DETECTORS ARE HARD-WIRED, INTERCONNECTED, AND HAVE BATTERY BACK-UP.
 - ALL ROOMS TO BE ARC FAULT PROTECTED.
 - PROVIDE A WP GFI PLUG AT A/C UNITS AND
 - READY ACCESSIBLE DISCONNECTS
 - REFRIGERATION DISCONNECTS
 - MUST BE GFI PROTECTED.
 - CARBON MONOXIDE DETECTORS REQUIRED THROUGHOUT HOUSE.



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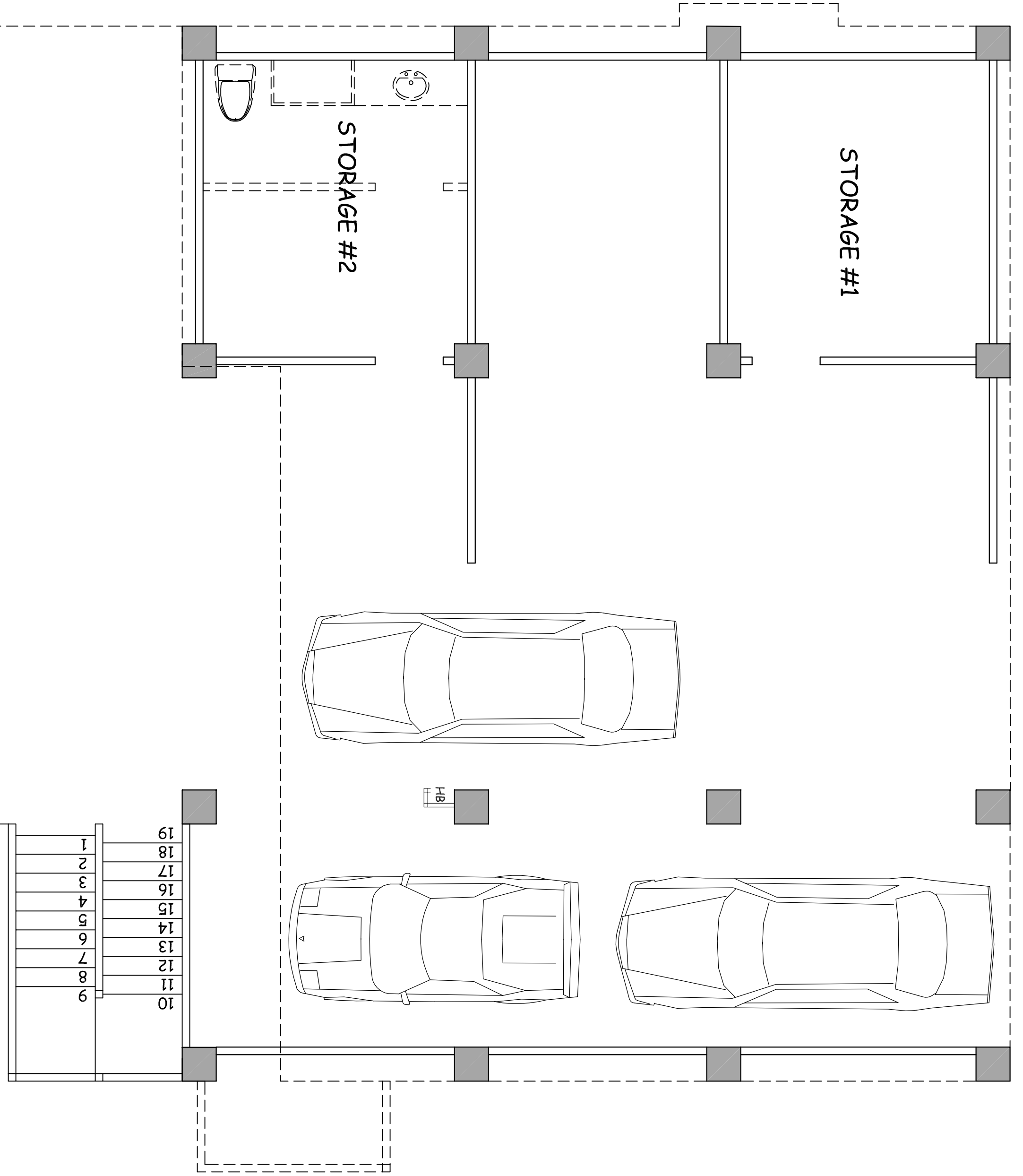
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SHEET A3

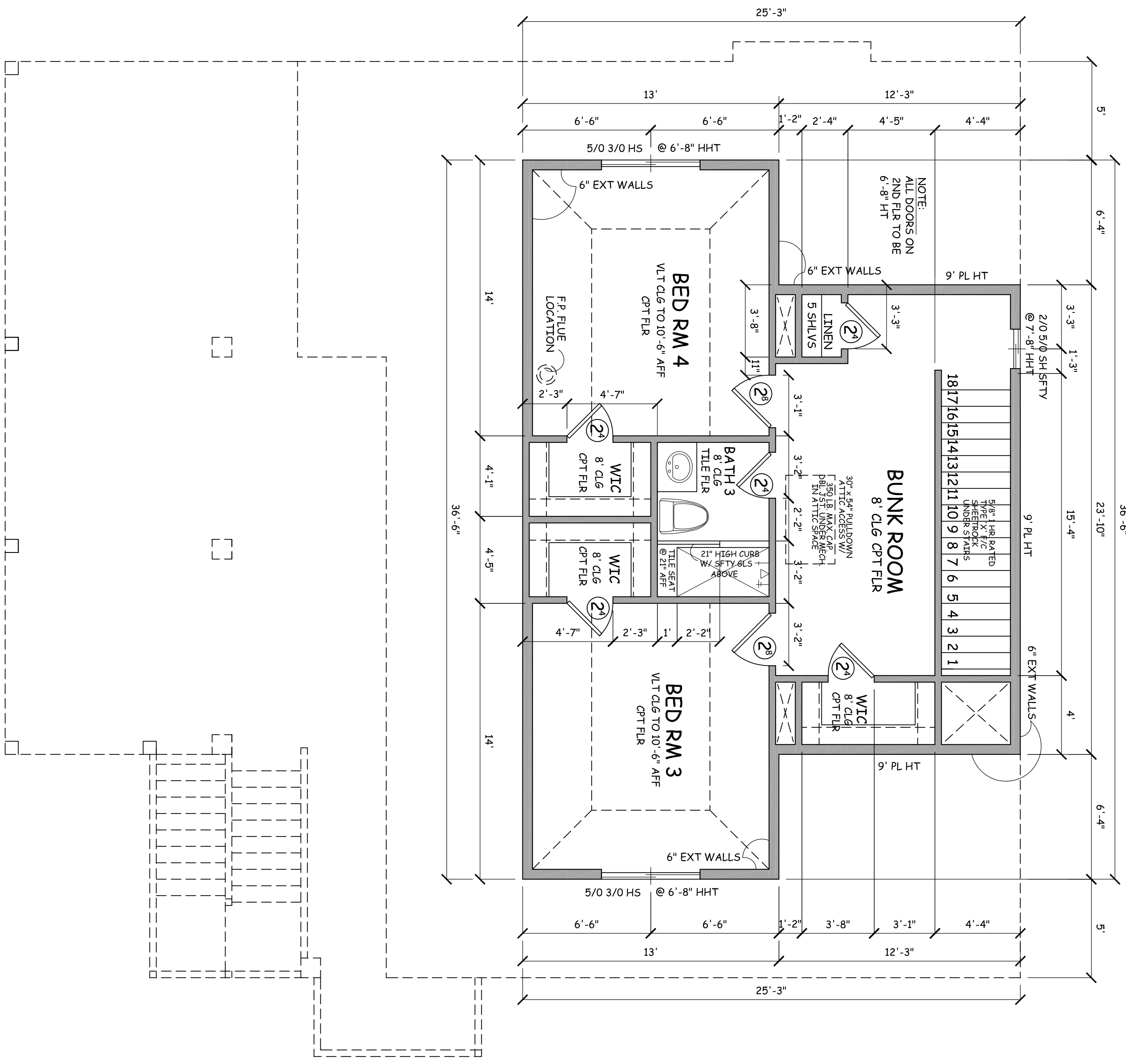


GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Exterior windows adjacent to the exterior finish grade w/ more than 72" difference between window top and window sill grade must have sills to at least 24" above the floor of the room (As per 2012 IRC R613.2).

NOTE:
GUARDRAILS AND HANDRAILS TO COMPLY WITH 2012 IRC TABLE 301.4 - 36" HIGH RAILS W/ BALUSTERS @ 4" O.C. MAX. MUST WITHSTAND MIN. UNIFORMLY DIST. 200 LBS. PER SQ. FT. LIVE LOADS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE GUARDRAIL OR HANDRAIL.

NOTE:
SECOND FLOOR ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. THE MIN. NET CLEAR WIDTH OPENING SHALL BE NOT LESS THAN 20" AND THE MIN. NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24".
GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQ. FT. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

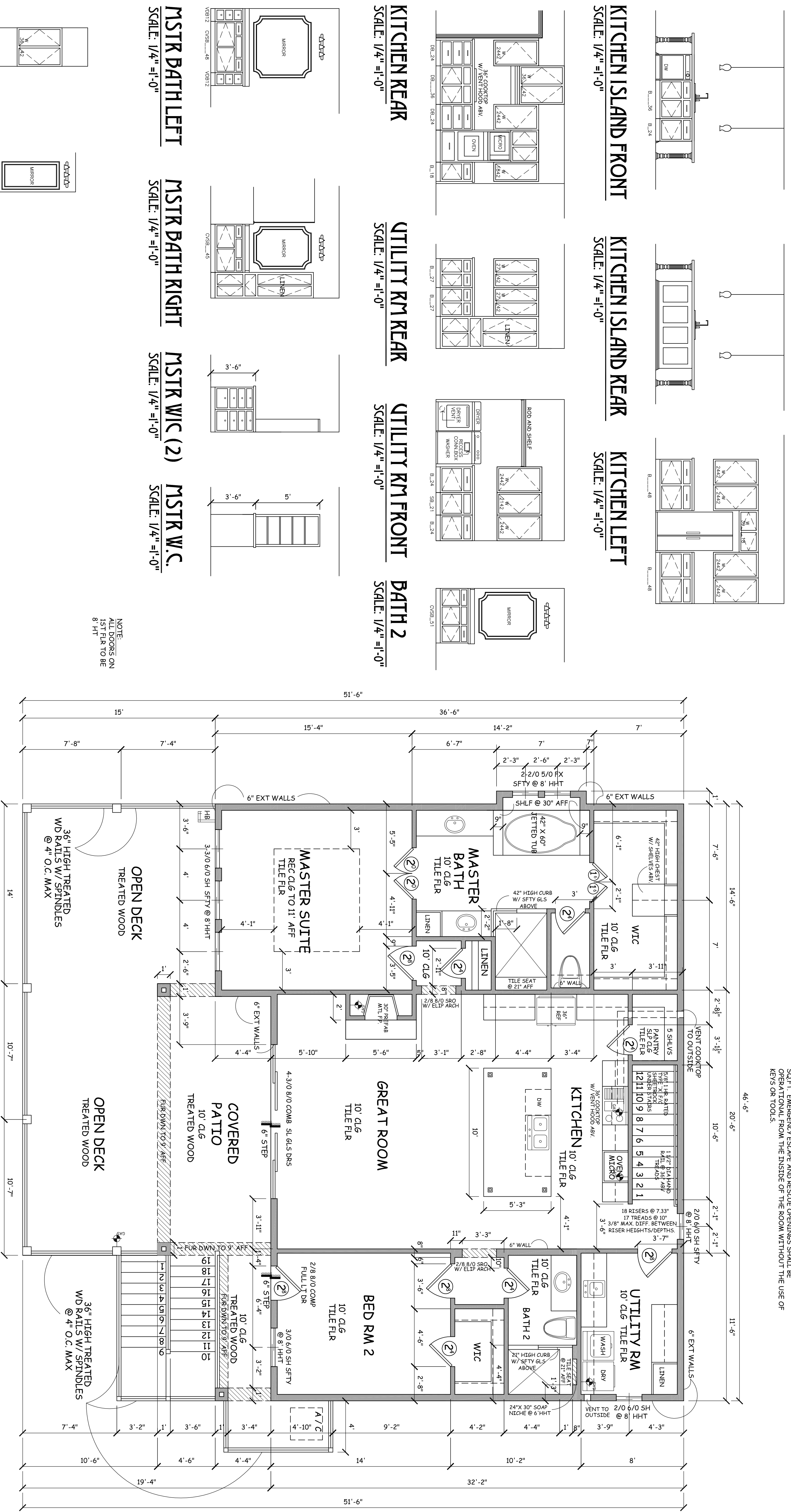


SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Exterior windows adjacent to the exterior finish grade w/ more than 72" different floor levels must have a window opening to suit finish grade. Window sill to at least 24" above the floor of the room (As per 2012 IRC R613.2).

NOTE:
 6" HIGHER RISERS AND HANDRAILS TO COMPLY WITH 2012 IRC TABLE 301.4 - 36" HIGH RAILS W/ BALUSTERS @ 4" O.C. MAX. MUST WITHSTAND MIN. UNDERWAY DIST. 200 LBS. PER SQ.FT. LIVE LOADS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE HANDRAIL OR HANDRAIL.

NOTE:
 ALL SECOND FLOOR ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ.FT. THE MIN. NET CLEAR WIDTH OPENING SHALL NOT BE LESS THAN 20" AND THE MIN. NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24". AN OPENING OF 5 SQ.FT. SHALL BE PROVIDED FOR EACH SLEEPING ROOM. ESCAPE OR RESCUE WINDOWS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

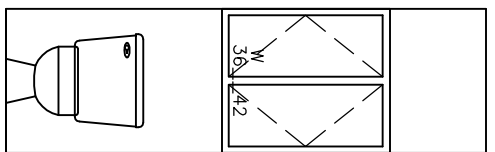


MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

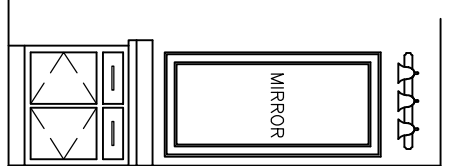
FOOTAGE CALCULATIONS:

FIRST FLOOR LIVING	1561 SQ.FT.
SECOND FLOOR LIVING	689 SQ.FT.
TOTAL LIVING	2250 SQ.FT.
OPEN DECK	432 SQ.FT.
COVERED PATIO	229 SQ.FT.
STORAGE	XXXX SQ.FT.
TOTAL COVERAGE	XXXX SQ.FT.

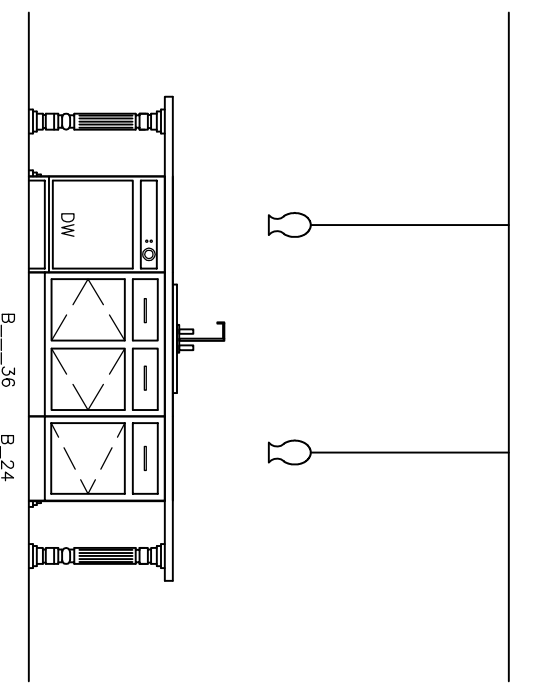
MSTR W.C.
 SCALE: 1/4" = 1'-0"



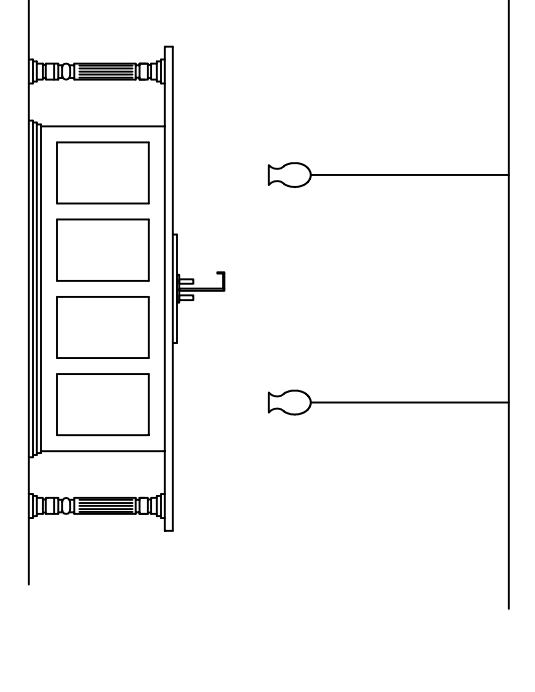
BATH 3
 SCALE: 1/4" = 1'-0"



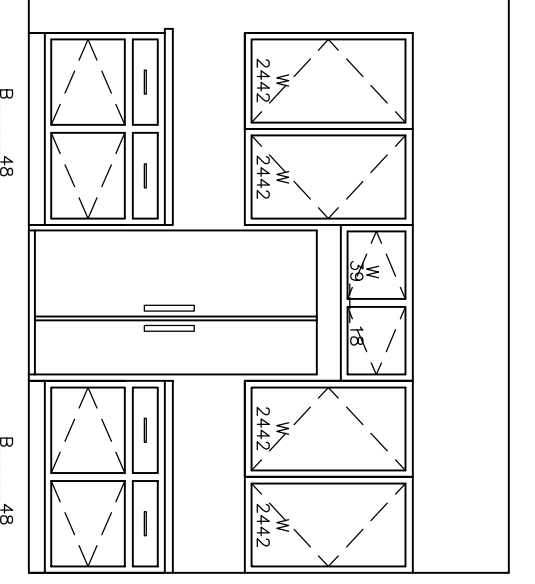
KITCHEN ISLAND FRONT
 SCALE: 1/4" = 1'-0"



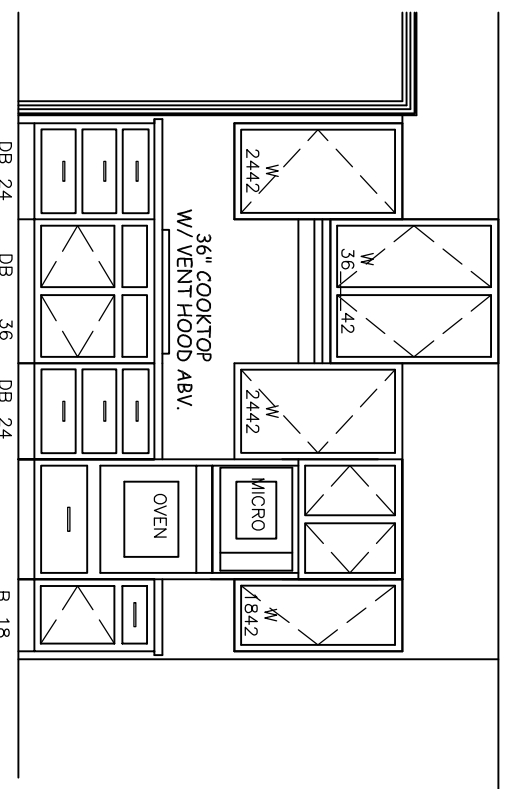
KITCHEN ISLAND REAR
 SCALE: 1/4" = 1'-0"



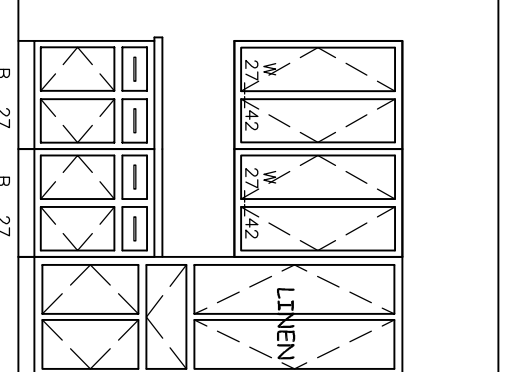
KITCHEN LEFT
 SCALE: 1/4" = 1'-0"



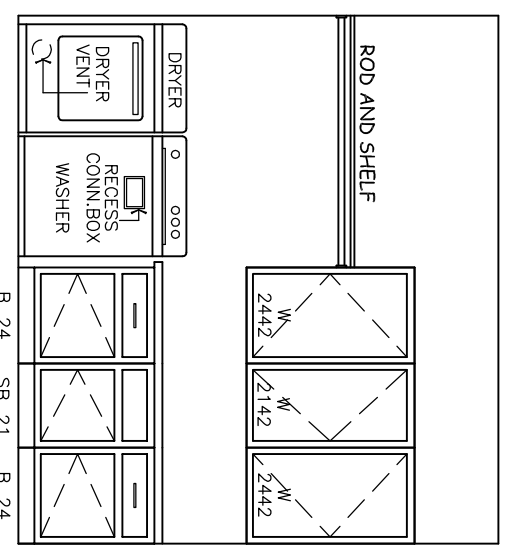
KITCHEN REAR
 SCALE: 1/4" = 1'-0"



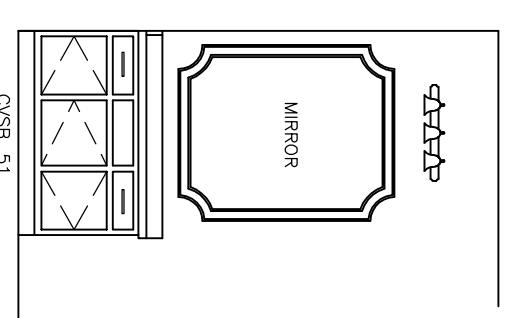
UTILITY RM REAR
 SCALE: 1/4" = 1'-0"



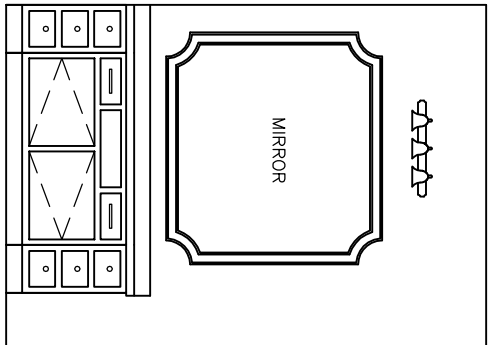
UTILITY RM FRONT
 SCALE: 1/4" = 1'-0"



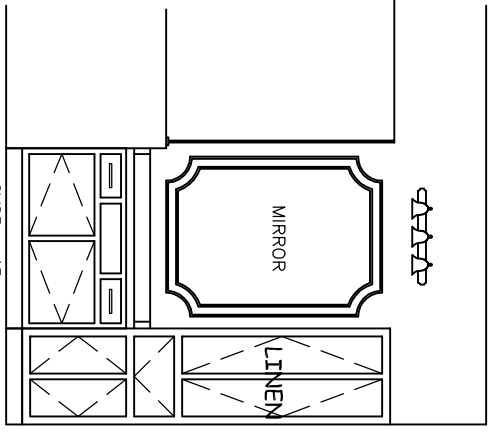
BATH 2
 SCALE: 1/4" = 1'-0"



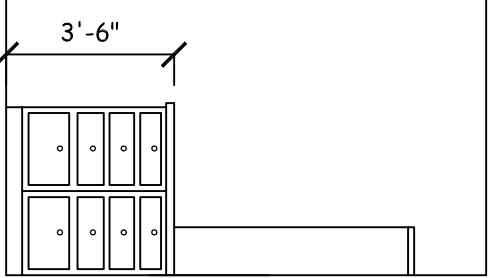
MSTR BATH LEFT
 SCALE: 1/4" = 1'-0"



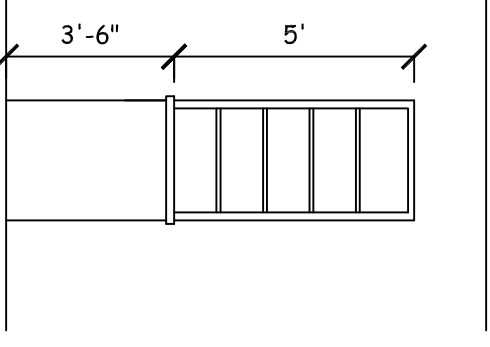
MSTR BATH RIGHT
 SCALE: 1/4" = 1'-0"



MSTR WIC (2)
 SCALE: 1/4" = 1'-0"



MSTR W.C.
 SCALE: 1/4" = 1'-0"



NOTE:
 ALL DOORS ON 1ST FLR TO BE 8' HT.

- General Notes:
1. Construction shall conform with all applicable codes and ordinances.
 2. Pass thru and bar tops are 42" a.f.f., unless noted otherwise.
 3. Provide wood blocking behind ceiling fans.
 4. Provide 1/2" plywood sheathing, unless noted otherwise.
 5. Linen closets and pantries to have 5-18 inch deep shelves - unless noted otherwise.
 6. Window header height to be 8'-0" O.C. unless noted otherwise.
 7. Window header height to be 8'-0" O.C. unless noted otherwise.
 8. Provide 3/8" water pipe to the ref. c.
 9. Water heater to be outside the structure.
 10. Rot board on fence must go into the ground a min. 2".
 11. Whenever the attic grade is 18" high platform, unless noted otherwise.
 12. Provide 1 flood vent option within 3' of each corner & max. 4' above grade.
 13. Provide 4 or more risers are present, a 36" landing must be provided.
 14. All gas lines within foundation slab will be sleeved w/ external valve.
 15. Provide 36" landing at exterior doors when drop from foundation exceeds 8".

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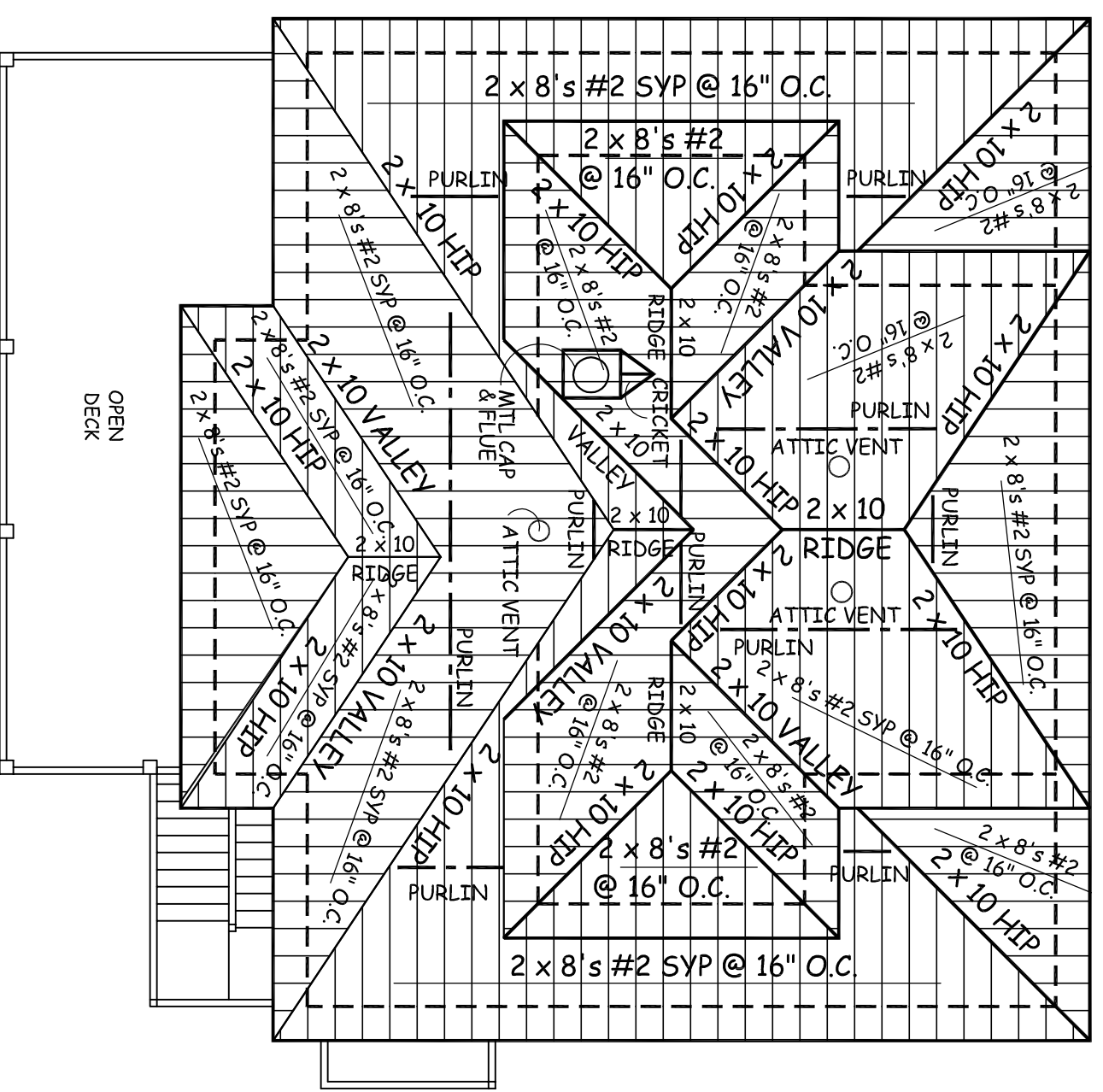
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 PLAN SHEET: **2250**

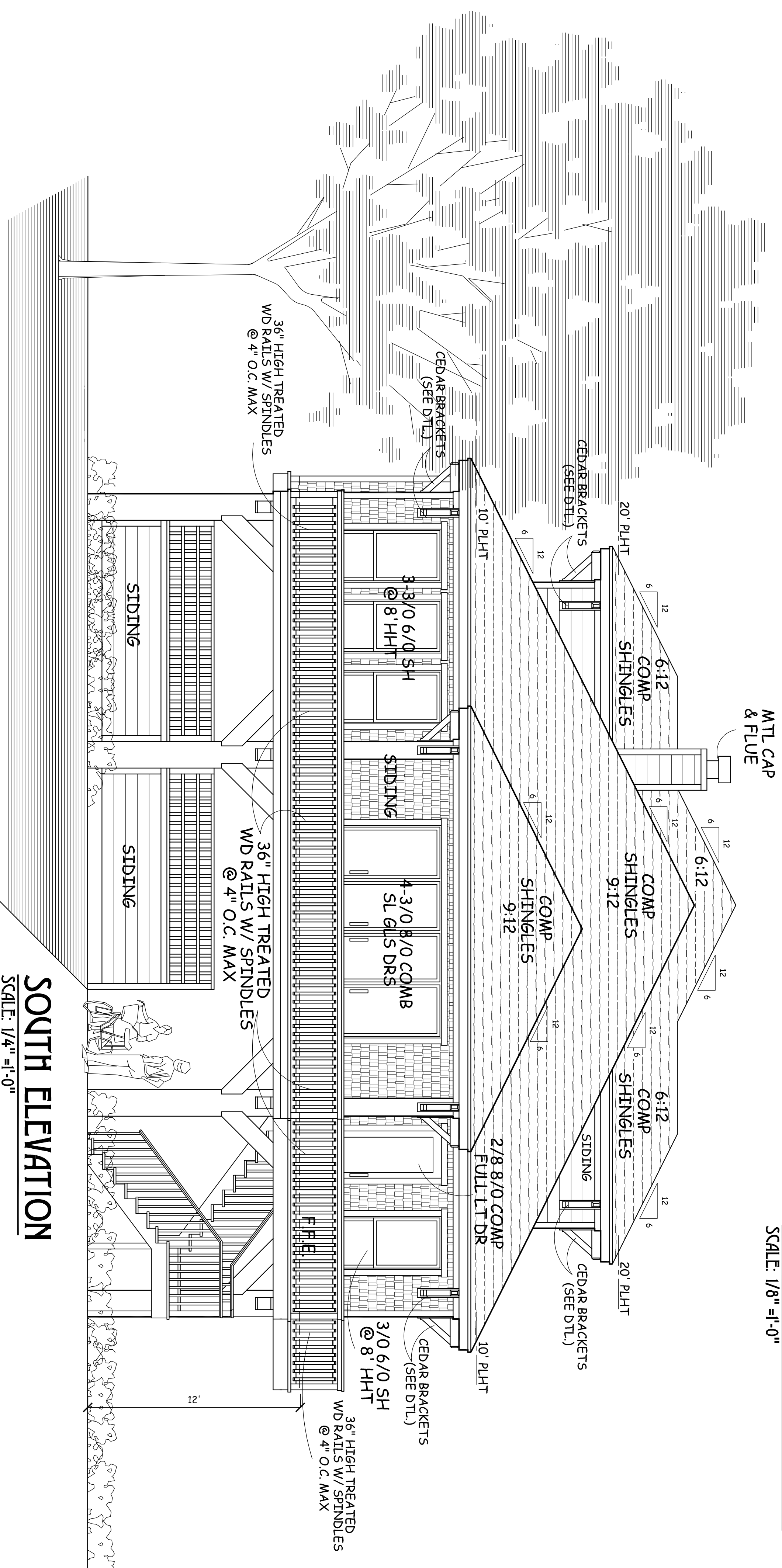
SCALE: **AS NOTED**
 SHEET: **A12**

DATE: **11/10/14**
 REVISION:

- ROOF NOTES:
1. ALL SLOPES FROM FRONT TO BACK ELEVATIONS ARE 6/12.
 2. ALL SLOPES FROM SIDE TO SIDE ELEVATIONS ARE 6/12 PITCH AND SHALL HAVE 20" OVERHANG FROM FRAME WALL, UNLESS SHOWN OTHERWISE.
 3. ALL RAKE OVERHANGS SHALL BE 8" FROM FINISH WALL, UNLESS SHOWN OTHERWISE.
 4. ALL ROOF TRUSSES SHALL BE DESIGNED AND ENGINEERED BY OTHERS.
 5. ALL PATTERS SHALL BE 2" x 8" @ 16" O.C. #2 GRADE OR BETTER, UNLESS SHOWN OTHERWISE.
 6. ALL CHIMNEYS SHALL HAVE FLASHING AND COUNTER-FLASHING A MINIMUM OF 8" ABOVE ROOF SHEATHING. CRICKETS TO BE PROVIDED AS SHOWN.
 7. PROVIDE VALLEY FLASHING WHERE ROOF PITCHES CHANGE AND WHERE ROOF INTERSECTS WITH VERTICAL SURFACES.
 8. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATION PER BUILDING CODES THROUGH CONTINUOUS SEE WALL SECTIONS AND/OR ROOF PLAN FOR LOCATION AND TYPE OF VENTS.
 9. GUTTERS AND DOWNSPOUTS MUST BE TIED INTO DRAINAGE SYSTEM.
 10. ALL VALLEYS TO HAVE A MIN. OF ONE SUPPORT PURLINS TO BE @ 8'-0" MAX. SPACING.
 11. ALL ROOF FRAMING WILL MEET 130 MPH WIND CONDITIONS & 3 SEC. GUST SPEEDS.
 12. REFERENCE STANDARD DETAILS SHEET FOR PROPER CRICKET INSTALLATION.



ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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DRAWN BY: **MES**
PLAN
2250

SCALE: **AS NOTED**
SHEET
A1