

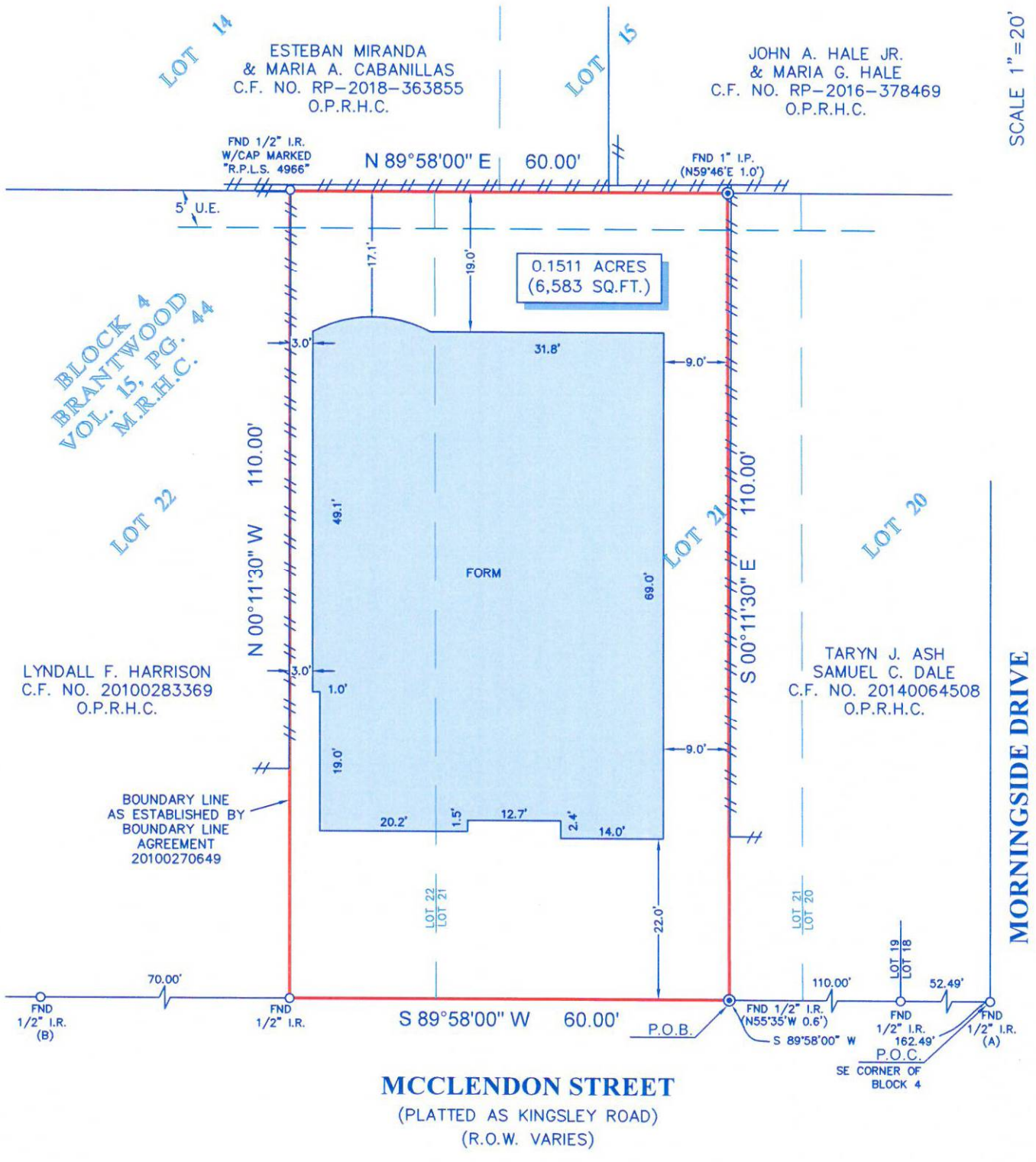


LEGEND

- ⊙ SET 1/2" I.R. W/CAP MARKED "SURVEY 1"
- U.E. = UTILITY EASEMENT
- FENCE
- /// WOOD



SCALE 1"=20'



NOTES:

1. ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE SUBDIVISION PLAT NAMED BELOW, POINTS (A) AND (B) WERE HELD FOR HORIZONTAL CONTROL.
2. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF INFORMATION CONTAINED IN A TITLE REPORT PER THE REQUEST OF THE BUYER.
3. THIS SURVEY IS CERTIFIED TO ASHKON GODARZI FOR THIS TRANSACTION ONLY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
4. ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.
5. THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.

LEGAL DESCRIPTION: A TRACT OF LAND CONTAINING 0.1511 ACRES (6,583 SQUARE FEET), BEING PART OF LOT 21 AND LOT 22, IN BLOCK 4, OF BRANTWOOD, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 15, PAGE 44 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS. SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS ATTACHED.



SURVEYORS CERTIFICATE:
 IN MY PROFESSIONAL OPINION, THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND DURING THE COURSE OF A BOUNDARY SURVEY CONDUCTED UNDER MY SUPERVISION ON APRIL 17, 2019 AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING; AND THAT THERE ARE NO ENCROACHMENTS OR PROTRUSIONS EXCEPT AS SHOWN.

Richard Fussell
 RICHARD FUSSELL
 RPLS# 4148

CLIENT: TBD	
ADDRESS: 2414 MCCLENDON STREET	
www.survey1inc.com survey1@survey1inc.com	
FIELD CREW: JO	TECH: SF
DRAFTER: LT	FINAL CHECK: EF
DATE: 4-23-19	
JOB# 4-72128-19	
Firm Registration No. 100758-00 P.O. Box 2543 Alvin, TX 77512 (281)393-1382	

**DESCRIPTION OF A TRACT OF LAND CONTAINING
0.1511 ACRES (6,583 SQUARE FEET) BEING PART OF LOTS 21 AND 22, IN BLOCK 4
OF BRANTWOOD, A SUBDIVISION RECORDED IN VOLUME 15, PAGE 44
OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS**

Being a tract of land containing 0.1511 acres (6,583 square feet), being part of Lot 21 and Lot 22, in Block 4, of Brantwood, a subdivision in Harris County, Texas, according to the map or plat thereof recorded in Volume 15, Page 44 of the Map Records of Harris County, Texas. Said 0.1511-acre tract being more particularly described by metes and bounds as follows:

COMMENCING at a found 1/2-inch iron rod at the intersection of the west right-of-way line of Morningside Drive (60 feet wide) with the north right-of-way line McClendon Street (platted as Kingsley Road) (variable width) for the southeast corner of said Block 4;

THENCE South 89°58'00" West along the north right-of-way line said McClendon Street, a distance of 160.49 feet to a set 1/2-inch iron rod with cap marked "SURVEY 1" for the southeast corner and POINT OF BEGINNING of the said tract herein described;

THENCE continuing South 89°58'00" West along the north right-of-way line said McClendon Street, a distance of 60.00 feet to a found 1/2-inch iron rod for the southwest corner of the said tract herein described;

THENCE North 00°11'30" West along the boundary line as established in Boundary Line Agreement recorded under County Clerk's File No. 20100270649 of the Official Public Records of Harris County, Texas, a distance of 110.00 feet to a found 1/2-inch iron rod with cap marked "RPLS 4966" for the northwest corner of the said tract herein described;

THENCE North 9°58'00" East, a distance of 60.00 feet to a set 1/2-inch iron rod with cap marked "SURVEY 1" for the northeast corner of the said tract herein described;

THENCE South 00°11'30" East, a distance of 110.00 feet to the POINT OF BEGINNING and containing 0.1511 acres (6,583 square feet), more or less.

Note: This metes and bounds description is referenced to a survey drawing prepared by Survey 1, Inc. (Firm Registration No. 100758-00) dated April 23, 2019, job number 4-72128-19.

