

THOMAS F. DAVIS
2005049460
O.P.R.G.C.

N88°49'00"E 207.12'

FND CONCRFETE
MONUMENT

UNRECORDED
(COMPANION)

10' B.L.
8309675

LOT 9
16101 BLUEBIRD ST LLC
C.F. NO. 2017008265
O.P.R.G.C.

1.1375 ACRES
(49,548 SQ.FT.)

N01°15'00"E 235.04'

94.7'

30' B.L.
8309675

APPARENT
50' RADIUS
CUL-DE-SAC

1 STORY
BRICK & FRAME

1 STORY
BRICK
& FRAME
GARAGE

10' B.L.
8309675

188.14'

FND 1/2" I.R.

N88°45'00"W 206.94'

BLUEBIRD ROAD
(60' R.O.W.)










LOT 8
WILLIAM H. GLARDON
& LU ANNE GLARDON
C.F. NO. 2002072380
O.P.R.G.C.

N01°15'00"E 1088.12'

NOTES

1. ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE SUBDIVISION PLAT NAMED BELOW, POINTS (A) AND (B) WERE USED FOR HORIZONTAL CONTROL.
2. ABSTRACT INFORMATION FOR THE SUBJECT TRACT WAS PROVIDED BY THE TITLE INSURANCE COMPANY LISTED BELOW.
3. THIS SURVEY IS CERTIFIED TO THE TITLE INSURANCE COMPANY LISTED BELOW. THIS SURVEY IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
4. ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.
5. THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.
6. SUBJECT TO THE RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B OF THE TITLE COMMITMENT ISSUED ON OCTOBER 14, 2020, UNDER G.F. NO. 960540.

LEGEND

	CONCRETE		ASPHALT						
	COVERED AREA	<table border="1"> <tr> <td colspan="2">FENCE</td> </tr> <tr> <td></td> <td>WOOD</td> </tr> <tr> <td></td> <td>WIRE</td> </tr> </table>		FENCE			WOOD		WIRE
FENCE									
	WOOD								
	WIRE								

TITLE COMPANY:

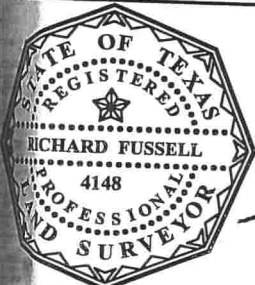


KATHY TAVAREZ 409-925-3800

G.F. # 960540 ISSUE DATE: OCTOBER 14, 2020



LEGAL DESCRIPTION: A TRACT OF LAND CONTAINING 1.1375 ACRES (49,548 SQUARE FEET) SITUATED IN THE CHARLES BIGELOW SURVEY, ABSTRACT 34, GALVESTON COUNTY, TEXAS. SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS ATTACHED.



SURVEYORS CERTIFICATE:
 IN MY PROFESSIONAL OPINION, THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND DURING THE COURSE OF A BOUNDARY SURVEY CONDUCTED UNDER MY SUPERVISION ON NOVEMBER 2, 2020 AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND THAT THERE ARE NO ENCROACHMENTS OR PROTRUSIONS EXCEPT AS SHOWN.

[Signature]
 RICHARD FUSSELL
 RPLS# 4148

CLIENT: BRIAN STEVENS AND TANYA STEVENS
 ADDRESS: 16101 BLUEBIRD STREET

www.survey1inc.com
 survey1@survey1inc.com
Survey 1, Inc.
 Your Land Survey Company
 Firm Registration No. 100758-00
 P.O. Box 2543 | Alvin, TX 77512 | (281)393-1382

FIELD CREW: JJ	TECH: SF
DRAFTER: MC	FINAL CHECK:
DATE: NOV 9, 2020	
JOB# 10-90222-20	

**DESCRIPTION OF A TRACT OF LAND CONTAINING
1.1375 ACRES (49,548 SQUARE FEET) SITUATED
IN THE CHARLES BIGELOW SURVEY, ABSTRACT 34
GALVESTON COUNTY, TEXAS**

Being a tract of land containing 1.1375 acres (49,548 square feet), situated in the Charles Bigelow Survey, Abstract 34, Galveston County, Texas, being all of a tract of land unto 16101 Bluebird St. LLC in County Clerk's File No. 2017008265 of the Official Public Records of Galveston County, Texas, said 16101 Bluebird St LLC tract being known as Lot 9 of Compean, an unrecorded subdivision in Galveston County, Texas. Said 1.1375-acre tract being more particularly described by metes and bounds as follows:

COMMENCING at the southeast corner of the said Charles Bigelow Survey;

THENCE North 01°15'00" East, a distance of 2007.00 feet to a point;

THENCE North 88°45'00" West, a distance of 233.30 feet to a point;

THENCE North 01°15'00" East, a distance of 1069.12 feet to a found 3/4-inch iron pipe for the southeast corner and POINT OF BEGINNING of the said tract herein described;

THENCE North 88°45'00" West, passing a 1/2-inch iron rod for reference in the easterly apparent 50.00 feet wide cul-de-sac at a distance of 188.14 feet and continue in all a total distance of 206.94 feet to the southwest corner of the said tract herein described;

THENCE North 01°15'00" East, a distance of 235.04 feet to a found concrete monument for the northwest corner of the said tract herein described;

THENCE North 88°49'00" East, a distance of 207.12 feet to a found 1/2-inch iron rod for the northeast corner of the said tract herein described;

THENCE South 01°15'00" West, a distance of 243.83 feet (called 243.89 feet) to the POINT OF BEGINNING and containing 1.1375 acres (49,548 square feet), more or less.

Note: This metes and bounds description is referenced to a survey drawing prepared by Survey 1, Inc. (Firm Registration No. 100758-00) dated Nov. 9, 2020, job number 10-90222-20.



A handwritten signature in blue ink, appearing to be "R. Fussell", written over a light blue grid background.

