

Saji Home 'Spections LLC



21611 Live Oaks Spring Dr, Katy, TX 77450

Inspection prepared for: Mike Rothchild

Date of Inspection: 2/28/2022 Time: 11:00 AM

Age of Home: 1993 Size: 2434 Sq Ft

Weather: Clear & Cool

Order ID: 194

PROPERTY INSPECTION REPORT

Saji Home 'Spections LLC
Your TX Professional Inspector

Building

TREC # 10287 TPCL # 0796850

Electrical

Robert Saji

Plumbing

www.sajispections.com

Mechanical

sajispections@gmail.com

WDI / Wood Destroying Insect Inspection

832.526.2244

INCLUDED



PROPERTY INSPECTION REPORT FORM

<u>Mike Rothchild</u>	<u>2/28/2022</u>
<i>Name of Client</i>	<i>Date of Inspection</i>
<u>21611 Live Oaks Spring Dr, Katy, TX 77450</u>	
<i>Address of Inspected Property</i>	
<u>Robert M Saji</u>	<u>#10287</u>
<i>Name of Inspector</i>	<i>TREC License #</i>
<u> </u>	<u> </u>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component OR constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. Foundations
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Type of Foundation(s):

- Post - Tension type foundation (typical for homes built after 1980)

Comments:

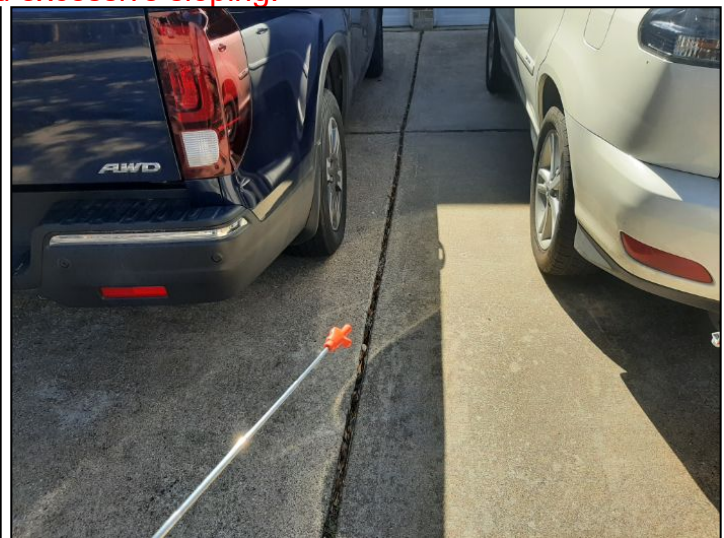
- About Foundations:

Two common foundation types are a concrete slab or pier and beam. Foundations are designed to provide a base for the framing and structural components of a dwelling as well as transfer the weight of the dwelling to the ground. Foundation movement can have a negative impact on the structural systems of the house. Slab-on-grade foundations are designed to move with the soil and, during the life the foundation, you can expect to find doors and windows that do not operate properly, as well as cracks to interior/exterior walls. These are common and do not necessarily indicate foundation failure or adverse performance.

- Limitation: Most components of the foundation are not visually accessible. Inspectors' opinions are limited to the visible interior and exterior structural components. Imperfections can be obstructed or hidden behind wall and floor coverings, behind walls, landscaping and other items. Inspectors do not take engineering measurements or perform any tests that would indicate the exact condition of any foundation. We recommend further evaluation by a qualified professional for further evaluation and diagnosis if there are concerns.
- Performance of foundation: It is the professional opinion of the inspector that the foundation appears to be performing as intended at the time of the inspection.
- Minimal damage / deterioration were noted present at the wooden expansion joints between various driveway or walkway sections. Maintaining this seal will help prevent uneven section and excessive sloping.



EXPANSION DETERIORATION



EXPANSION DETERIORATION

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I NI NP D



EXPOSED ANCHOR BOLTS

B. Grading and Drainage

Comments:

• About Grading and Drainage:

Proper grading and drainage away from the structure is vital to the performance of the foundation. Water intrusion can cause wood rot, attract insects and encourage growth of possible organic materials. As a general rule, the ground should slope 6" within the first 10' away from the house. Clearance to wall siding should be at least 4" for brick, stone, or fiber cement and 6" for any other siding materials. Grading and drainage is inspected visually around the site. Flood plain research, soil and topographical studies are not performed as a part of the inspection. Any deficiencies found could be an indication of a more serious condition and should be evaluated by a qualified professional if there are concerns.

• All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.

• **NOTE: all slopes of the roof should be guttered to ensure that water is adequately diverted away from the structure.**

• **The grade of the ground around the residence should be improved to promote the flow of water away from the property in one or more locations. This can be achieved by the addition or removal of top soil as well as the installation of a drainage system. The ground should slope away from the home at a rate of no less than 6 inches within the first 10 feet.**

• **The gutters are clogged at one or more locations around the perimeter of the home and should be cleaned to allow for adequate performance.**

• **Mulch level in flowerbed(s) abutting structure is too high. This is a conducive condition for wood destroying insects. Mulch levels should be low enough to expose a minimum of 6" of slab foundation.**

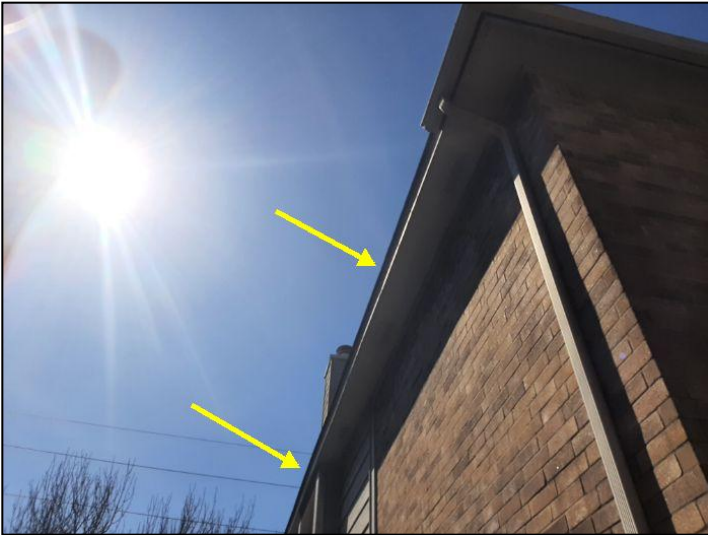
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I	NI	NP	D
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NO GUTTER SECTIONS



LOOSE GUTTER SECTION



HIGH MULCH LINE



LOW / UNEVEN AREAS

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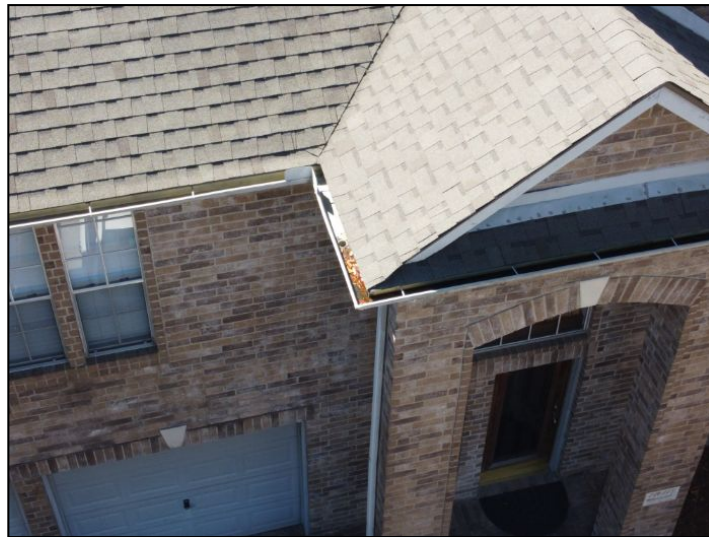
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UNEVEN AREA



NO GUTTER SECTIONS



DEBRIS IN GUTTERS

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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C. Roof Covering Materials

- Type(s) of Roof Covering:
- Composition shingle...30 Year Rated
- Viewed From:
- Drone photography
- Comments:
- About Roof Coverings:

The roof consists of different materials and layers that come together to keep water from penetrating the structure. These systems include the outer roof covering materials, underlayment, metal flashings, sheathing, and roof decking. The roof is inspected visually and is limited to what can be seen at all accessible locations of the roof. Many elements of the roof are hidden and there is no guarantee that all damage, installation defects, and leaks can be detected. We always recommend consultation with a qualified roofing professional if there are any concerns or a need to determine insurability, life expectancy, or the potential for future problems which may arise. Any deficiencies found could be an indication of a more serious condition.

- Typical maintenance necessary, now and on an annual or semi-annual basis. This generally consists of resealing gaps at through-the-roof projections and wall-to-roof intersections.
- The roof covering was inspected and show typical signs of wear and age at the time of inspection.
- **Exposed nail heads were observed in multiple locations at the ridge shingles and/or counter-flashings for the roof covering. These should be properly sealed throughout the roof to prevent water intrusion from rust.**



LIFTED SHINGLE / EXPOSED NAILS



ROOF COVERING; RIGHT

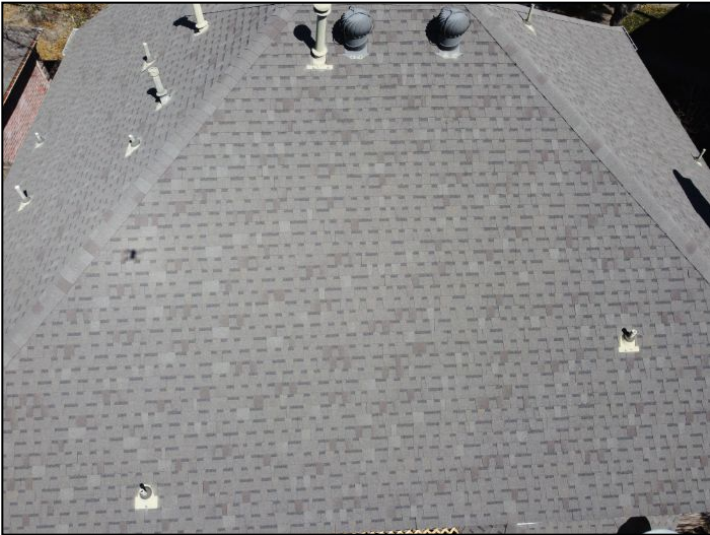
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ROOF COVERING; BACK



ROOF COVERING; LEFT



ROOF COVERING; FRONT

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I NI NP D

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. Roof Structure and Attics
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Viewed From:

- Walked deck or safe area

Approximate Average Depth of Insulation:

- NO Radiant Barrier Present
- Insulation depth is between 6 and 8 inches
- Loose Type Insulation present

Comments:

- About the Roof Structure:

The attic of a residence is important for several reasons. In warm, moist climates the attic is an essential element to creating an energy-efficient dwelling. Insulation in the attic must be of sufficient depth to achieve proper energy efficiency. There should also be sufficient air flow and/or humidity control in all confined areas of a home. The overall attic venting ratio should be at least 1/150th of the total habitable space, however, no measurements are taken as a part of the inspection.

Other structural components in the attic include decking of the roof. Inspectors can only visibly inspect these components in areas that are accessible and considered safe to access by the inspector. Many elements of the roof and attic remain hidden or inaccessible. There is no guarantee that all damage, installation defects and leaks can be detected. Inspections are limited to accessible areas. Any deficiencies found could be an indication of a more serious condition. We recommend further evaluation by a qualified professional for further evaluation and diagnosis if there are concerns.

- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- Insufficient insulation was noted in the attic space per today's current standards. Improvements to the insulation may increase energy efficiency.
- The attic stairway is NOT insulated. This is a point of energy loss.
- Wood Rot / Deterioration were noted at various areas of the fascia / soffit boards.
- Missing / Damaged moisture wrap or barrier was noted present at the inside the the attic area. Moisture buildup and intrusion CAN be a factor leading to mold and high humidity.
- Gap(s) are present where the fascia board meets the roof line due to vermin activity. Ensure all areas are sealed as needed.

I=Inspected

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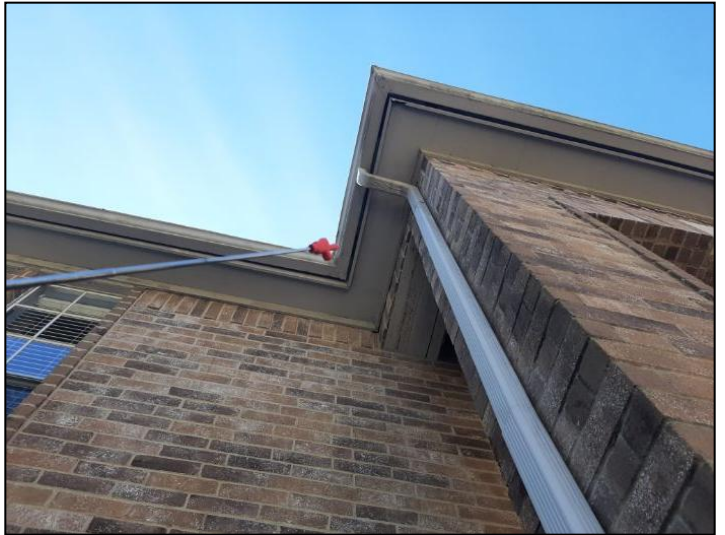
NP=Not Present

D=Deficient

I	NI	NP	D
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WOOD ROT



WOOD ROT



WOOD ROT



OPENING TO ATTIC AREA DUE TO VERMIN ACTIVITY

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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OPENING TO ATTIC AREA DUE TO VERMIN ACTIVITY



WOOD ROT



WOOD ROT



WOOD ROT

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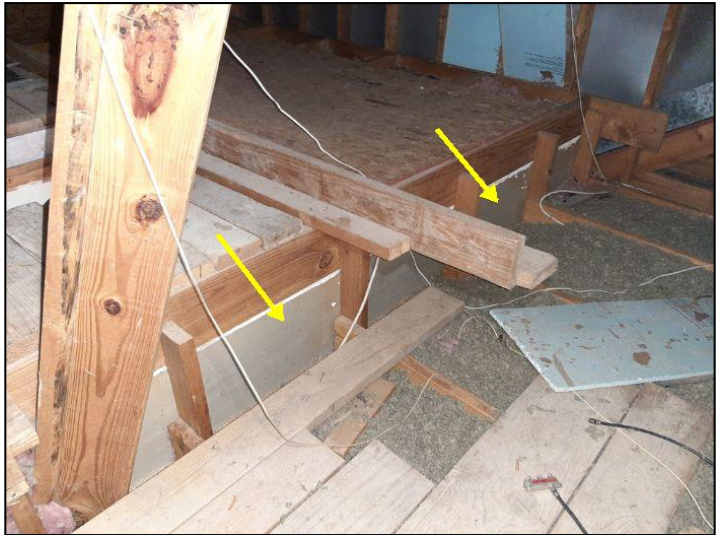
MISSING INSULATION



DAMAGED / MISSING MOISTURE BARRIER



MINIMAL INSULATION PRESENT



MISSING VERTICAL INSULATION

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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ATTIC STRUCTURE OK; NO RADIANT BARRIER

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. Walls (Interior and Exterior)
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Wall Materials:

- Masonry / brick veneer , wood frame construction, wood trim and "Hardi" / concrete type siding

Comments:

- About Interior and Exterior Walls:

Walls are visually inspected for moisture penetration and general structural performance. Condition of wall finishes and cosmetic imperfections that do not indicate a more serious problem are not noted within the inspection report. Any systems enclosed within the walls are not visible and cannot be inspected.

Limitations: No additional testing is included for environmental factors such as, but not limited to: air quality, mold, insect intrusion points, excessive moisture, inadequate or defective drywall, or defective building materials. If any concerns regarding environmental factors arise, the client should consult with a certified professional in these areas. Texas law does not allow a licensed professional home inspector to positively identify and/or report the presence of mold or other environmental factors. This inspection is not a pest or wood-destroying insect (WDI) inspection. The inspector does not assume any responsibility for damage to the dwelling caused by pests or insects. Any deficiencies found could be an indication of a more serious condition and should be evaluated further by a qualified professional if there are concerns.

- Maintain all exterior finishes, caulking, and other sealants at any dissimilar material abutments and all penetrations to the walls and roof. This inexpensive task aids in the prevention of moisture intrusion and saves on costly repairs.
- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- Seal deterioration / Unsealed areas were noted at one or more exterior siding intersections. Ensure all areas are properly sealed to help prevent issues and water intrusion.
- Signs of paint deterioration / fading or unpainted areas were noted at one or more spots of the exterior siding.
- One or more locations on the exterior cladding showed evidence of paint peeling, fading, blistering and/or cracking and repairs should be considered.
- The exterior siding was found damaged and deteriorated at one or more locations.

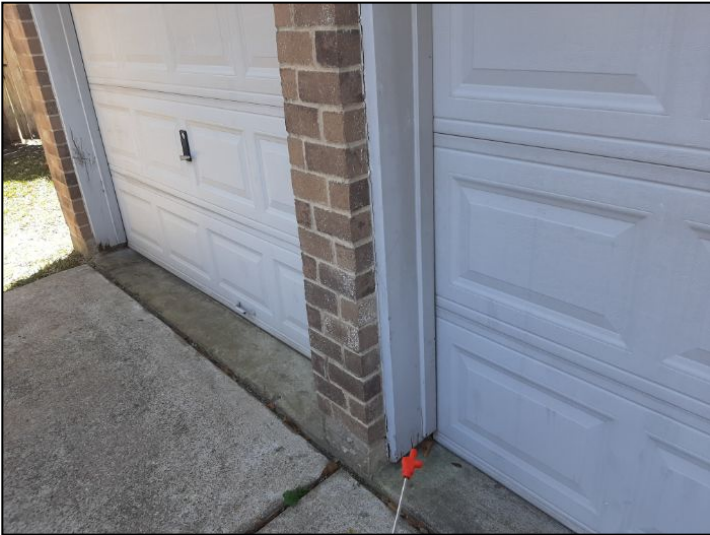
I=Inspected

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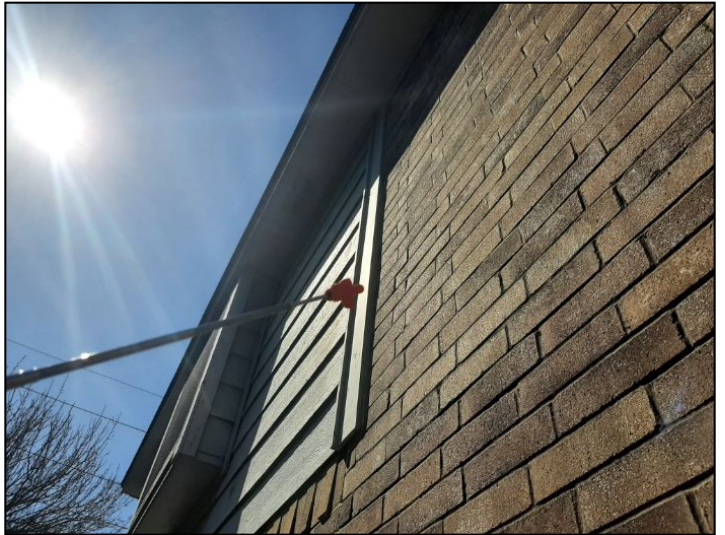
NP=Not Present

D=Deficient

I	NI	NP	D
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WOOD ROT



SEAL DETERIORATION



WOOD ROT



WOOD ROT

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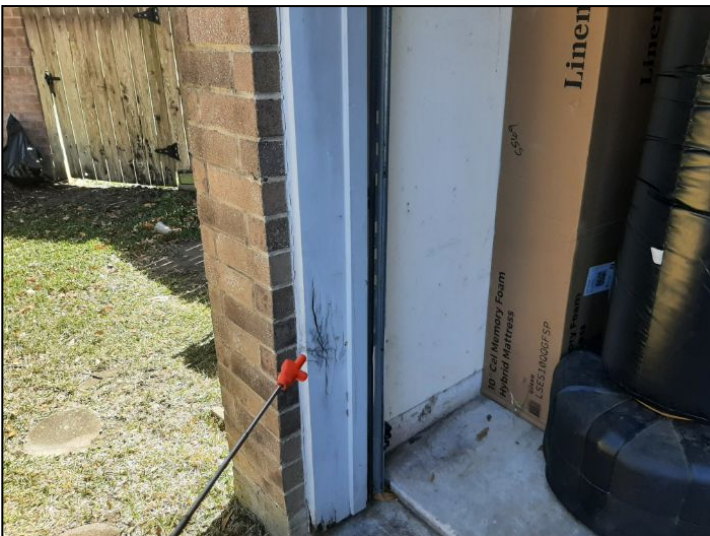
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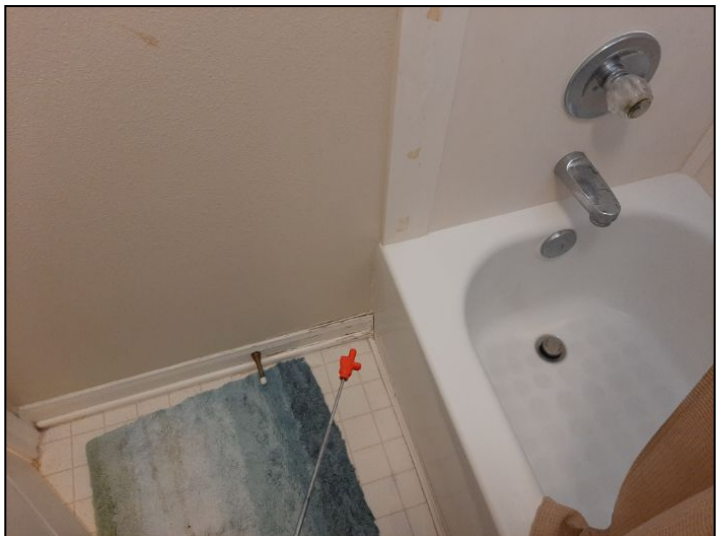
DAMAGED SIDING



MINOR WALL STAINING DUE TO LEAKING GUTTERS



WOOD ROT



MINOR DAMAGE AT WALL

I=Inspected

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D=Deficient

I NI NP D

 F. Ceilings and Floors

Ceiling and Floor Materials:

- Floor covering material is carpet
- Floor covering material is tile

Comments:

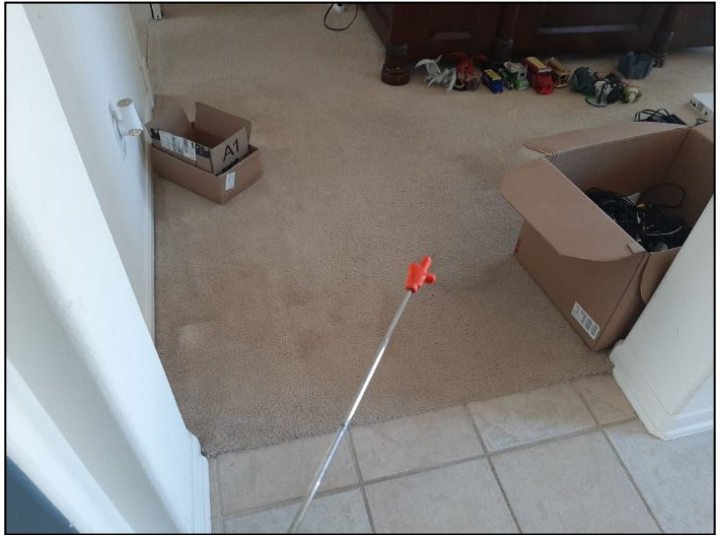
- About Ceilings and Floors:

Ceilings and floors are visually inspected for moisture penetration and general structural performance. Condition of surface finishes and cosmetic imperfections that do not indicate a more serious problem are not noted in the inspection report. Any area that is enclosed, inaccessible, or not visible cannot be inspected. Any deficiencies noted can be an indication of a more serious condition. We recommend further evaluation by a qualified professional for further evaluation and diagnosis if there are concerns.

- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- **Water leak and staining noted at one or more ceiling spots.**
- **The sub-flooring is noisy/loose at the second story in the residence. This is common deficiency for high traffic areas throughout the home. Repairs are recommended.**
- **Cracks were observed to ceiling drywall in one or more locations.**



FLOORING OK



CARPET DETERIORATION / STAINING

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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MINOR DRYWALL CRACK



NOISY SUB FLOOR



NOISY SUB FLOOR



NOISY SUB FLOOR

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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OLD WATER STAIN NEEDS TO BE PAINTED



OLD WATER STAIN NEEDS TO BE PAINTED

X			X
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G. Doors (Interior and Exterior)

Comments:

• About Doors:

Interior and exterior doors are inspected for functionality. Doors should open and close properly. Locks and latches should function as intended. Any deficiencies noted can potentially be an indication of a more serious condition. We recommend further evaluation by a qualified professional if there are concerns.

- Maintenance Tip: Caulk or grout recommended at door - floor junctions, where applicable, to prevent water that is carried in by foot traffic from entering under the flooring.
- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- **MAINTENANCE: Recommend proper lubrication at the railing and rollers as needed to prevent issues or damage and sticking. CURRENTLY NEEDED**
- **The hardware on one or more doors was found damaged / inoperable or not properly latching.**
- **One or more doors were found rubbing / sticking on its frame thus not properly functioning as intended.**
- **Door stops are missing for one or more interior doors throughout the residence. Recommend addition to prevent damage to walls within range of motion of each fixture.**
- **Signs of fading and deterioration were noted at the front door.**

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I	NI	NP	D
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GARAGE DOOR OK



GARAGE DOOR OK



DETERIORATION TO DOOR FINISH



DOOR RUBBING ON FRAME

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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DOOR RUBBING ON FRAME



DOOR RUBBING ON FRAME



DOOR RUBBING ON FRAME



LUBRICATION NEEDED

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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INOPERABLE HARDWARE



MISSING DOOR STOPPER

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. Windows
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Window Types:

- Standard sliding windows
- Windows are made of aluminum

Comments:

- About Windows:

Accessible windows are inspected for general functionality. Windows are examined for broken seals/glazing strips and the presence of tempered glass in all proper locations. Any deficiencies found can be an indication of a more serious condition. We recommend further evaluation by a qualified window repair professional if there are concerns.

- In accordance with ASHI Standards, we do not test every window in the house, and particularly if it is furnished. We do test every unobstructed window in every bedroom to ensure that at least one provides an emergency exit.
- Note: Windows are single pane (likely original glazing and installation). Updating single pane windows can be beneficial for energy efficiency and/or ease of operation.
- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- **Rust/deterioration present at one or more Lintels or metal braces typically found over large openings such as windows / doors. It is important these braces are maintained to prevent issues such as cracked brick and separation.**
- **Minimal signs of wood rot and deterioration were noted around one or more windows.**

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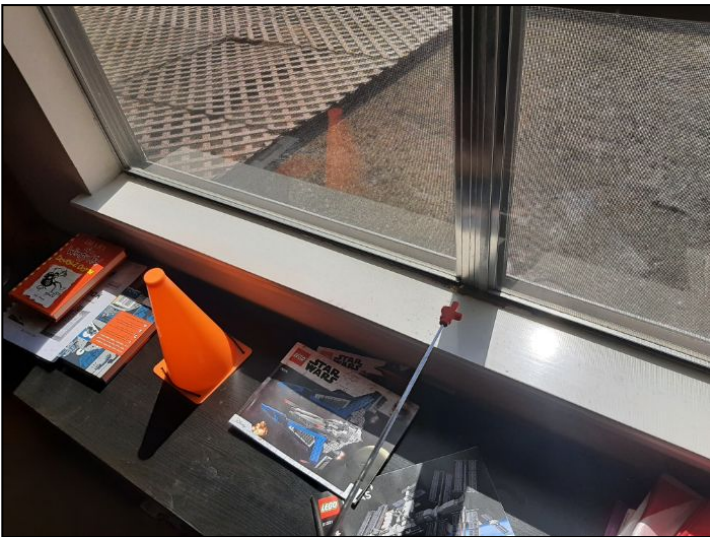
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RUSTED LINTEL



WOOD ROT



DAMAGED WINDOW SILL



DAMAGED WINDOW SILL

X			
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I. Stairways (Interior and Exterior)

Comments:

- About Stairways:

Stairways are inspected for functionality and compliance with common building practices. Safety concerns of risers, steps and rails are noted within this section of the inspection report. Any deficiencies noted could indicate a more serious condition and should be evaluated by a qualified professional if there are concerns.

- The stairway(s) were inspected. No deficiencies were noted at the time of the inspection.

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I NI NP D



STAIRWAY OK

J. Fireplaces and Chimneys

Locations:

- Fireplace is located in the living room

Types:

- Gas-fueled

Comments:

- About Chimneys and Fireplaces:

Visible and accessible portions of the chimney and fireplace are inspected at the time of the inspection. Any defects observed are noted within this section of the inspection report. Inspection fireplace components include the visible firebox, flue, lintel, fuel source, and hearth extension. Proper clearance from combustibles can only be determined if the attic penetration is accessible.

Exterior chimney components include the chimney extension, spark arrestor, chimney cap and crown. Drafting capability of the chimney is not measured or tested. We always recommend a complete examination and cleaning (if necessary) by a qualified and licensed chimney sweep prior to using the fireplace or any of its accessories. Any deficiencies noted could indicate a more serious condition and should be evaluated by a qualified chimney professional if there are concerns.

- No deficiencies present at the time of inspection.
- The Damper on the fireplace and chimney system was tested / opened and closed multiple times and found to be in satisfactory condition.

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I	NI	NP	D
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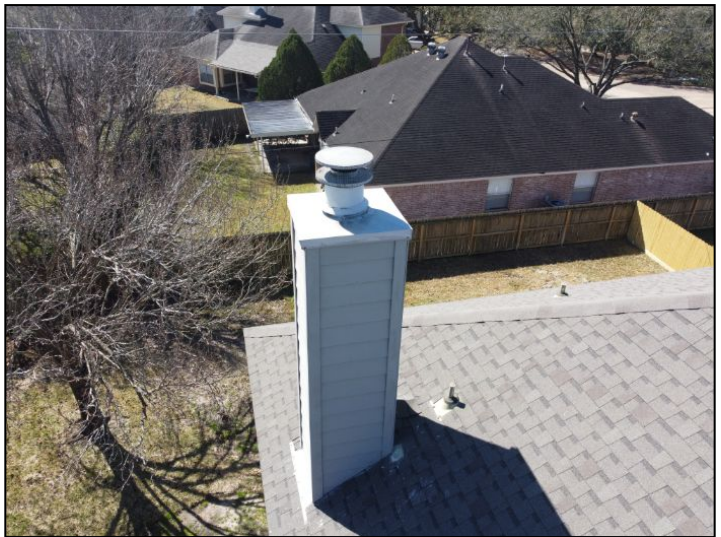
FIREPLACE OK



DAMPER OK



FIREPLACE OK



CHIMNEY OK

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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K. Porches, Balconies, Decks, and Carports

Comments:

- About Porches, Balconies, Decks and Carports:

All porches, balconies, decks and/or carports attached to or located near the main structure are included as part of the inspection report. Detached structures and outbuildings are not included within this report section and may be omitted entirely. Any deficiencies noted could indicate a more serious condition and should be evaluated by a qualified professional if there are concerns.

- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.

• Improper signs of support and installation were noted at the back patio / porch. Proper installation utilizes metal hangers.

I=Inspected

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I	NI	NP	D
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POST IN CONTACT WITH SOIL



IMPROPERLY SECURED PORCH COVER



DAMAGED / UNSECURED PORCH COVER SECTION

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. Other
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Materials:

- Wood type material (typically Pine)

Comments:

- No deficiencies present at the time of inspection.
- Many large tree roots were noted in close proximity to the home. Roots may cause problems with the plumbing system and foundation issues. Recommend properly cutting all roots within 5 feet of the home as needed to prevent damage.

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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EXPOSED TREE ROOTS



FENCING OK



FENCING OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Panel Locations:

- Service entrance is underground
- The main electrical panel was noted present at the exterior of the home.

Materials and Amp Rating:

- The size (AWG) of the service wires could not be fully verified.
- Minimum of 100 amp main breaker is required for residential homes.
- 150 amp main breaker was noted preset

Comments:

- About Electric Panels:

Visible and accessible portions of the electrical service system are included in the inspection. The electrical service system includes components such as the service drop, mast, meter and service panel. Inspectors will attempt to remove the cover when deemed safe by the inspector to do so.

Limitation: Much of the electrical system is not accessible as it is hidden behind walls or other obstructions. Though some conditions can be discovered by a visible inspection, there may be some underlying hazardous or damaging conditions that are hidden from view. The inspector does not verify the effectiveness or performance of any over-current devices/breakers. If the client has any concerns with the electrical system or its insurability, they are encouraged to consult with a licensed electrician. Any deficiencies found could be an indication of a more serious condition and further evaluation/diagnosis by a licensed electrician is warranted.

- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- Dead front removed from service panel. No deficiencies to report at the time of the inspection.
- Missing antioxidant paste for aluminum service entrance conductors at the exterior service panel.
- Service panel not properly sealed to exterior wall. This can allow moisture penetration in to panel enclosure and wall.
- Signs of deterioration and rusting noted at the exterior electrical panel.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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MINIMAL DETERIORATION AT PANEL



MAIN GROUNDING OK



UNSEALED AREAS



MISSING ARC FAULT BREAKERS

I=Inspected

NI=Not Inspected

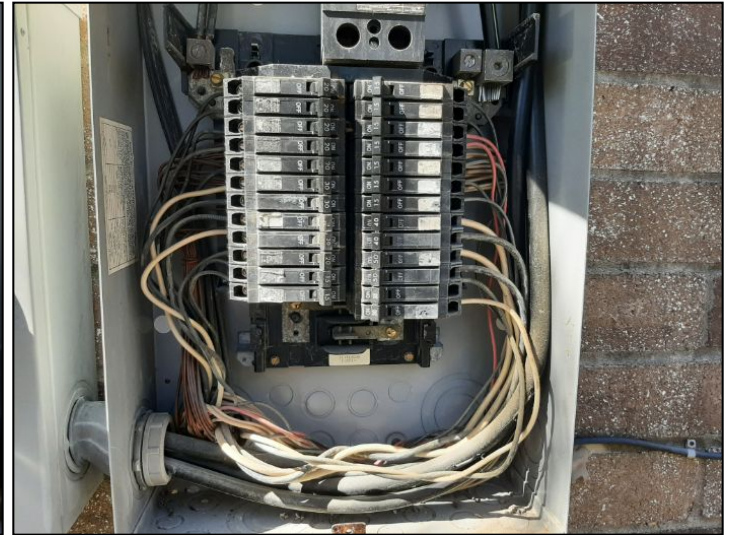
NP=Not Present

D=Deficient

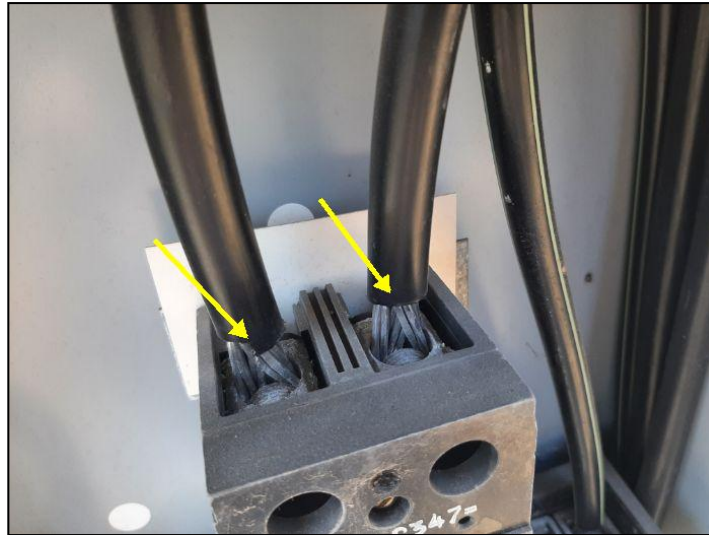
I	NI	NP	D
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MAIN BREAKER OK



INSIDE PANEL OK



MISSING ANTIOXIDIZER

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- Copper non-metallic sheathed cable noted.

Comments:

- About Branch Circuits, Connected Devices and Fixtures:

The electrical system includes components such as wiring, switches, outlets and fixtures. Much of the electrical system is not accessible as it is hidden behind walls or other obstructions. Though some conditions can be discovered by a visible inspection, there may be some underlying hazardous or damaging conditions that are hidden from view. **GFCI** and **AFCI** protection devices are inspected and reported by the inspector. Though general locations and power sources for smoke alarms are noted, their effectiveness, interconnectivity or suitability for the hearing impaired are not verified. Low voltage systems and disassembly of mechanical appliances are not included in the inspection.

- Limitation: Outlets that are not accessible due to furniture and personal items were not tested at the time of the inspection.
- MAINTENANCE: Periodic testing and changing batteries yearly to ensure proper Smoke Alarm operation is required.
- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- Arc faults (AFCI) missing from all branch circuit breakers throughout the home. These were not required when the home was built. Current NEC standards require arc faults at some/all branch circuits supplying outlets or devices installed in dwelling unit kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas, or similar rooms/areas.
- The doorbell is not functional at the front entry at the time of the inspection.
- Loose / Unsecured OR inoperable light fixtures were noted present at one or more locations.
- Damaged / Inoperable switches noted at one or more locations.
- Smoke detectors are missing at walls or ceiling spaces in the following locations: Sleeping areas. Recommend installation of hardwired, interlinked smoke detectors with battery back-up systems. Required in all bedrooms, hallway outside bedrooms and at least one on every floor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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INOPERABLE DOOR BELL



DAMAGED / INOPERABLE LIGHT FIXTURE



DAMAGED SWITCH



MISSING SMOKE DETECTOR

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

 A. Heating Equipment

Type of Systems:

- Direct Port
- The furnace is located at the ATTIC

Energy Sources:

- The furnace is gas powered.

Comments:

- About Heating Equipment:

The heating unit is designed to heat and circulate the inside air. Central heating units often work in conjunction with central cooling systems. The inspector operates the heating equipment if it deemed safe to do so. Inspectors visually inspect the heating unit for general operation and safety issues.

Inspectors are not authorized to disassemble heating or cooling components as a part of the home inspection. Inspectors do not verify compatibility of components, accuracy of the thermostat, integrity of the heat exchanger, sizing/tonnage, or uniformity of the air supply. In order to maximize the efficiency of a heating/cooling system, it is advisable to have them serviced annually. Any deficiencies can be an indication of a more serious condition, and further evaluation by a licensed HVAC specialist is advised if there are concerns.

- The heating equipment was inspected and no deficiencies were noted at the time of the inspection.



FURNACE OK



FURNACE 1 OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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FURNACE 2 OK



VENTING OK



VENTING OK



VENTING OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Cooling Equipment
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Type of Systems:

- Split-System
- Refrigerant: R-410A

Comments:

- About Cooling Equipment:

The cooling equipment is designed to cool and circulate the inside air. Central air conditioning units often work in conjunction with central heating systems. The inspector operates the cooling equipment if the outside temperature is above 60 degrees and deemed safe to do so. Inspectors visually inspect the cooling equipment for general operation and safety issues.

Inspectors are not authorized to disassemble heating or cooling components as a part of the home inspection. Inspectors do not verify compatibility of components, accuracy of the thermostat, sizing/tonnage, or uniformity of the air supply. In order to maximize the efficiency of a heating/cooling system, it is advisable to have them serviced annually. Any deficiencies can be an indication of a more serious condition, and further evaluation by a licensed HVAC specialist is advised if there are concerns.

- MAINTENANCE: Remember to properly clean the primary drain line from the evaporator. It is recommended to clean this line with bleach every other month or as needed to prevent clogging / water damage.

- Air differential tested: Register =60 Return = 75 DELTA = 15 degrees (Standard range is 14 - 22 degrees for the cooling equipment.) YOU CAN ALWAYS VERIFY THIS INFORMATION WITH THE PROVIDED PICTURE OF THE ACTUAL MEASUREMENT

- First floor air differential tested: Register =55 Return = 74 DELTA = 19 . (Standard range is 14 - 22 degrees for the cooling equipment.)

- All deficiencies noted should be evaluated and repaired by a licensed HVAC professional.
- The secondary drain line for the evaporator was noted exiting at the RIGHT of the home. (If this pipe ever drips then the primary line is clogged and needs cleaning)
- The thermostat is loose on the wall. The thermostat being securely mounted to the wall will prevent damage to the electrical wiring or thermostat itself.
- Deteriorated insulation present at refrigerant line located at the exterior condenser. Refrigerant line should be properly insulated to prevent condensation from forming.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



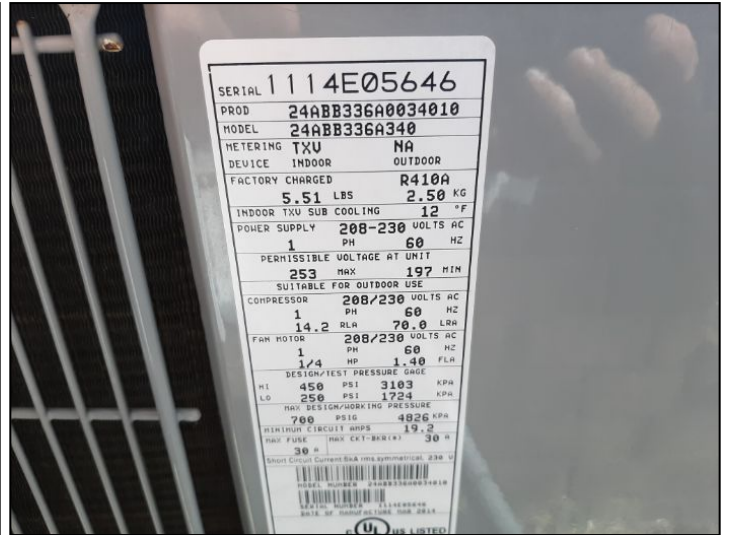
CONDENSING UNIT OK



INSULATION DETERIORATION



LABEL



LABEL

I=Inspected

NI=Not Inspected

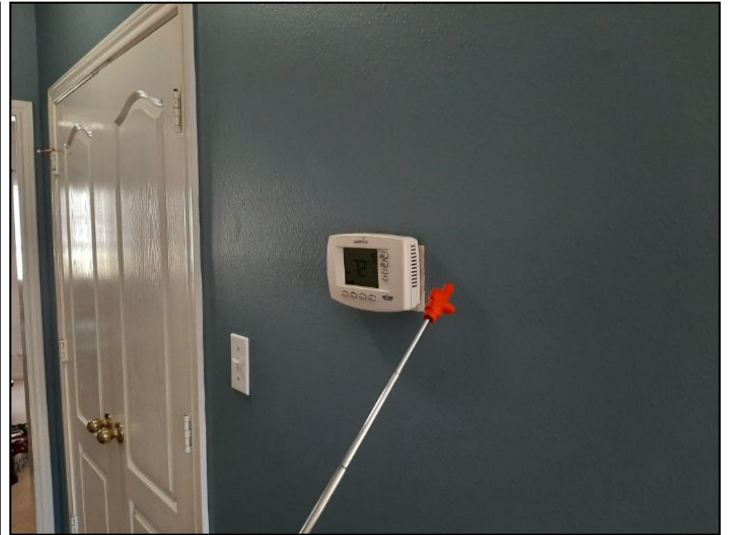
NP=Not Present

D=Deficient

I	NI	NP	D
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EVAPORATOR SECONDARY DRAIN PIPE
ROUTED HERE



LOOSE / UNSECURED THERMOSTAT



THERMOSTAT 2 OK



EVAPORATOR 1 OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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EVAPORATOR 2 OK



DIFFERENTIAL SUPPLY 1



DIFFERENTIAL RETURN 1



DIFFERENTIAL SUPPLY 2

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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DIFFERENTIAL RETURN 2

X			
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C. Duct Systems, Chases, and Vents

Comments:

- The visible ductwork and air flow presence is verified at every accessible register throughout the residence. Any deficiencies which can be identified in the duct system, chases or vents will be reported. Ventilation in the residence and attic is very important for the overall performance of the structure. Proper ventilation can help to control moisture levels and vent out harmful combustion gases.

Limitation of Scope: A home inspection is not a mold or air quality assessment. Texas law does not allow a home inspector to positively identify or report the presence of mold. Environmental and mold investigations should be only be conducted by a trained and state licensed professional. Any issues noted could indicate a more serious condition and should be evaluated further by a licensed HVAC professional if there are concerns.

- MAINTENANCE: The air filter(s) should be inspected at least monthly and cleaned or replaced as required. Filters help clean the house air, making the environment more pleasant. Filters also clean the air before it passes through the blower and heat exchanger. This helps to keep the furnace components working efficiently. There are two types of filters commonly used: (1) Washable filters, (constructed of aluminum mesh, foam, or reinforced fibers) these may be cleaned by soaking in mild detergent and rinsing with water. Or (2) Fiberglass disposable filters that must be REPLACED before they become clogged. Remember that dirty filters are the most common cause of inadequate heating or cooling performance.
- The temperature of warm and/or cool air detected is consistent at all interior registers throughout the residence.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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FILTER OK



FILTER OK



DUCTING OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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IV. PLUMBING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Plumbing Supply, Distribution System and Fixtures
-------------------------------------	--------------------------	--------------------------	-------------------------------------	--

Location of Water Meter:

- Left side of house.

Location of Main Water Supply Valve:

- Left side of house.
- The main water supply line for the home was noted of the following size (minimum of 3/4 inch required):

3/4 INCH

Comments:

- About Plumbing Supply Systems:

The plumbing system of a home includes the shutoff valve, water supply lines, plumbing drains, plumbing vents, and fixtures. Much of the plumbing system is not accessible as it is hidden behind walls or other obstructions. Though some conditions can be discovered by a visible inspection, there may be some underlying hazardous or damaging conditions that are hidden from view.

Limitation of scope: The inspector does not operate any shutoff valves and is not required to inspect (beyond a visual inspection) other mechanical systems such as pool pumps, underground irrigation lines, filter systems, fire sprinklers or backflow devices. Potability and/or water quality is not assessed as part of a home inspection. Water testing should only be done by qualified professionals if there are concerns. Any deficiencies noted could be an indication of a more serious condition, and further evaluation is advised if there are concerns.

- Suggest all tile edges and tub/shower walls be caulked and sealed to prevent moisture penetration. All missing/damaged grouting should be replaced. Failure to keep walls sealed can cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of inspection.
- Plumbing Supply Material(s): copper
- Static Water Pressure Reading: 62 PSI
- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- The insulation on the main water line and valve to the home was noted damaged / deteriorated or missing. Recommend properly insulating all exterior water pipes as needed to prevent freeze or damage.
- Rust / Deterioration noted at one or more plumbing connections. Ensure proper repairs and updates as needed to prevent issues and water damage.
- A backflow preventer is missing at one or more exterior water spigot(s).
- The flush valve inside the commode tank was noted damaged / leaking.
- Damaged / Inoperable / Leaking plumbing fixture found at the shower / tub areas.

I=Inspected

NI=Not Inspected

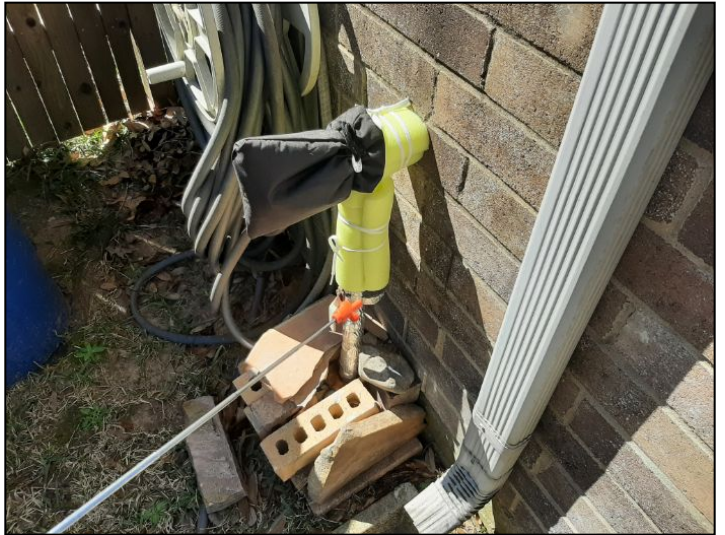
NP=Not Present

D=Deficient

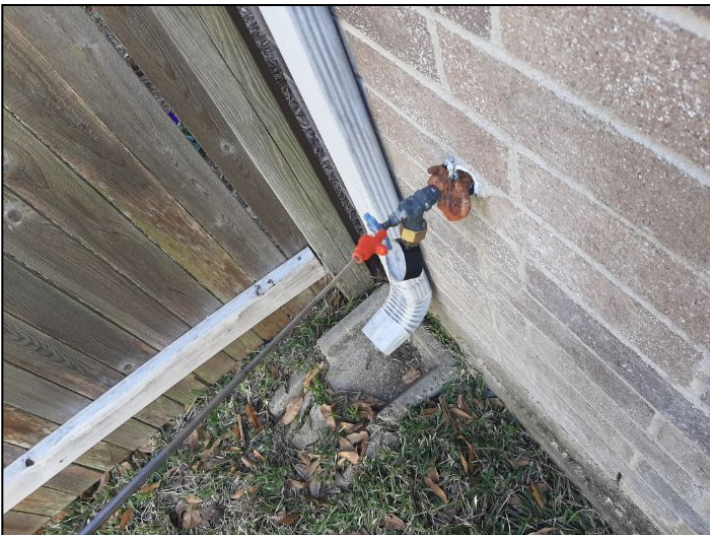
I	NI	NP	D
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WATER METER LOCATED HERE



INSULATION DETERIORATION



MISSING BACKFLOW DEVICE



WATER PRESSURE OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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HOT WATER OK



HOT WATER OK



RUST / CORROSION AT CONNECTIONS



HOT WATER OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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HOT WATER OK



HOT WATER OK



DAMAGED / LEAKING FIXTURE



DAMAGED / LEAKING FLUSH VALVE

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

 B. Drains, Wastes, and Vents

Comments:

• About Drains and Waste Vents:

The inspection of the plumbing drainage system includes basins which hold water, drain stops, overflow drains, visual drain pipes, and clean-outs spaced throughout the residence.

Limitation of scope: Much of the plumbing drain line system is not accessible and is hidden behind walls, attic spaces, or other obstructions. Functionality of floor drains can only be assessed by running plumbing supplies within the corresponding wet areas.

- All sinks and tubs throughout the home were completely filled and drained. This applies maximum pressure to the drain lines. The system performed as intended at the time of the inspection.
- **Slow / Clogged drain noted present at one or more plumbing locations. In most cases the drain line merely needs to be cleaned. This can be achieved through chemicals found at your typical store.**



SLOW / CLOGGED DRAIN

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

 C. Water Heating Equipment

Energy Source:

- Water heater is gas-fueled
- Water heater is located in the attic

Capacity:

- Unit capacity is 50 gallons

Comments:

- About Water Heaters:

Water heaters are designed to heat water throughout designated fixture supplies throughout the home. This report includes the energy source and capacity of the water heating unit (if available or listed). General installation and safety issues are assessed by the inspector. Annual maintenance (or whatever maintenance schedule the manufacturer advises) should be performed to residential water heaters. If the client is not comfortable performing general water heater maintenance, consultation with a qualified professional is advised. Any deficiencies noted could be an indication of a more serious condition, and further evaluation by a licensed plumber is also recommended if there are concerns.

Limitation of scope: Water heaters should be equipped with a temperature and pressure relief valve that is designed to relieve back pressure in the unit if the pressure or temperature exceeds the unit's capacity. This component is not tested as a part of the inspection for each water heating unit, as any failure may result in unforeseen damage to persons or property.

- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.

- **Current signs of water intrusion and / or unsealed areas was noted around the roof jack that secures the exhaust vent pipe for the heater.**



VENTING OK



WATER HEATER CONNECTIONS OK

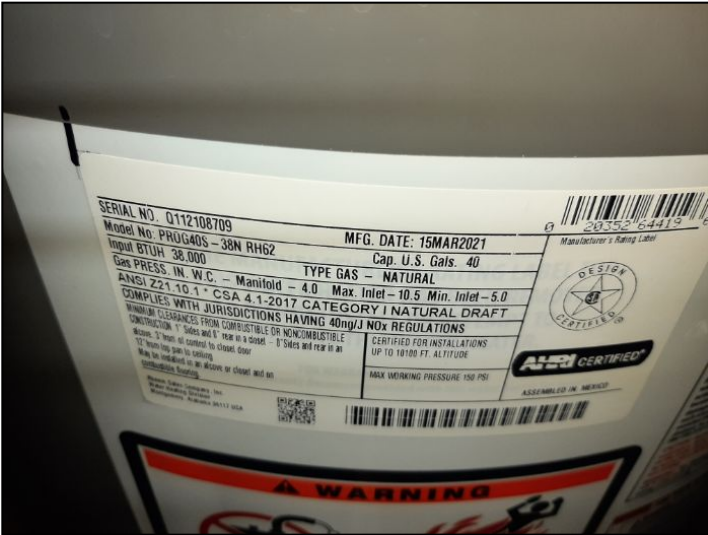
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

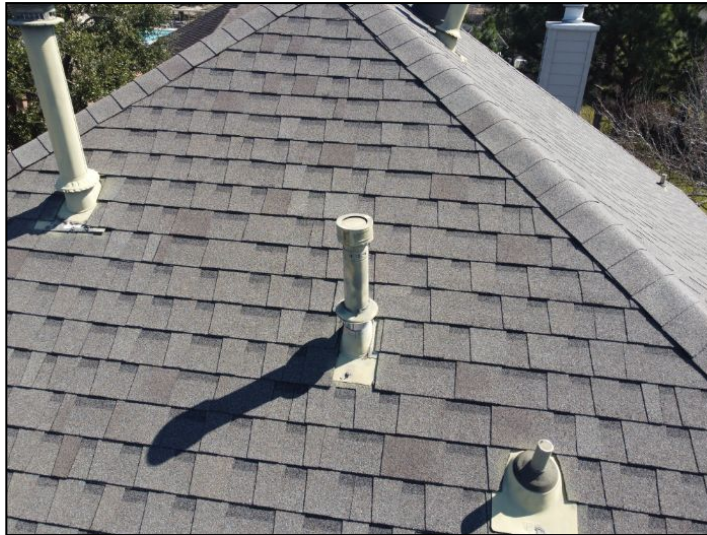
I	NI	NP	D
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LABEL



UNSEALED AREA



VENTING OK

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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D. Hydro-Massage Therapy Equipment

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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REGULAR TUB OK

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. Other
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Materials:

Comments:

- The white plastic covering for the cabinets were noted peeling or coming loose at multiple areas. Although minor some repairs or securing may be needed.



DETERIORATION / PAINT CHIPPING

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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V. APPLIANCES

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Dishwashers
-------------------------------------	--------------------------	--------------------------	-------------------------------------	----------------

Comments:

- The dishwasher was operated in 'Normal' mode and performed as intended. No deficiencies to report at the time of the inspection.
- Loose / unsecured or missing rollers were noted present at the tray or drawer. Some repairs or securing may be needed.
- Unit is not properly fastened or is loose / unsecured. Recommend securing to countertop using the appropriate length screws to prevent tip from exiting top of counter causing damage and preventing issues with the dishwasher and also adjusting the legs as needed to prevent movement when door is loaded or opened / closed.



LOOSE / UNSECURED APPLIANCE



DAMAGED / MISSING ROLLER



DISHWASHER OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Food Waste Disposers

Comments:

- The unit was operated and appeared functional at time of the inspection.



DISPOSAL OK

C. Range Hood and Exhaust Systems

Comments:

- Type: Hood with fan (unit vents to the interior)
- Range hood light fixture and all fan speeds were tested (the unit appears to be functional at the time of the inspection).



VENT HOOD OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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D. Ranges, Cooktops, and Ovens

Comments:

- Cooktops: natural gas
- Oven : electric
- Oven operated when tested and achieve proper temperature settings. Oven is tested at 350 degrees F
- **The following gas burners were noted damaged / inoperable or not igniting from the pilot. Some repairs or updates will likely be needed: FRONT RIGHT**



LABEL



INOPERABLE BURNER



OVEN TEMPERATURE OK

E. Microwave Ovens

Comments:

- **Missing / No microwave present at the time of inspection.**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. Mechanical Exhaust Vents and Bathroom Heaters
-------------------------------------	--------------------------	--------------------------	--------------------------	--

Comments:

- All exhaust fans and/or bathroom heaters were operated and no deficiencies were noted regarding operation.



VENT FANS OK

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. Garage Door Operators
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Door Type:

- Two - single 8', steel panel, sectional doors.

Comments:

- The overhead garage door(s) operated normally when tested. No deficiencies were observed regarding operation.
- The reverse sensors were tested for the overhead garage door and performed as intended.
- **Minor damage noted at the garage door opener push buttons. Ensure proper repairs as needed.**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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GARAGE DOOR OPENER OK



GARAGE DOOR OPENER OK



EXPOSED WIRES / DAMAGED WALL SECTION

H. Dryer Exhaust Systems

Comments:

- The washer / dryer or appliances were noted present and connected thus the connections and drain line could not be fully verified.
- Both gas and electrical type supply connections were noted present for the dryer.
- Exterior dryer vent cover flap does not properly seal with exterior wall OR is missing / not present. Possible intrusion point for pests.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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DAMAGED EXTERIOR VENT COVER



APPLIANCES PRESENT



CONNECTION OK



BOTH GAS AND ELECTRIC DRYER CONNECTIONS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	I. Other
-------------------------------------	--------------------------	--------------------------	-------------------------------------	----------

Observations:

- The main gas valve and meter for the home did NOT appear to be bonded. If not bonded recommend proper repairs / updates as needed to prevent issues or shock.
- Improper transition material / Missing sleeve noted at the wall and gas pipe transition. Ensure proper installation as needed to prevent rust and corrosion.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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MISSING BONDING

VI. OPTIONAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Landscape Irrigation (Sprinkler) Systems
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Comments:

- All deficiencies noted should be evaluated and repaired by a licensed irrigation professional.
- All zones tested. The irrigation system performed as intended at the time of the inspection.
- Irrigation system does not have rain sensor installed. Rain sensors are required under current standards for water conservation.
- Conduit protecting irrigation system wiring damaged. This exposes wiring to mechanical and weather damage.
- Missing / Damaged insulation at backflow device. Ensure all areas are properly protected from freezing

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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LOOSE / UNSECURED CONDUIT



INSULATION DETERIORATION



SPRINKLER CONTROL OPERATIONAL



SPRINKLER ZONES OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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SPRINKLER ZONES OK

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	B. Swimming Pools, Spas, Hot Tubs, and Equipment
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Type of Construction:
Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	C. Outbuildings
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Materials:
Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. Private Water Wells (A coliform analysis is recommended)
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Type of Pump:
Type of Storage Equipment:
Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Private Sewage Disposal (Septic) Systems
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Type of System:
Location of Drain Field:
Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	F. Other
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Comments:

Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

Report Summary

STRUCTURAL SYSTEMS		
Page 4 Item: A	Foundations	<ul style="list-style-type: none"> Minimal damage / deterioration were noted present at the wooden expansion joints between various driveway or walkway sections. Maintaining this seal will help prevent uneven section and excessive sloping.
Page 5 Item: B	Grading and Drainage	<ul style="list-style-type: none"> NOTE: all slopes of the roof should be guttered to ensure that water is adequately diverted away from the structure. The grade of the ground around the residence should be improved to promote the flow of water away from the property in one or more locations. This can be achieved by the addition or removal of top soil as well as the installation of a drainage system. The ground should slope away from the home at a rate of no less than 6 inches within the first 10 feet. The gutters are clogged at one or more locations around the perimeter of the home and should be cleaned to allow for adequate performance. Mulch level in flowerbed(s) abutting structure is too high. This is a conducive condition for wood destroying insects. Mulch levels should be low enough to expose a minimum of 6" of slab foundation.
Page 8 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> Exposed nail heads were observed in multiple locations at the ridge shingles and/or counter-flashings for the roof covering. These should be properly sealed throughout the roof to prevent water intrusion from rust.
Page 10 Item: D	Roof Structure and Attics	<ul style="list-style-type: none"> Insufficient insulation was noted in the attic space per today's current standards. Improvements to the insulation may increase energy efficiency. The attic stairway is NOT insulated. This is a point of energy loss. Wood Rot / Deterioration were noted at various areas of the fascia / soffit boards. Missing / Damaged moisture wrap or barrier was noted present at the inside the the attic area. Moisture buildup and intrusion CAN be a factor leading to mold and high humidity. Gap(s) are present where the fascia board meets the roof line due to vermin activity. Ensure all areas are sealed as needed.
Page 15 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> Seal deterioration / Unsealed areas were noted at one or more exterior siding intersections. Ensure all areas are properly sealed to help prevent issues and water intrusion. Signs of paint deterioration / fading or unpainted areas were noted at one or more spots of the exterior siding. One or more locations on the exterior cladding showed evidence of paint peeling, fading, blistering and/or cracking and repairs should be considered. The exterior siding was found damaged and deteriorated at one or more locations.

Page 18 Item: F	Ceilings and Floors	<ul style="list-style-type: none"> • Water leak and staining noted at one or more ceiling spots. • The sub-flooring is noisy/loose at the second story in the residence. This is common deficiency for high traffic areas throughout the home. Repairs are recommended. • Cracks were observed to ceiling drywall in one or more locations.
Page 20 Item: G	Doors (Interior and Exterior)	<ul style="list-style-type: none"> • MAINTENANCE: Recommend proper lubrication at the railing and rollers as needed to prevent issues or damage and sticking. CURRENTLY NEEDED • The hardware on one or more doors was found damaged / inoperable or not properly latching. • One or more doors were found rubbing / sticking on its frame thus not properly functioning as intended. • Door stops are missing for one or more interior doors throughout the residence. Recommend addition to prevent damage to walls within range of motion of each fixture. • Signs of fading and deterioration were noted at the front door.
Page 23 Item: H	Windows	<ul style="list-style-type: none"> • Rust/deterioration present at one or more Lintels or metal braces typically found over large openings such as windows / doors. It is important these braces are maintained to prevent issues such as cracked brick and separation. • Minimal signs of wood rot and deterioration were noted around one or more windows.
Page 26 Item: K	Porches, Balconies, Decks, and Carports	<ul style="list-style-type: none"> • Improper signs of support and installation were noted at the back patio / porch. Proper installation utilizes metal hangers.
Page 27 Item: L	Other	<ul style="list-style-type: none"> • Many large tree roots were noted in close proximity to the home. Roots may cause problems with the plumbing system and foundation issues. Recommend properly cutting all roots within 5 feet of the home as needed to prevent damage.
ELECTRICAL SYSTEMS		
Page 29 Item: A	Service Entrance and Panels	<ul style="list-style-type: none"> • Missing antioxidant paste for aluminum service entrance conductors at the exterior service panel. • Service panel not properly sealed to exterior wall. This can allow moisture penetration in to panel enclosure and wall. • Signs of deterioration and rusting noted at the exterior electrical panel.
Page 32 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> • Arc faults (AFCI) missing from all branch circuit breakers throughout the home. These were not required when the home was built. Current NEC standards require arc faults at some/all branch circuits supplying outlets or devices installed in dwelling unit kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas, or similar rooms/areas. • The doorbell is not functional at the front entry at the time of the inspection. • Loose / Unsecured OR inoperable light fixtures were noted present at one or more locations. • Damaged / Inoperable switches noted at one or more locations. • Smoke detectors are missing at walls or ceiling spaces in the following locations: Sleeping areas. Recommend installation of hardwired, interlinked smoke detectors with battery back-up systems. Required in all bedrooms, hallway outside bedrooms and at least one on every floor.

HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Page 36 Item: B	Cooling Equipment	<ul style="list-style-type: none"> • The thermostat is loose on the wall. The thermostat being securely mounted to the wall will prevent damage to the electrical wiring or thermostat itself. • Deteriorated insulation present at refrigerant line located at the exterior condenser. Refrigerant line should be properly insulated to prevent condensation from forming.
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PLUMBING SYSTEMS

Page 42 Item: A	Plumbing Supply, Distribution System and Fixtures	<ul style="list-style-type: none"> • The insulation on the main water line and valve to the home was noted damaged / deteriorated or missing. Recommend properly insulating all exterior water pipes as needed to prevent freeze or damage. • Rust / Deterioration noted at one or more plumbing connections. Ensure proper repairs and updates as needed to prevent issues and water damage. • A backflow preventer is missing at one or more exterior water spigot(s). • The flush valve inside the commode tank was noted damaged / leaking. • Damaged / Inoperable / Leaking plumbing fixture found at the shower / tub areas.
Page 46 Item: B	Drains, Wastes, and Vents	<ul style="list-style-type: none"> • Slow / Clogged drain noted present at one or more plumbing locations. In most cases the drain line merely needs to be cleaned. This can be achieved through chemicals found at your typical store.
Page 47 Item: C	Water Heating Equipment	<ul style="list-style-type: none"> • Current signs of water intrusion and / or unsealed areas was noted around the roof jack that secures the exhaust vent pipe for the heater.
Page 49 Item: E	Other	<ul style="list-style-type: none"> • The white plastic covering for the cabinets were noted peeling or coming loose at multiple areas. Although minor some repairs or securing may be needed.

APPLIANCES

Page 50 Item: A	Dishwashers	<ul style="list-style-type: none"> • Loose / unsecured or missing rollers were noted present at the tray or drawer. Some repairs or securing may be needed. • Unit is not properly fastened or is loose / unsecured. Recommend securing to countertop using the appropriate length screws to prevent tip from exiting top of counter causing damage and preventing issues with the dishwasher and also adjusting the legs as needed to prevent movement when door is loaded or opened / closed.
Page 52 Item: D	Ranges, Cooktops, and Ovens	<ul style="list-style-type: none"> • The following gas burners were noted damaged / inoperable or not igniting from the pilot. Some repairs or updates will likely be needed: FRONT RIGHT
Page 52 Item: E	Microwave Ovens	<ul style="list-style-type: none"> • Missing / No microwave present at the time of inspection.
Page 53 Item: G	Garage Door Operators	<ul style="list-style-type: none"> • Minor damage noted at the garage door opener push buttons. Ensure proper repairs as needed.
Page 54 Item: H	Dryer Exhaust Systems	<ul style="list-style-type: none"> • Exterior dryer vent cover flap does not properly seal with exterior wall OR is missing / not present. Possible intrusion point for pests.
Page 55 Item: I	Other	<ul style="list-style-type: none"> • The main gas valve and meter for the home did NOT appear to be bonded. If not bonded recommend proper repairs / updates as needed to prevent issues or shock. • Improper transition material / Missing sleeve noted at the wall and gas pipe transition. Ensure proper installation as needed to prevent rust and corrosion.

OPTIONAL SYSTEMS

Page 56 Item: A	Landscape Irrigation (Sprinkler) Systems	<ul style="list-style-type: none">• Irrigation system does not have rain sensor installed. Rain sensors are required under current standards for water conservation.• Conduit protecting irrigation system wiring damaged. This exposes wiring to mechanical and weather damage.• Missing / Damaged insulation at backflow device. Ensure all areas are properly protected from freezing
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