



LINE	BEARING	DISTANCE
L1	S 47°18'55" E	304.21'
L2	N 47°18'55" W	304.21'



**SYMBOL LEGEND**

- P - Overhead Power Line
- Guy Wire
- // - Wood Fence
- XXX - Wrought Iron Fence
- XX - Chainlink Fence
- X - Wire Fence
- Fire Hydrant
- Power Pole
- Telephone Pedestal
- Water Valve
- Water Meter
- Set Iron Rod w/TPS Cap
- End Iron Rod

**SAN FELIPE DE AUSTIN SURVEY**  
**ABSTRACT No. 5**

REMAINDER OF HAWTHORNE VENTURES, LP  
 CALLED 144.623 ACRES  
 "TRACT TWO"  
 INSTRUMENT No. 203045  
 O.R.A.C.T.

PORTION OF HAWTHORNE VENTURES, LP  
 CALLED 144.623 ACRES  
 "TRACT TWO"  
 INSTRUMENT No. 203045  
 O.R.A.C.T.

**TRACT 3**  
**11.000 ACRES**

REMAINDER OF HAWTHORNE VENTURES, LP  
 CALLED 144.623 ACRES  
 "TRACT TWO"  
 INSTRUMENT No. 203045  
 O.R.A.C.T.

FND 5/8" I.R.  
 W/CAP

N 47°18'55" W 608.41'

SET 1/2" I.R.  
 W/TPS CAP

DANIEL GEORGE AND  
 LAURA GEORGE  
 CALLED 258.32 ACRES  
 C.F. No. 154357  
 O.R.A.C.T.

**MEITH ROAD**

POB  
 SET 1/2" I.R.  
 W/TPS CAP

POC  
 FND 5/8" I.R.

14.8'

30' U.E.

18.0'

L2

30' U.E.

18.0'

L1

30' U.E.

18.0'

L1

30' U.E.

18.0'

L2

30' U.E.

18.0'

L1

30' U.E.

18.0'

L1

30' U.E.

18.0'

L1

30' U.E.

18.0'

L1

30' U.E.

18.0'

BOUNDARY SURVEY

BEING a 11.000 acre tract of land situated in the San Felipe De Austin Survey Abstract Number 5, Austin County, Texas, being comprised of a portion of that certain called 144.623 acre tract described as "Tract Two" in instrument to Hawthorne Ventures, LP., recorded under Instrument Number 203045 of the Official Records of Austin County, Texas (O.R.A.C.T.), said 11.000 acre tract being more particularly described by attached metes and bounds description.

General Notes:

1) This survey was performed without benefit of a current title report. Surveyor did not abstract title and does not certify to easements or restrictions not shown. Check with your local governing agencies for any additional easements, building lines or other restrictions not reflected on survey.

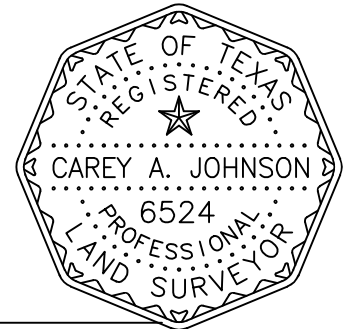
This Property Lies in Zone X outside the 100 Year Flood Plain Per Graphic Scaling according to Community Panel No. 48015C0400F having an effective date of 10/18/2019.

Job No.: B543-02  
 Scale: 1"=200'  
 Date: 3/26/2021  
 Drawn By: TK  
 Field Crew: TC  
 Revised:

Purchaser Hawthorne Ventures, LP  
 Address Meith Road, Sealy Tx, 77474  
 Lot \_\_\_\_\_, Block \_\_\_\_\_, Section \_\_\_\_\_  
 Survey San Felipe De Austin, A 5  
 Area 11.000 Acres  
 Subdivision \_\_\_\_\_  
 Cabinet \_\_\_\_\_, Sheet \_\_\_\_\_, \_\_\_\_\_ Records  
 Austin County, Texas

Bearings shown hereon are based on GPS observations and are referenced to the NAD83, Texas State Plane Coordinate System, South Central Zone (4204).

I hereby certify that this survey was this day made under my supervision on the ground of the above described property, and that the above plat or drawing reflects the findings on the ground of the property at this time and that this survey meets the minimum standards of practice as approved by the Texas Board of Professional Land Surveying.



*Carey A. Johnson*  
 Registered Professional Land Surveyor No. 6524

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