



## PROPERTY INSPECTION REPORT FORM

Jeremy Hope <i>Name of Client</i>	05/16/2022 <i>Date of Inspection</i>
4430 Rusk Street , Houston, TX 77023 <i>Address of Inspected Property</i>	
Ron Grant <i>Name of Inspector</i>	<i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

### PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

### RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect systems or components listed under the optional section of the SOPs (22 TAC 535.233).

### RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

<b>I = Inspected</b>	<b>NI = Not Inspected</b>	<b>NP = Not Present</b>	<b>D = Deficient</b>
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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D*</b>
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## REPORT SUMMARY

### I. STRUCTURAL SYSTEMS

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#### A. Foundations

*Comments:*

- No insulation observed under the subfloor at the crawl space. Adding insulation will promote the desired comfort level in the home and reduce utility costs.
- Crawl space was inaccessible at time of inspection. No means of access could be found. Recommend installing a minimum 18" high x 24" wide access panel, as required by the International Residential Building Code. **(Throughout)**
- The foundation has signs of previous foundation repairs. Buyers should obtain all transferable warranty information regarding repairs from the seller.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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#### B. Grading and Drainage

*Comments:*

- The Inspector noted the lack of slope around the property. Healthy drainage occurs when the slope is between 2 percent and 5 percent, which equates to 2 to 5 inches of drop-off for every 10 feet. Recommend corrections by a qualified contractor.
- Inconsistent slope noted under the home which will prevent the processing of storm water and cause excessive moisture to accumulate under the home. Corrections should be made by a qualified contractor.

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#### C. Roof Covering Materials

*Comments:*

- Observed un-painted portions of flashing at the front elevation roof covering. Painting of flashing will provide necessary UV and storm protection and prevents rusting.
- Observed un-painted portions of vent stacks through-out the roof covering. Painting of vent stacks will provide necessary UV and storm protection.
- Sagging ridge noted. Recommend repair by a qualified general contractor. **(Exterior Left)**
- Lifted flashing observed at the roof covering. Lifted flashing can allow wind driven storm water to intrude under the roof covering. Recommend corrections by a qualified roofing contractor.
- Flashing not sealed at several locations around the structure. Recommend repair by a qualified roofing contractor. **(Throughout)**
- Damaged and deteriorated shingles observed at the right side roof covering (see photos below). A qualified roof contractor should examine shingles to determine if shingles are still considered serviceable. **(Various)**
- Sagging valley noted. Recommend further investigation and evaluation by a qualified general contractor.
- Several areas of the roof has exposed nails. Exposed nail heads should be sealed to prevent the intrusion of storm water (See photos).

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I	NI	NP	D*
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**I. Stairways (Interior and Exterior)***Comments:*

- Wall mount handrails does not meet compliance standards for stairway handrails (see photo). Codes require handrails to extend full length of the stairway and curve inward and return to the wall to prevent snagging of clothing. Recommend corrections made by a qualified trim contractor.
- Stair tread depth is 9". Code requires treads to be at least 10" with nosing. Recommend a qualified trim contractor construct stair in accordance with current stair safety codes. Prior to repairs home occupants should use extra care when traveling down stairs.
- The Inspector noted the head room above the stairway was too low. At any point on the staircase, a user should have a full 6 feet, 8 inches minimum vertical distance between the top of the stair tread and the bottom of the ceiling. Corrections should be made by a qualified contractor.
- Noise transfer noted at the risers. Recommend corrections by a qualified contractor.

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**K. Porches, Balconies, Decks, and Carports***Comments:*

- Handrails are missing at the exterior stair system. Recommend handrail installation by a qualified trim contractor. **(Exterior Front)**
- Broken driveway and private walk section noted. Repairs should be made by a qualified concrete contractor as needed.

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**L. Other***Comments:*

- Observed active nesting insects at the rear of the structure. Recommend a qualified pest control contractor provide safe removal. **(Exterior Right)**

**II. ELECTRICAL SYSTEMS**

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**A. Service Entrance and Panels***Comments:*

- Service panel was not labeled properly at the time of the inspection (see photo). Recommend labeling by a qualified person or electrician. **(Exterior Rear)**
- Burn marks observed at the service entrance wire terminal. Recommend further investigation and evaluation for repairs by a licensed electrical contractor. **(Exterior Rear)**

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**B. Branch Circuits, Connected Devices, and Fixtures***Comments:*

- Some light bulbs were missing and not functioning during the inspection. Light bulbs should be replaced, and fixture operation verified to ensure an underlying electrical issue does not exist.

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I	NI	NP	D*
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**B. Drains, Wastes, and Vents***Comments:*

- It appears this home has some cast iron drain lines. Cast iron sewer pipes are very common in homes built from 1900 to 1970's. As a result of what runs through cast iron sewer pipes, corrosive actions take place within the pipe. As the pipe corrodes; scale, calcification, and rust forms. This scale continues to accumulate slowly over time. When scale builds to a certain level, it will decrease the diameter of the pipe. Consequently, drain clogs and sewer backups occur more frequently. Problems with the plumbing waste pipes under the slab can only be detected by an under-slab plumbing leak test, which should be obtained as a precaution.
- Observed the use of a non-professional drains installed under several sinks (see photos). Drainage fittings shall have a smooth interior waterway of the same diameter as the piping served. Recommend a licensed Plumber for corrective actions.
- The Inspector could not verify if this home has been upgraded from cast iron pipping. Buyers should obtain a sewer scope and/or hydrostatic evaluation by a qualified contractor.
- Leak observed under multiple sinks (see photo). Recommend repairs by a licensed Plumber.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**E. Gas Distribution Systems and Gas Appliances***Comments:*

- Gas meter not installed. **(Exterior Right)**

**V. APPLIANCES**

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**C. Range Hood and Exhaust Systems***Comments:*

- Vent hood (under microwave) is not vented to the exterior. When this occurs the vent hood should have the proper filters designed for recirculating. Recommend replacing current filter with charcoal ones.

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**D. Ranges, Cooktops, and Ovens***Comments:*

- Anti-tip mechanism on the range was not performing or not installed which is considered a safety hazard. Recommend a qualified technician for corrections as needed. **(Kitchen)**

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**F. Mechanical Exhaust Vents and Bathroom Heaters***Comments:*

- No exhaust fan located in the Utility Room. With a dryer in use, this room will remain hot and will build-up excessive moisture from the heat. Consideration should be given to having an exhaust fan installed to help dissipate heat related moisture.

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**H. Dryer Exhaust Systems***Comments:*

- Inspector noted an incomplete dryer exhaust vent located on the interior wall. Recommend corrections by a qualified contractor.

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### INSPECTION REPORT

#### I. STRUCTURAL SYSTEMS

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#### A. Foundations

Type of Foundation(s): Pier and beam

Comments:

- No insulation observed under the subfloor at the crawl space. Adding insulation will promote the desired comfort level in the home and reduce utility costs.



- Crawl space was inaccessible at time of inspection. No means of access could be found. Recommend installing a minimum 18" high x 24" wide access panel, as required by the International Residential Building Code. (Throughout)



- Limitation - Due to no crawl space access is provided, certain areas of the foundation could not be observed.

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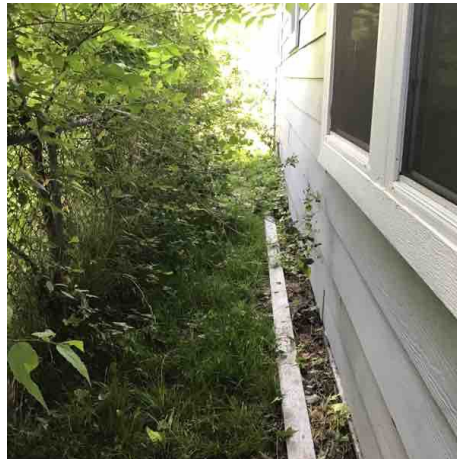
- The foundation has signs of previous foundation repairs. Buyers should obtain all transferable warranty information regarding repairs from the seller.



**B. Grading and Drainage**

*Comments:*

- Normal industry standards indicate water can pond in yards during rainstorms, but if the water does not dissipate within 48 hours after the rain stops from either soil absorption, or natural drainage runoff then a ponding issue exists.
- **The Inspector noted the lack of slope around the property. Healthy drainage occurs when the slope is between 2 percent and 5 percent, which equates to 2 to 5 inches of drop-off for every 10 feet. Recommend corrections by a qualified contractor.**



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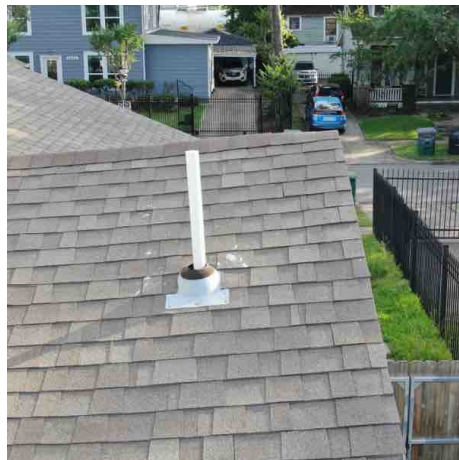
- 30 year roof covering noted. Buyer's should consider having all penetration points and transitions re-sealed/caulked initially and every 3 to 5 years.



- **Observed un-painted portions of flashing at the front elevation roof covering. Painting of flashing will provide necessary UV and storm protection and prevents rusting.**



- **Observed un-painted portions of vent stacks through-out the roof covering. Painting of vent stacks will provide necessary UV and storm protection.**

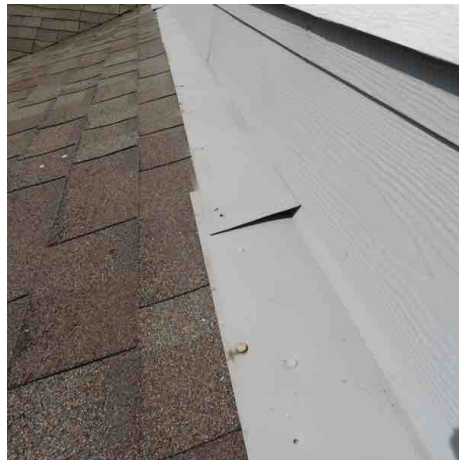




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• **Flashing not sealed at several locations around the structure. Recommend repair by a qualified roofing contractor. (Throughout)**



• **Damaged and deteriorated shingles observed at the right side roof covering (see photos below). A qualified roof contractor should examine shingles to determine if shingles are still considered serviceable. (Various)**



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- **Plumbing boots not nailed to roof. Recommend repair by a qualified roofing contractor. (Exterior Rear)**



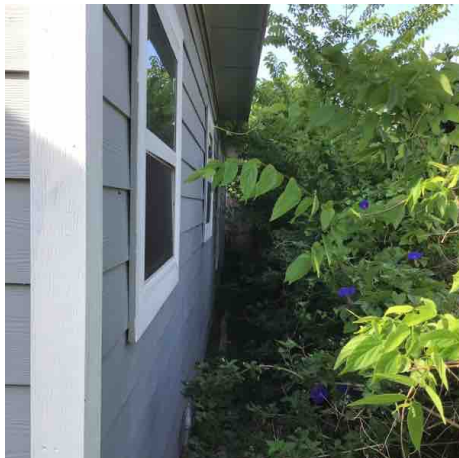
**D. Roof Structures and Attics**

**E. Walls (Interior and Exterior)**

*Comments:*

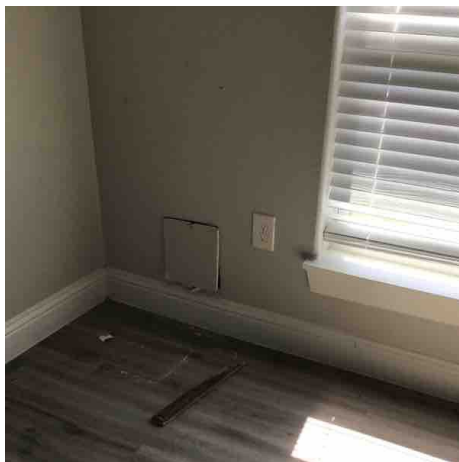
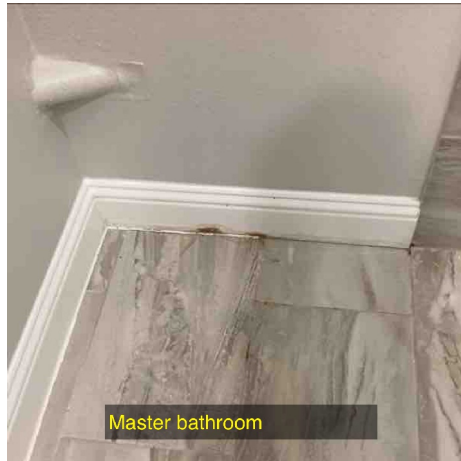
- The walls are inspected for structural performance and water penetration. Specifically excluded from this report is the presents of cosmetic concerns such as paint, minor cracks, scuffs and dings.
- Vegetation was in direct contact with the structure at several locations around perimeter of the residence creating a conducive condition for potential pest infestation. Recommend pruning / cutting back vegetation so that a minimum of 6 - 8" of distance exists between the structure and the vegetation.

**(Exterior Right)**



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- **Active moisture noted at the water heater base (verified with a moisture meter). Recommend repairs at the source and proper remediation at the drywall by qualified contractors. (Utility Room)**



**F. Ceilings and Floors**

*Comments:*

- Ceiling finish is drywall. Floor surfaces are tile and carpet. Floor structure is concrete slab on the first floor and standard wood framing on the upper floors. All appear to be in good condition. No problems were found.
- **Floors and ceilings are un level and out of square. Recommend further investigation and evaluation for repairs by a qualified general contractor. (Throughout)**



- The ceilings and floors are inspected for structural performance and water penetration. Specifically excluded from this report is the presents of cosmetic concerns such as minor cracks, scuffs and dings.

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- The construction of the rear door has allowed storm water runoff to intrude around the threshold. There are several options to mitigate this issue (gutters, roof diverter or shed roofing). Recommend consulting a general contractor for best path forward.



**H. Windows**

*Comments:*

- Windows around the structure have missing and deteriorated caulking. Caulking windows with a good exterior grade caulking will prevent storm water intrusion. (Various)



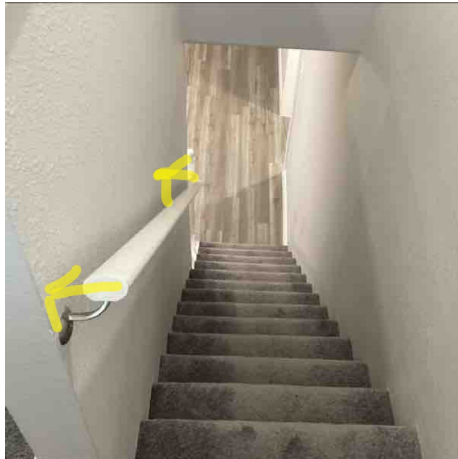
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**I** **NI** **NP** **D\***

**I. Stairways (Interior and Exterior)**

*Comments:*

- **Wall mount handrails does not meet compliance standards for stairway handrails (see photo). Codes require handrails to extend full length of the stairway and curve inward and return to the wall to prevent snagging of clothing. Recommend corrections made by a qualified trim contractor.**



- **Stair tread depth is 9". Code requires treads to be at least 10" with nosing. Recommend a qualified trim contractor construct stair in accordance with current stair safety codes. Prior to repairs home occupants should use extra care when traveling down stairs.**



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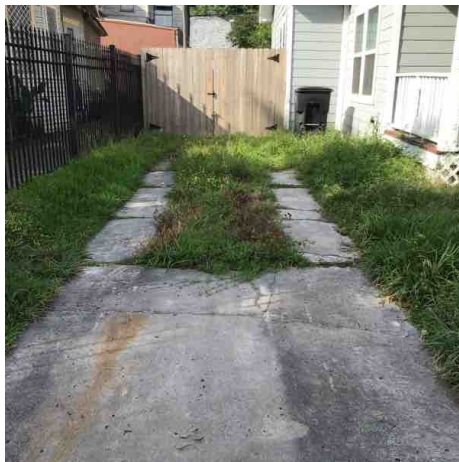
**K. Porches, Balconies, Decks, and Carports**

*Comments:*

- Handrails are missing at the exterior stair system. Recommend handrail installation by a qualified trim contractor. (Exterior Front)



- Broken driveway and private walk section noted. Repairs should be made by a qualified concrete contractor as needed.



**L. Other**

*Comments:*

- Ants, other insects and rodents can occupy a home at any time, especially if the home is unoccupied at any point during the transition from the seller to the buyer. Therefore, an initial pest control treatment is recommended.

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**II. ELECTRICAL SYSTEMS**

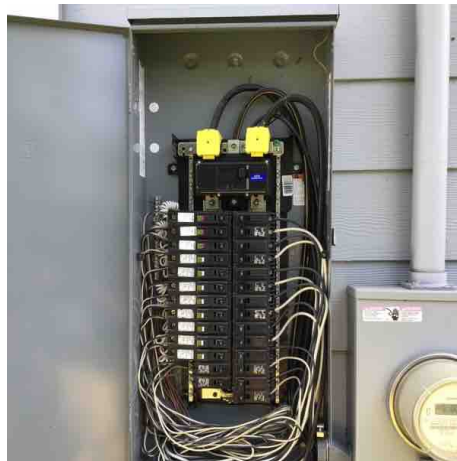
**A. Service Entrance and Panels**

*Comments:*

- Service panel was not labeled properly at the time of the inspection (see photo). Recommend labeling by a qualified person or electrician. (Exterior Rear)

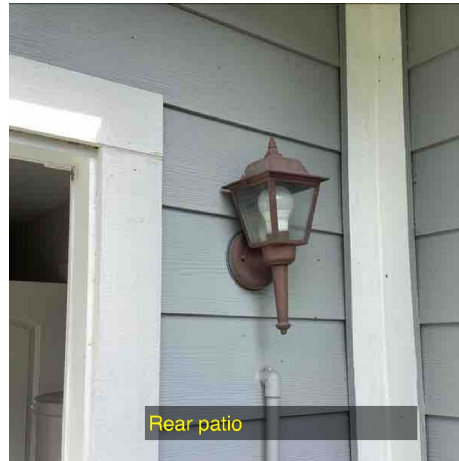
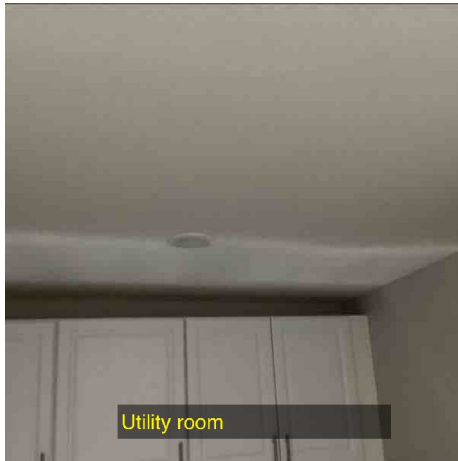


- Main distribution panel is 200 amp. Service is provided overhead from the utility company, 120/240 volt, aluminum service wires and uses breakers. Copper type wiring exist for branch circuits.





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• It is recommended that this home be equipped with ground fault circuit interrupters (GFCI) at all required locations (exterior, garage, bathrooms, kitchens and within 6 feet of the outside edge of a sink). The purpose of a GFCI circuit is to provide positive protection against a shock hazard since it will “trip” almost instantaneous if it detects moisture.



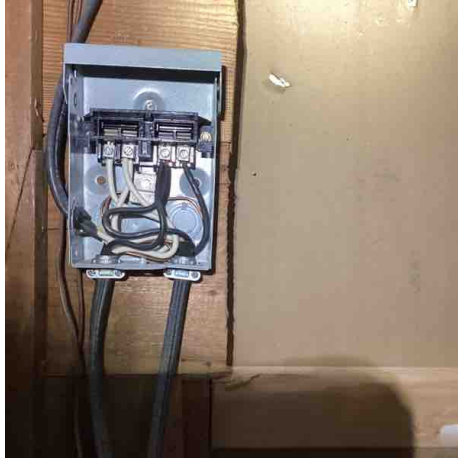
• Doorbell chime was not functioning properly at the time of the inspection. Recommend repair or replacement as needed.



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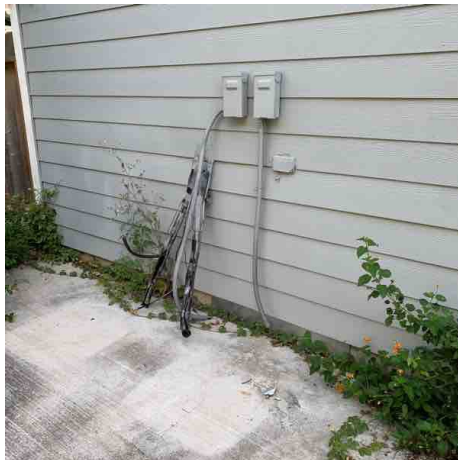
- Inspector noted the power to the downstairs furnace was not operational at the time of the inspection. Recommend further investigation and repairs by a live HVAC contractor.



**B. Cooling Equipment**

*Type of Systems: Forced air electric, Split system central air conditioning*  
*Comments:*

- Condensing unit not installed. Hall installation by a licensed mechanical contractor. (Exterior Rear)



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- Location of the water meter and shut off valve. No deficiencies noted.



- Static water pressure below 80 PSI's - no deficiencies noted.



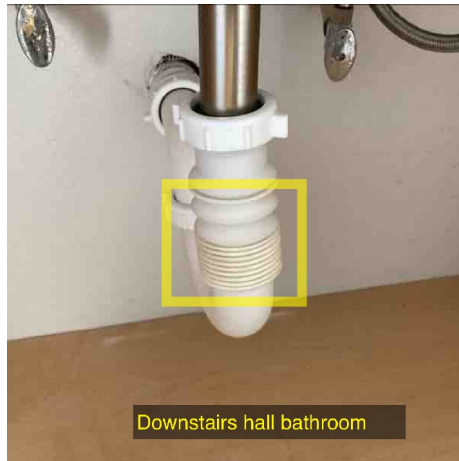
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**I   NI   NP   D\***

• It appears this home has some cast iron drain lines. Cast iron sewer pipes are very common in homes built from 1900 to 1970's. As a result of what runs through cast iron sewer pipes, corrosive actions take place within the pipe. As the pipe corrodes; scale, calcification, and rust forms. This scale continues to accumulate slowly over time. When scale builds to a certain level, it will decrease the diameter of the pipe. Consequently, drain clogs and sewer backups occur more frequently. Problems with the plumbing waste pipes under the slab can only be detected by an under-slab plumbing leak test, which should be obtained as a precaution.

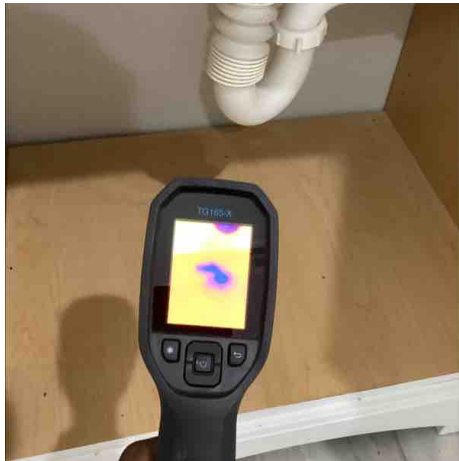


• Observed the use of a non-professional drains installed under several sinks (see photos). Drainage fittings shall have a smooth interior waterway of the same diameter as the piping served. Recommend a licensed Plumber for corrective actions.



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**C. Water Heating Equipment**

*Capacity: 40 gallon*

*Comments:*

- An electric water heater is present and was in operation at the time of the inspection. The capacity of the hot water system appears adequate for the normal needs of this size house.
- Hot water temperature at the time of the inspection.



- 40 gallon unit manufactured in 2020.



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**V. APPLIANCES**

**A. Dishwasher**

*Comments:*

- Dishwasher was operated and run through a complete cycle. Functionality and operation appear to be normal with no leaks detected.



**B. Food Waste Disposers**

*Comments:*

- Waste disposer is secure and operated.



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**I   NI   NP   D\***

- Anti-tip mechanism on the range was not performing or not installed which is considered a safety hazard. Recommend a qualified technician for corrections as needed. (Kitchen)



- Cook top in operation - no deficiencies noted.

Hot surface lamp remained illuminated until surface was cool.

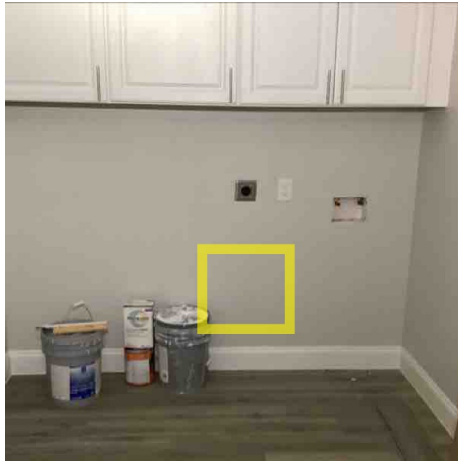


**E. Microwave Ovens**

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**I   NI   NP   D\***

• Inspector noted an incomplete dryer exhaust vent located on the interior wall. Recommend corrections by a qualified contractor.



**I. Other**

**VI. OPTIONAL SYSTEMS**

**A. Landscape Irrigation (Sprinkler) Systems**

**B. Swimming Pools, Spas, Hot Tubs and Equipment**

**C. Outbuildings**

**D. Private Water Wells**

**E. Private Sewage Disposal Systems**

**F. Other Built-in Appliances**

**G. Other**



Inspection #: 521154-1653