



REDSTAR PROFESSIONAL HOME INSPECTION, INC

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REDSTAR RESIDENTIAL INSPECTION REI 7-6

4221 Ohara
Alvin, TX 77511



Inspector

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Bayou, REALTORS

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PROPERTY INSPECTION REPORT FORM

Ron Allison & Cindy Allison <i>Name of Client</i>	04/06/2022 2:00 pm <i>Date of Inspection</i>
4221 Ohara, Alvin, TX 77511 <i>Address of Inspected Property</i>	
Devin Evans <i>Name of Inspector</i>	TREC #22225 <i>TREC License #</i>
Jeremy Benefiel TREC # <i>Name of Sponsor (if applicable)</i>	8595 <i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted.

It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

: Furnished, Occupied

In Attendance: List agent/representative

Temperature (approximate): 79 Fahrenheit (F)

Type of Building: Single Family

Weather Conditions: Humid, Clear, Windy, Hot

Storage Items/Furnished Home:

Stored items and/or furniture were present at the property that obstructed view or access to some locations. The inspector does not move storage items or furnishings that impede the visual inspection of any components. Items blocked by storage/furnishings are not inspected.

Appliances Not Inspected:

Refrigerators, trash compactors, freezers, clothes washers, and dryers are not included in the inspection.



I	NI	NP	D
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VIRTUAL REALITY REPORT

Click button below:



Instructions:

1. The colored dots are where defects/descriptions are found.
2. Be sure to click each dot for an explanation.
3. Be sure to look all around so you dont miss anything!
4. Click the white halos on the floor to move to that location.
5. Bottom, left menu bar gives you different viewing options.
6. Report works the best on tablets and smart phones.
7. When using a tablet or smart phone, from dollhouse view (Click on at tab at the bottom left corner of screen) you can move the entire structure by using two fingers on the screen at the same time.

Written report below

I=Inspected

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D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on Grade

Foundation Performance: Further Evaluation is Recommended:

Structural movement and/or settling noted. Visible differential movement was noted at the interior/exterior of the structure. See the report for more information regarding these signs. Suggest that an expert in this field be consulted for further evaluation of the structure and to provide suggestions as to what, if any, corrective actions should be taken.

1: Slab: Corner Pops

 Maintenance Item

Cracks were noted at the corners of the foundation walls. Referred to as a "corner pop", these are very common and not a structural issue at this time. They should however be properly sealed to prevent further deterioration.

Recommendation: Contact a qualified concrete contractor.



2: Foundation Crack

 Recommendation

Front Exterior, Rear Exterior

Cracks in the foundation were observed at the time of inspection, evaluate and correct as needed.

Recommendation: Contact a qualified professional.

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I NI NP D



3: Foundation: Sloping and Settlement Observed

Recommendation

Sloping and settlement of the foundation was observed at the time of inspection. The inspector did observe a crack in the brick at the right exterior and two cracks in the foundation sidewalk. Zip level readings taken at the time of inspection show deflection of the foundation in excess of 2.2". These issues, measurements and locations are indicative of heaving/settling. (Below are the zip level reading. From the kitchen sink to the back door was over 2" of deflection)

It is the inspectors opinion that these issues are indicative of excessive movement of the foundation and I recommend further evaluation by a qualified professional to render a foundation performance evaluation.

- Recommend consulting with a qualified foundation company.
- Recommend correction of all issues stated in the Grading and Drainage section of this report to promote health of the foundation.
- Recommend consulting with a qualified plumber to evaluate the condition of the underground plumbing drain lines, as these lines often become damaged from foundation movement.
- Recommend you budget for repair of above stated issues and any other related items with foundation movement/repair.

Note: Red Star Inspectors are not structural engineers and are not acting as a structural engineer. All statements relating to structural movement are based on the professional opinion of this company.

Recommendation: Contact a qualified professional.

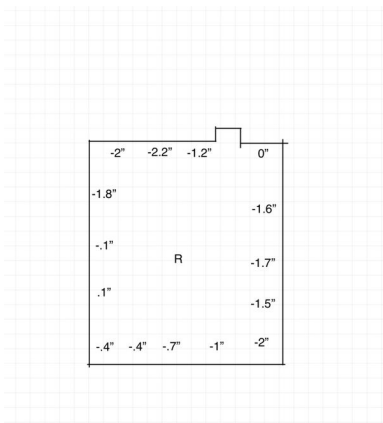
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B. Grading and Drainage

1: Landscaping: Trim trees and heavy foliage

🔴 Recommendation

Front Exterior

Recommend trimming foliage in contact with the structure to prevent damage to the veneer and moisture penetration over time. Recommend all tree limbs be cleared back a minimum of 3' from the roof covering and foliage 18" from the exterior walls.

Recommendation: Contact a qualified landscaping contractor



2: Gutters: Clogged/Dirty

🔧 Maintenance Item

Recommend clearing gutters of debris to improve drainage. Debris in the gutters can cause water to back up under the roof covering and cause damage to the home.

Recommendation: Contact a handyman or DIY project

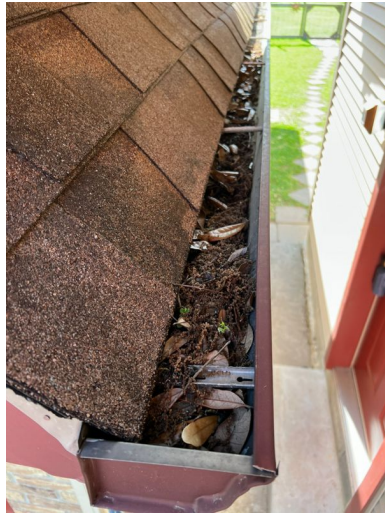
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3: Gutters: Splashblocks absent

 Maintenance Item

Exterior

Splash blocks were missing from multiple downspouts. Splash blocks placed under the downspout discharge helps disperse the water away from the foundation and to prevent soil erosion. Correct as needed.

Recommendation: Contact a handyman or DIY project



- C. Roof Covering Materials**
Types of Roof Covering: Composition Shingles

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Viewed From: Walking the Roof Surface, Ground

ROOF ACCESS WAS LIMITED BY: Solar Panels, Too Steep -

The above stated conditions limited the inspectors ability to inspect the roof. Inspector is not required to access roofs that are unsafe, and all efforts are made to inspect the roof despite these limitations.

1: Unpainted Materials

 Maintenance Item

Several locations including exposed flashing, vent assemblies, and/or plumbing vents were observed to have not been painted. All areas exposed above the roof line are required to be properly painted to avoid deterioration. Recommend correction.

Recommendation: Contact a qualified roofing professional.

I NI NP D



2: Rusted Flashings

🔴 Recommendation

Front Valley

Sections of the exposed flashing and/or other areas were observed to be displaying rust. This condition can result in failure of the covering/flashing and I recommend further evaluation and correction as needed to prevent further deterioration or potential moisture penetration.

Recommendation: Contact a qualified roofing professional.



3: Shingles: Granule Loss Noted

🔴 Recommendation

Moderate granule loss of the asphalt roofing shingles was observed at some locations. This condition is typical for an aging roof, and does not seem to be affecting the performance of the roof covering at this time. Recommend regular monitoring and inspection of this condition. Consult with roofing contractor if you desire further evaluation of this condition.

I NI NP D



4: Shingles: Damaged/Missing

🔴Recommendation

Multiple Locations (rear slope area)

Damaged/missing shingles were observed on the roof covering. Due to damaged shingles exposed nails were observed at various locations also. These conditions can compromise the integrity of the roof covering, and I recommend further evaluation by qualified contractor to determine the extent of needed repairs.

Recommendation: Contact a qualified roofing professional.

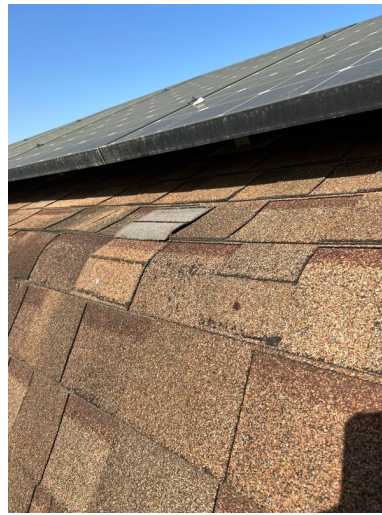
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5: Shingles: Loose

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🔴 Recommendation

Rear Valley/Ridge Area

Locations were observed on the roof covering where the shingle tabs are loose or inadequately secured. This condition is typically related to improper installation and can leave the covering exposed to uplift from high winds. Recommend further evaluation of this condition to determine the extent of necessary repairs.

Recommendation: Contact a qualified roofing professional.



6: Flashing: Loose/Raised Flashing

🔴 Recommendation

Garage

Raised or loose flashing areas were observed around the roof covering. This condition leaves the covering exposed to potential moisture or pest intrusion. Recommend all areas be evaluated and secured/sealed as needed.

Recommendation: Contact a qualified roofing professional.

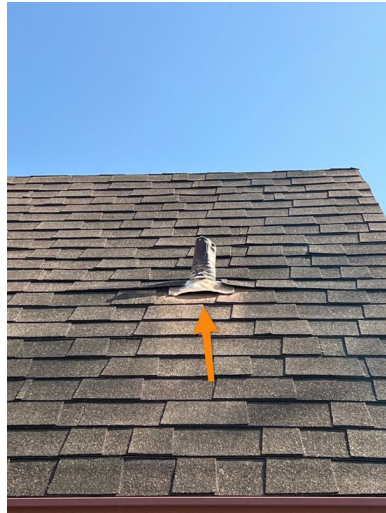
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D. Roof Structures and Attics

Viewed From: Decked areas of the attic

Approximate Average Depth of Insulation: Not Determined

Type of Attic Roof Ventilation: Soffit Vent, Ridge Vent

Type of Insulation Material: Batt Fiberglass, Cellulose

Only Accessible Areas Were Entered:

Note: Only accessible areas of the attic were inspected. The inspector does not crawl/walk over areas that are unsafe or not easily accessible.

E. Walls (Interior and Exterior)

Types of Exterior Wall Covering: Masonry Walls, Brick, Vinyl Siding - The

Fresh Paint Observed:

The inspector observed areas of recent painting or other cosmetic repairs. More information may be contained within the report. Fresh paint and cosmetic repairs can potentially obstruct issues from the inspector. Recommend consulting with the seller regarding any recent painting or other repairs.

Vinyl Siding Disclaimer:

Vinyl/metal siding was observed to be present on the home. This siding can hide defects behind the wall that are not readily visible. This inspection is non intrusive and inspector does not remove and disassemble any areas of the covering. Inspector can not verify the presence of other materials or their condition behind the siding.

Recommend any areas of concern be further evaluated, as further investigation can reveal larger issues. Ensure all areas are properly maintained to ensure integrity of the wall covering. More information may be contained within the report.

1: Caulking and Sealing Needed

🔴 **Recommendation**

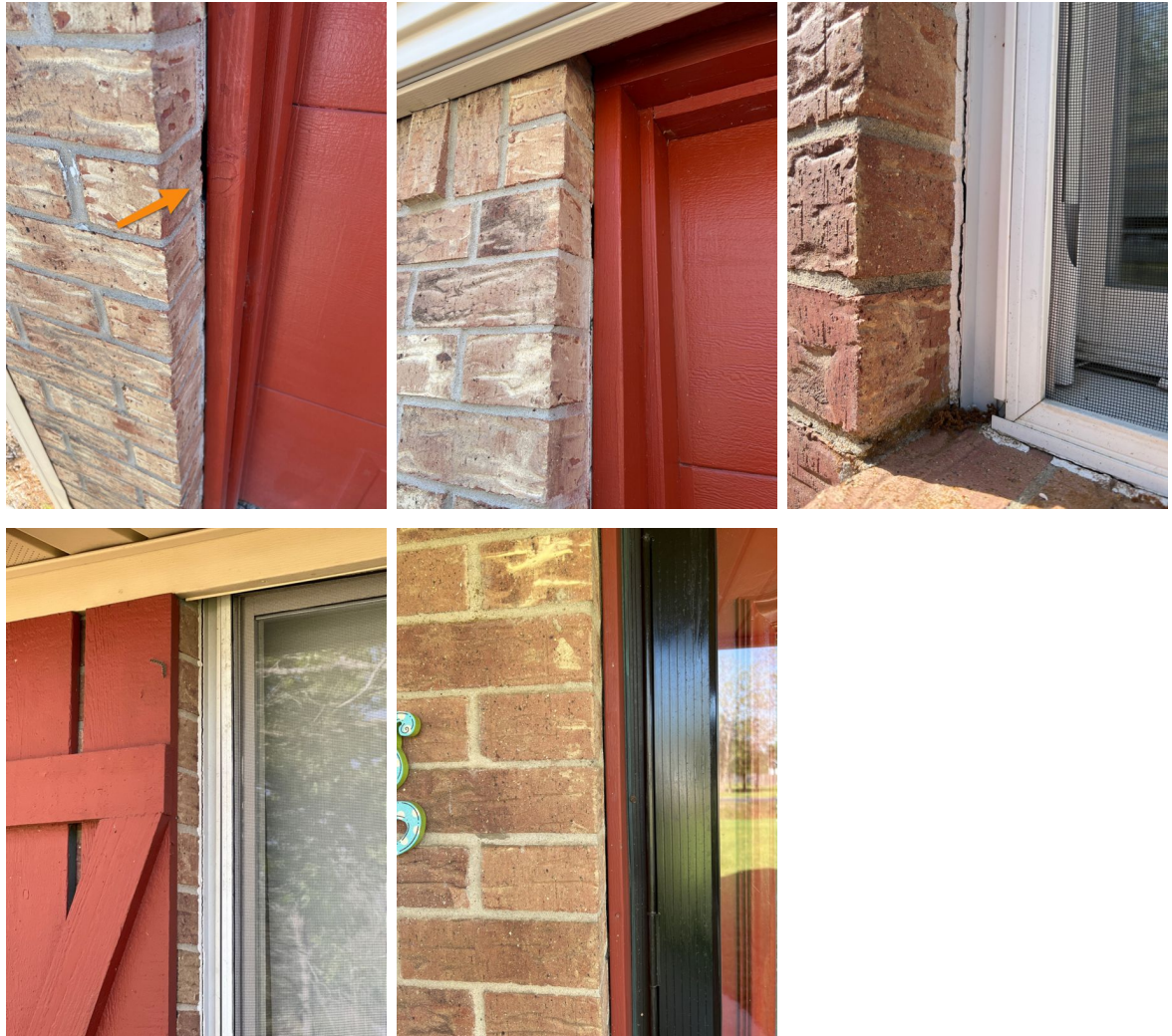
Various locations on trim and siding, Around windows, Light fixtures and outlets, Masonry Expansion Joints -

The above stated locations were identified as areas in need of proper caulking and sealing, or maintenance to the existing sealant. Examples of locations needing sealing are pictured for your reference. Recommend

I NI NP D

further evaluation of these areas and all others to determine the extent of needed repairs.

Recommendation: Contact a qualified handyman.



2: Masonry: Moderate Cracks/Separations

👉Recommendation

Right Exterior

Moderate cracks and/or separations were observed in the masonry walls around the exterior of the home. Common areas of issues include around windows, doors, and/or expansion joints. These cracks and separations are excessive and I recommend further evaluation to determine extent of necessary repairs.

Recommendation: Contact a qualified masonry professional.

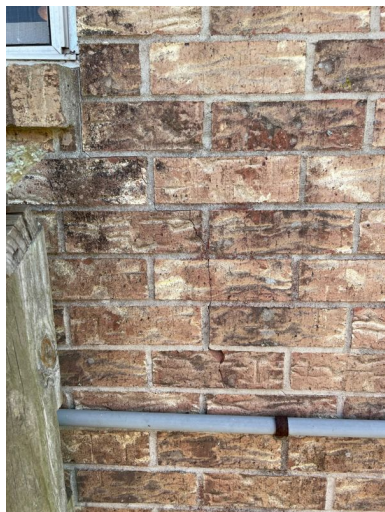
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3: Masonry: No weep holes at lintels

 Maintenance Item

Weep holes were not installed in brick above steel lintels over windows and or doors. Modern practices often utilize weep holes to prevent rusting of steel lintels supporting brick.

Recommendation: Contact a qualified professional.

F. Ceilings and Floors

1: Note: Patched Ceilings

 Recommendation

Kitchen, Upper Left Bedroom

A patched ceiling area was observed at the kitchen and upper left bedroom at the time of the inspection. Recommend you consult with seller to try and determine any previous issues at this location. Thermal imaging and inspection of this area did not reveal any active issues at the time of inspection. Recommend cosmetic repair as desired, and further monitoring of this location.

Recommendation: Contact a qualified professional.

I NI NP D



2: Ceiling: "Popped" Nails

Recommendation

Upper Bedroom Closet

"Popped" (loose) drywall nails were observed at the time of the inspection. Nails pops often occur because of ceiling design, and heat in the attic area. This condition is not related to a structural issue. Repair as desired.

Recommendation: Contact a qualified painting contractor.



3: Ceiling/Wall: Missing Insulation

Recommendation

Upper Bedrooms

The thermal imaging camera showed an indication of missing insulation at the ceiling/walls. Repair as needed for energy efficiency purposes.

Note: The yellow/orange color in the thermal image shows where this missing insulation is located.

I NI NP D

Recommendation: Contact a qualified professional.



4: Flooring: Squeaky Subflooring

🔴Recommendation

The flooring on the second floor was observed to pop and squeak when walked on. Squeaky flooring is not uncommon and is usually caused by subflooring that is beginning to loosen from the joists. Recommend further evaluation and repair as needed.

Recommendation: Contact a qualified flooring contractor

5: Ceilings: Thermal Discoloration

🔴Recommendation

Front Living Room

Thermal discoloration was observed at the front living room ceiling. The inspector set up a stepstool and used a surface moisture meter and no evidence of active moisture was observed at the time of inspection. It's difficult for the inspector to speculate what's causing the discoloration but could be leaking air coming from an HVAC duct. Evaluate and correct as needed.

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I NI NP D

Recommendation: Contact a qualified professional.



G. Doors (Interior and Exterior)

1: Interior Doors: Door Rubs Frame

🔻Recommendation

Master Bathroom, Master Closets

One or more interior doors were observed rubbing against the frame. Recommend adjustment to allow for easier operation.

Recommendation: Contact a qualified professional.

2: Interior Doors Hardware: Doesn't Latch at Hardware

🔻Recommendation

Closet Under Stairs, Upper Left Bedroom, Upper Hall Closet, Upper Right Bedroom, Attic Door

One or more doors did not latch at the hardware at the time of the inspection. Adjustment is recommended to correct latching ability.

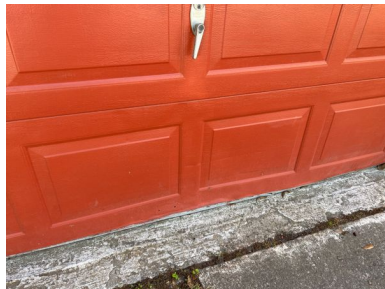
Recommendation: Contact a qualified professional.

3: Vehicle Door: Damaged/Dented

🔻Recommendation

The garage vehicle door had damage/dents. Evaluate and correct as needed.

Recommendation: Contact a qualified garage door contractor.



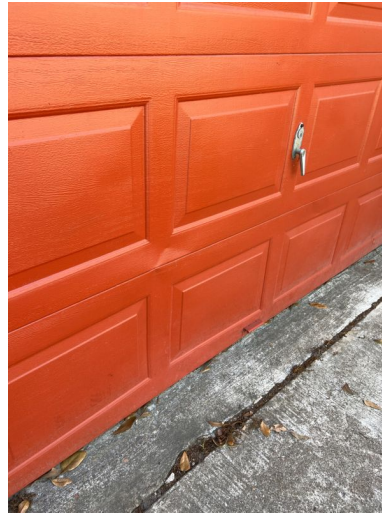
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4: Door Glass Not Tempered

🔴 Recommendation

Front Door

Today's standards requires tempered glass at all door glass. This is an age related deficiency, evaluate and correct as needed.

Recommendation: Contact a qualified professional.



☒ ☐ ☐ ☒ **H. Windows**

Windows obstructed:

Inspection of the windows was limited due to furniture, stored items, or window coverings. Recommend further evaluation once access permits.

1: Lift Springs Detached or Inoperable

🔴 Recommendation

Living Room

I	NI	NP	D
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The springs are inoperable or detached for the windows at the living room resulting in several of the sashes not functioning properly. Recommend further evaluation and correction as needed.

Recommendation: Contact a qualified window repair/installation contractor.



2: Windows do Not Lock

🔴Recommendation

Living Room, Master Bathroom

The inspector observed one or more windows that did not lock properly and are in need of adjustment or repair. Recommend further evaluation by a window installer or qualified contractor.

Recommendation: Contact a qualified professional.



3: Windows: Difficult to Operate

🔴Recommendation

Living Room, Master Bathroom

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Windows were difficult to operate at the time of inspection. Evaluate and correct as needed by a qualified contractor.

Recommendation: Contact a qualified professional.



I. Stairways (Interior and Exterior)

1: Handrails: Open End

▲Safety Hazard

Handrail for the stairway is set up in a manner that can catch clothes or other articles when navigating the stairway. Modern building code does require that all handrails return to the wall. I recommend you consider correction of this issue for safety reasons.

Recommendation: Contact a qualified carpenter.



2: Handrails: Loose

▲Safety Hazard

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I NI NP D

The handrail was observed to be loose. The handrail height also does not meet today's standards. Repair as needed for safety purposes.

Recommendation: Contact a qualified professional.



3: Baluster: Greater Than 4 inches

▲Safety Hazard

Baluster spacing is greater than 4 inches. While this may have not been an issue when the home was constructed, modern building codes require that the space between balusters not be greater than 4 inches. **Recommend caution and considering repair to prevent injury to small children and pets.**

Recommendation: Contact a qualified carpenter.

K. Porches, Balconies, Decks, and Carports

1: Patio Columns: Wood Rot

🟡Recommendation

Wood rot and deterioration was observed at the front patio columns, evaluate and correct as needed by a qualified contractor.

Recommendation: Contact a qualified professional.

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J. Fireplaces and Chimneys

1: Chimney Flue: No Anti-Closing Device

 Maintenance Item

No anti-closing device was installed at the damper for the gas log system. This safety device prevents the damper from completely closing and ensures that proper ventilation is provided at all times.

Recommendation: Contact a qualified professional.

2: Fireplace: Did Not Ignite

 Recommendation

After multiple attempts, the fireplace unit did not ignite. The gas valves were open. The gas valve was crimped and exposed at the rear exterior. Recommend further evaluation and repair.

Recommendation: Contact a qualified professional.



3: Mortar Cap: Seal Cracks

I NI NP D

Maintenance Item

Recommend sealing cracks in the mortar cap at the top of the chimney flue to prevent moisture penetration.

Recommendation: Contact a qualified professional.



4: Rust in Firebox

Recommendation

Observed rust in firebox. This is usually an indication of water penetration through the chimney.

Recommend further evaluation by a chimney sweep.

Recommendation: Contact a qualified chimney contractor.



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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Main Disconnect/Service Box Type and Location: Breakers-Garage, Breakers-Exterior Wall, Sub-Panel -



Service Entrance Cable Location: Overhead -

Service Size: 150 Amps -

Solar Equipment Not Inspected :

All solar panel and solar panel equipment including the electrical connections is not covered under the scope of this inspection.

1: Arc-Fault Safety Protection Missing

🔴Recommendation

Arc-fault safety protection was not installed for *all currently* required 15 and 20 amp circuits. While this protection may not have been required when this property was built, recommend you consider upgrading to satisfy modern code requirements and for safety reasons.

Note: This protection was required by the National Electric Code for homes built after 2008. The Texas Real Estate Commission recognizes that the building codes have not always required AFCIs, however the agency believes that it is important for consumers to be made aware of these safety devices when they are not present and functioning in a home as a consumer protection issue, and requires inspectors to comment regardless of the homes age.

Recommendation: Contact a qualified electrical contractor.

2: White Wires not Marked

🔴Recommendation

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I NI NP D

White wires were observed connected to breakers. White wires are typically neutral but when they are connected to a breaker they become hot/live and should be marked as such. Recommend to have an electrician evaluate for remedy.

Recommendation: Contact a qualified professional.

3: Double Lugged Neutral Wires

 Maintenance Item

Double lugged neutral wires were on the neutral bus bar inside the distribution panel. While this may have not been a requirement when the home was built, One neutral wire per lug is recommended. Remedy as needed.

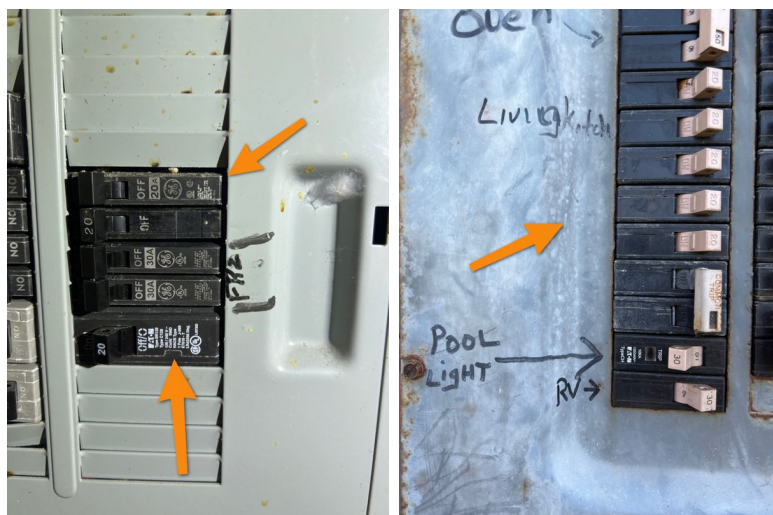
Recommendation: Contact a qualified electrical contractor.

4: Electrical Panel: Labeling

 Recommendation

The circuits inside the panel are not fully/clearly labeled. Recommend correction.

Recommendation: Contact a qualified electrical contractor.



5: Pointed Screws Improper

 Maintenance Item

Sub Panel

Sharp tipped screws were used on the panel cover. Blunt tipped screws designed for this application are recommended to prevent puncturing electrical wiring insulation. Remedy as needed.

Recommendation: Contact a handyman or DIY project

6: Service Entrance Wires: Insufficient Clearance

 Recommendation

Service overhead wires are too low, not giving enough clearance. Contacting your local electric utility company or licensed electrician to remedy is recommended.

Recommendation: Contact a qualified electrical contractor.

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7: Ground Wire Problems

Recommendation

The grounding wire was missing or not connected properly to the grounding rod. Remedy as needed.

Recommendation: Contact a handyman or DIY project



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Restriction the receptacles:

Not all receptacles were accessible due to usage or furniture locations.

Freezer in Garage- GFCI Not Tested:

A refrigerator/freezer is in use inside the garage. The GFCI outlets were not tested due to risk of power loss to the appliance.

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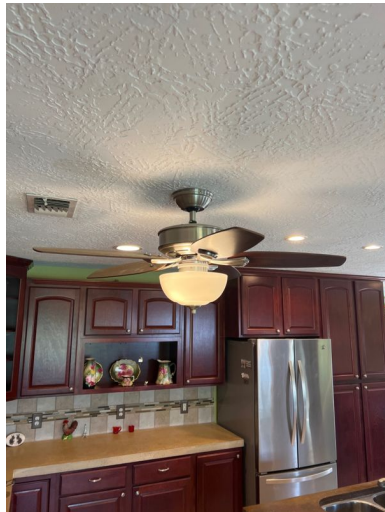
1: Ceiling Fan: Inoperable

🔴Recommendation

Kitchen

The inspector observed one or more ceiling fans inoperable. The inspector did not observed a switch or remote to operate the fan. Recommend further evaluation by electrician.

Recommendation: Contact a qualified electrical contractor.



2: Carbon Monoxide Detectors: Missing

🔴Recommendation

Carbon monoxide detector is not present at time of inspection. Recommend installation before closing.

Recommendation: Contact a qualified professional.

3: Cover Plates:Missing

🔴Recommendation

Garage Bathroom

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One or more switches/receptacles are missing a cover plate. Recommend correction as needed to avoid potential hazard.

Recommendation: Contact a qualified electrical contractor.



4: Outlets: GFCI Protection Inadequate

▲Safety Hazard

Kitchen island, Master Bathroom, Laundry, Upstairs Bathroom -

Multiple outlets throughout the homes wet locations were in need of GFCI protection. GFCI outlets weren't required when the home was built but updating to GFCI would avoid safety hazards.

Recommendation: Contact a qualified professional.

5: Outlets: Open ground

▲Safety Hazard

Master Bathroom

Open ground was observed on 3-prong outlets installed at various locations around the home. This condition presents a false sense of a ground being present, and is a code violation. This is common with older homes. Recommend further evaluation and correction as needed.

Recommendation: Contact a qualified electrical contractor.

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NP=Not Present

D=Deficient

I NI NP D



6: Outlets: Loose

🔴Recommendation

Kitchen

Outlets at one or more locations around the home were loose at the time of inspection, recommend securing by a licensed electrician.

Recommendation: Contact a qualified electrical contractor.

7: Outlets: No Exterior Outlet

🔴Recommendation

Rear Exterior Missing

No exterior outlet were present at the rear exterior doors. Recommend a GFCI protected outlet be added for safety purposes.

Recommendation: Contact a qualified professional.

8: Light: Missing Globe

🔵Maintenance Item

Utility Room

Observed the globe missing from the light fixture. Remedy as needed.

Recommendation: Contact a qualified handyman.

9: Light: Inoperable

🔴Recommendation

Rear Left Room

One or more light fixtures around the home did not function, possibly bulb related. Correct as needed.

Recommendation: Contact a qualified electrical contractor.

I=Inspected

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I	NI	NP	D
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10: Light: Dimmer On/Off Only

🚫 Recommendation

Front Living Room

The dimmer control was not functioning as intended, operates as an on/off switch only. Remedy as needed.

Recommendation: Contact a qualified electrical contractor.

11: Wiring: Exposed Ends & Splices

🚫 Recommendation

Garage

All wire connections & charged wires with exposed ends and splices should be covered in junction boxes for safety. Recommend a qualified electrician correct.

Recommendation: Contact a qualified electrical contractor.



12: Wiring: Open Junction Box

🚫 Recommendation

I=Inspected

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I	NI	NP	D
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Garage Bathroom

Open junction box observed. Recommend concealing or replacing.

Recommendation: Recommended DIY Project



13: Wiring: Abandoned Wires

🔴Recommendation

Right Exterior

Abandoned wires were observed. Further evaluation to verify if they are properly disconnected and to determine if they can be removed is necessary.

Recommendation: Contact a qualified electrical contractor.



14: Switch: Switch has no Apparent Function

🔴Recommendation

Master Bedroom

Light switch has no apparent function. Further evaluation by an electrician is recommended, or ask seller for clarification.

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I NI NP D

Recommendation: Contact a qualified electrical contractor.



15: Smoke Detector: Not in All Required Areas

▲ Safety Hazard

Multiple Locations

Smoke detectors are not located in all required areas which include all bedrooms and adjacent areas. Remedy as needed.

Recommendation: Contact a handyman or DIY project

16: Dimmer Switch For Ceiling Fan

🟡 Recommendation

Front Living Room

A dimmer switch was observed for the ceiling fan. The dimmer switch does not allow you to change the fan speed, and services only has an on/off function. Buzzing was observed at the fan during operation of the dimmer switch. Evaluate and correct as needed.

Recommendation: Contact a qualified professional.

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C. Other

Comments:

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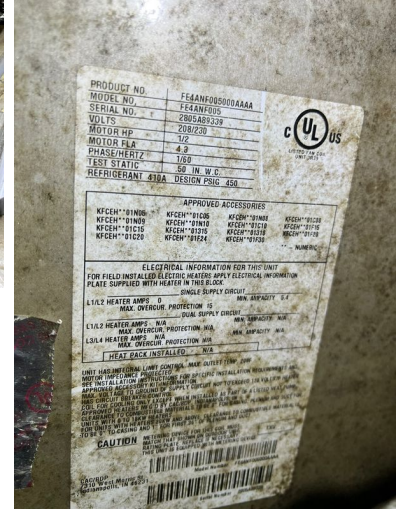
D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Furnace



Energy Sources: Electric

B. Cooling Equipment

Type of Systems: Central Air Conditioner -

The inspector did not observe a data plate sticker on the outside air-conditioning system. The inspector is unsure of the age and other various information that is provided on the data plate.



Ambient air test:

Ambient air test was performed by using thermometers on air handler of the systems to determine if the difference in temperatures of the supply and return air are between 15 degrees and 25 degrees which indicates unit is cooling as intended.

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D=Deficient

I	NI	NP	D
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Supply Air Temp: 46 Degrees F

Return Air Temp: 70 Degrees F
Temp. Differential: 24 Degrees F

The AC equipment was cooling as intended at the time of inspection.

System size: tons

System Brand:

Condenser age:

Evaporator age:

Refrigerant type:

No Data Plate :

The inspector did not observe a data plate sticker on the outside air-conditioning system. The inspector is unsure of the age and other various information that is provided on the data plate.

1: Refrigerant Line: Insulation Missing or Damaged

🔴 Recommendation

Missing or damaged insulation on refrigerant line can cause energy loss and condensation. Recommend correction.

Recommendation: Contact a qualified HVAC professional.



2: Condensate: Drain Not Over Window

🔵 Maintenance Item

The secondary drain line for the unit was not installed to drain over a window. Recommend correction as the purpose for the secondary drain line is if there is a problem with the A/C, you can see the unit leaking water through the window.

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I	NI	NP	D
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Recommendation: Contact a qualified professional.



3: Condenser: Dirty Fins

 Maintenance Item

Recommend cleaning fins around the condenser unit to allow it to operate efficiently.

Recommendation: Contact a qualified professional.

4: Refrigerent Lines: Rust on Filter

 Recommendation

Observed rust on the exterior of the refrigerant filter. Recommend to have an HVAC contractor evaluate further to ensure no failure is possible.

Recommendation: Contact a qualified HVAC professional.



C. Duct Systems, Chases, and Vents

I=Inspected

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I NI NP D

1: Filters: Media Filter Dirty

 Maintenance Item

The media filter at the air handler in the attic space was observed to be dirty and needs cleaned or replaced. Recommend correction.

Recommendation: Contact a handyman or DIY project



2: Zone Control: Inoperable

 Recommendation

The automatic or motorized damper control was inoperable at the time of inspection. The downstairs thermostat was turned off and the upstairs thermostat was turned to cool and no conditioned air was observed upstairs. It appears the upstairs thermostat is not operating properly. Further evaluation and correction by licensed HVAC contractor is recommended.

Recommendation: Contact a qualified professional.

3: Supply Vents Not Observed at Rear Left Side

 Recommendation

Supply vents for conditioned air was not observed at the rear left the room and a half bathroom area. It appears that an additional air conditioning system was installed at this location. Evaluate and correct as needed.

Recommendation: Contact a qualified professional.

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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D. Other
Comments:

I=Inspected

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NP=Not Present

D=Deficient

I NI NP D

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Location of Water Meter: Not Observed

Location of Main Water Supply Valve : Not observed

Static Water Pressure Reading: 56-60 PSI -

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Type of Supply Piping Material: Copper

Type of Piping:: Copper

Laundry tray inspection obstructed:

Inspection of the washer tray and related laundry connections was obstructed by the washer and dryer units at the time of inspection. Recommend further evaluation of this area once the appliances are removed.

Propane tanks:

Propane tanks are not covered on the scope of this inspection.

1: Hose Bibb (outdoor faucet): Backflow Prevention Missing

 Maintenance Item

One or more hose bibb(s) Missing a backflow preventer. These devices are inexpensive, easily installed and help prevent contamination of potable water. Repair as needed.

Recommendation: Contact a handyman or DIY project

2: Toilet: Not Secure to the Floor

 Recommendation

Master Bathroom, Garage Bathroom

The toilet was not fastened securely to the floor. This can cause a leak in between the wax seal and the pipe. Remedy as needed.

Recommendation: Contact a qualified plumbing contractor.

3: Tub: Caulking Missing/Deteriorated Fixtures

 Maintenance Item

Hall Bathroom

Fixtures going through the wall should be sealed with caulking to prevent moisture penetration through the walls. Remedy as needed.

Recommendation: Contact a handyman or DIY project

I	NI	NP	D
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4: Sink Cabinet Not Secured

🔴 Recommendation

The Sink cabinet at the half bathroom was not secured at the time of inspection. The cabinet area would wiggle with little effort. Recommend securing.

Recommendation: Contact a qualified professional.



5: Shower: Improper Slope

🔴 Recommendation

An improper slope was observed at the master bathroom shower floor. The inspector observed pooling water at the back left corner prior to operating the fixture. Evaluate and correct as needed by a qualified contractor.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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6: Toilet Spacing: Improper

🔴 Recommendation

Improper toilet spacing was observed at the garage toilet. 15 inch clearance from the center of the toilet should be observed. Evaluate and correct as needed.

Recommendation: Contact a qualified professional.



B. Drains, Wastes, and Vents

Type of Piping:: PVC

Type of Drain Piping Material: PVC

Drain inspection limited - Items under sinks:

Note: Inspection of the drain assemblies under the sinks were severely limited due to excessive amounts of stored items at the time of inspection. Recommend further evaluation of these locations once items are removed. Removal of these items may reveal hidden defects.

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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1: Hydro Test/Scope: Movement

Recommendation

Hydrostatic testing and/or scoping of the latent plumbing drain lines under the home is recommended due to signs of prior structural movement and/or foundation repairs. Recommend further evaluation by a plumbing contractor.

Recommendation: Contact a qualified plumbing contractor.

C. Water Heating Equipment

Energy Sources: Electric



Capacity: Unable to determine -

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Location: Attic -

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Tanks Insulated:

The water heater tanks were insulated. This limits the amount that the inspector can see of the condition of the tanks.

Termination Points Not Located :

Water heater overflow pan and temperature pressure relief termination point not located.

1: The Temperature and Pressure Relief valve was observed to run uphill.

🔴Recommendation

The Temperature and Pressure Relief valve was observed to run uphill. This is not recommend as it does not allow the valve to function properly. Recommend repair.

Recommendation: Contact a qualified professional.



D. Hydro-Massage Therapy Equipment

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter: Not Inspected

Type of Gas Distribution Piping Material: Not Inspected

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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V. APPLIANCES

A. Dishwashers

The dishwasher was performing as intended at the time of the inspection.:

B. Food Waste Disposers

Comments:

C. Range Hood and Exhaust Systems

1: Exhaust Light is Out

[Maintenance Item](#)

The range hood light did not function on one side. it appears to be bulb related. Repair as needed.

Recommendation: Contact a qualified professional.



D. Ranges, Cooktops, and Ovens

Cooktop was performing as intended at the time of the inspection.:

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I	NI	NP	D
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Ovens were performing as intended at the time of the inspection.:

E. Microwave Ovens

Built In Microwaves Only :

Standalone microwaves are not covered in the scope of this inspection. Only built in microwaves are covered under the scope of residential inspections.

F. Mechanical Exhaust Vents and Bathroom Heaters

1: Missing Exhaust Fan.

🔴Recommendation

Upstairs Bathroom

Exhaust fans were missing. Current building codes recommended the installation of an exhaust fan in bathrooms without an openable window. No bathroom exhaust fan was noted.

Recommendation: Contact a qualified professional.

G. Garage Door Operators

1: Inoperable

🔴Recommendation

Right Garage Door

The garage door was inoperable at the time of inspection. Recommend further evaluation by a garage door contractor.

Recommendation: Contact a qualified professional.

H. Dryer Exhaust Systems

1: Cleaning Vent Recommended

🔵Maintenance Item

Cleaning of the dryer vent line is recommended as normal maintenance to prevent lint build up in line.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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VI. OPTIONAL SYSTEMS

B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction: Not inspected

Comments: