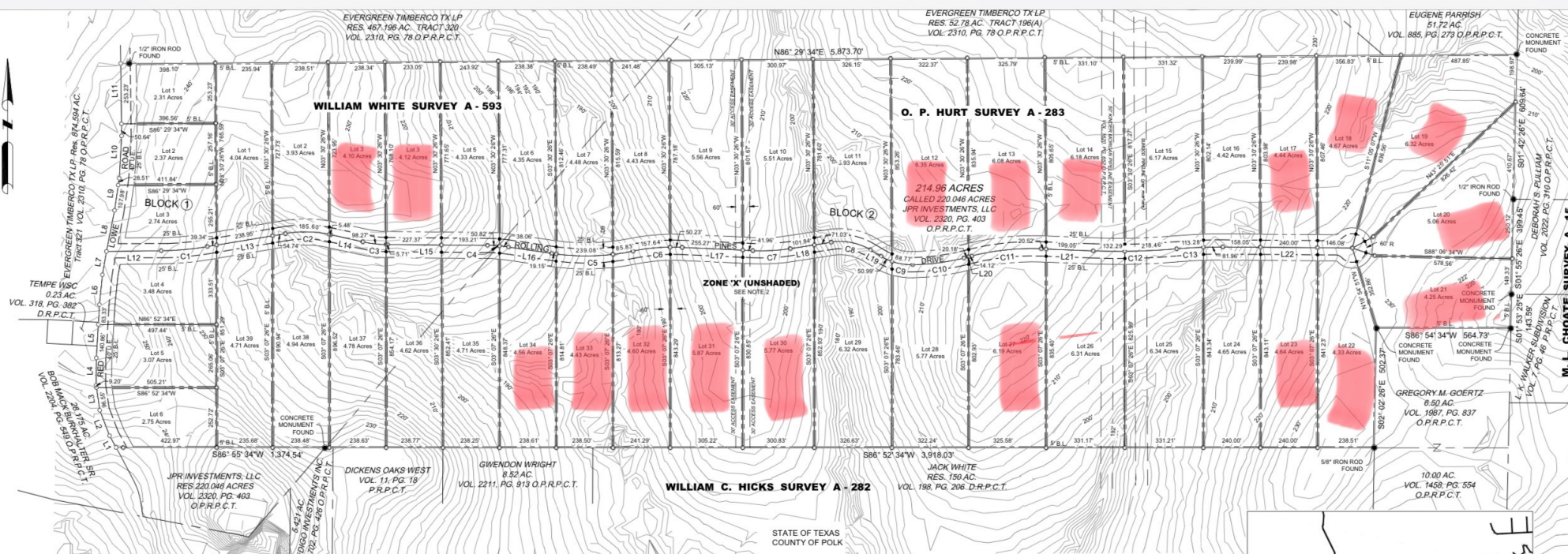


# Rolling Pines Subdivision Approved (17 of 17)



Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Dist.
C1	195.00'	1,272.70'	8°46'44"	N81°45'57"E	195.00'
C2	191.07'	500.00'	21°53'43"	N88°19'26"E	191.07'
C3	103.98'	500.00'	11°54'55"	S86°41'10"E	103.98'
C4	88.88'	650.00'	7°50'04"	S88°43'36"E	88.88'
C5	344.06'	1,000.00'	19°42'47"	N85°20'02"E	344.06'
C6	207.87'	850.00'	14°00'43"	N82°29'00"E	207.87'
C7	158.75'	800.00'	11°22'10"	N83°48'16"E	158.75'
C8	172.83'	250.00'	39°36'38"	S82°04'30"E	172.83'
C9	139.76'	250.00'	32°01'48"	S78°17'05"E	139.76'
C10	217.75'	983.00'	12°41'31"	N79°21'15"E	217.75'
C11	293.86'	1,050.00'	16°02'06"	N81°01'32"E	293.86'
C12	350.75'	2,800.00'	7°10'38"	N85°27'16"E	350.75'
C13	195.24'	2,050.00'	5°27'25"	N84°35'39"E	195.24'

Line Table			Line Table		
Line #	Length	Direction	Line #	Length	Direction
L1	56.64'	N31°53'26"W	L12	230.39'	N86°09'19"E
L2	114.77'	N24°06'26"W	L13	333.03'	N77°22'35"E
L3	105.76'	N11°23'26"W	L14	139.09'	S80°43'42"E
L4	115.34'	N02°45'26"W	L15	420.58'	N87°21'22"E
L5	224.19'	N00°16'34"E	L16	183.76'	S84°48'34"E
L6	126.22'	N02°30'34"E	L17	297.22'	N89°29'21"E
L7	99.42'	N06°39'34"E	L18	172.88'	N78°07'11"E
L8	175.67'	N07°58'18"E	L19	51.28'	S62°16'11"E
L9	136.49'	N05°19'34"E	L20	34.30'	N73°00'30"E
L10	178.70'	N00°05'34"E	L21	219.56'	N89°02'35"E
L11	303.87'	N03°51'26"W	L22	544.14'	N87°19'22"E

- NOTES:**
- THE COORDINATES SHOWN HEREON ARE TEXAS CENTRAL ZONE NO. 4203 STATE PLANE GRID COORDINATES (NAD83) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE FOLLOWING COMBINED SCALE FACTOR: 0.999894205231.
  - THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR POLK COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 486526, DATED SEPTEMBER 3, 2010, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" UNSHADED, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN

STATE OF TEXAS §  
COUNTY OF POLK §  
KNOW ALL MEN BY THESE PRESENTS:

I, SYDNEY MURPHY, COUNTY JUDGE OF POLK COUNTY, TEXAS DO HEREBY CERTIFY THAT THIS MAP OR PLAT, WITH FIELD NOTES HEREON, THAT A SUBDIVISION HAVING BEEN FULLY PRESENTED TO THE COMMISSIONERS COURT OF POLK COUNTY, TEXAS, AND BY THE SAID COURT DULY CONSIDERED, WERE ON THIS DAY APPROVED AND PLAT IS AUTHORIZED TO BE REGISTERED AND RECORDED IN THE PROPER RECORDS OF THE COUNTY CLERK OF POLK COUNTY, TEXAS.

SYDNEY MURPHY, POLK COUNTY JUDGE \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF POLK §  
KNOW ALL MEN BY THESE PRESENTS:

I, SCHELANA HOCK, CLERK OF THE COUNTY COURT OF POLK COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH IS CERTIFICATE OF AUTHENTICATION OWAS FILED FOR REGISTRATION IN MY OFFICE ON THE DAY OF \_\_\_\_\_, 2021 A.D., AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., IN THE PLAT RECORDS OF SAID COUNTY IN VOL \_\_\_\_\_ PG. \_\_\_\_\_.

TO CERTIFY WHICH, WITNESS MY HAND AND SEAL, AT THE COUNTY COURT OF SAID COUNTY, AT MY OFFICE IN LIVINGSTON, TEXAS THE DATE LAST ABOVE WRITTEN.

SCHELANA HOCK  
COUNTY CLERK OF POLK COUNTY, TEXAS

BY: \_\_\_\_\_  
DEPUTY

STATE OF TEXAS  
COUNTY OF POLK

WE, JPR INVESTMENTS, LLC ACTING BY AND THROUGH CRAIG JONES, OWNER, BEING OFFICERS OF JPR INVESTMENTS, LLC, OWNER (OR OWNERS) HEREAFTER REFERRED TO AS OWNERS (WHETHER ONE OR MORE) OF THE 214.96 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING MAP OF ROLLING PINES, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAN OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS, AND NOTATIONS ON SAID MAPS OR PLAT AND HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS (EXCEPT THOSE STREETS DESIGNATED AS PRIVATE STREETS, OR PERMANENT ACCESS EASEMENTS), ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE ON THE LAND SO DEDICATED.

THIS IS TO CERTIFY THAT CRAIG JONES OWNER OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF ROLLING PINES, HAVE COMPLIED OR WILL COMPLY WITH THE REGULATIONS HERETOFORE ON FILE POLK COUNTY.

JPR INVESTMENTS, LLC ACKNOWLEDGES THAT IT BEARS THE RESPONSIBILITY, NOT THE COUNTY, TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE STATE, FEDERAL AND LOCAL LAWS AND REGULATIONS RELATING TO THE ENVIRONMENT, INCLUDING BUT NOT LIMITED TO, THE ENDANGERED SPECIES ACT, STATE AQUIFER REGULATIONS, AND MUNICIPAL WATERSHED ORDINANCES.

FURTHER, JPR INVESTMENTS, LLC DOES HEREBY DEDICATE TO THE PUBLIC A STRIP OF LAND FIFTEEN (15') FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL BAYOUS, CREEKS, GULLIES, RAVINES, DRAINS, SLOUGHS OR OTHER NATURAL DRAINAGE COURSES LOCATED IN SAID PLAT, AS EASEMENTS FOR DRAINAGE PURPOSES, GIVING POLK COUNTY, OR ANY OTHER GOVERNMENTAL AGENCY, THE RIGHT TO ENTER UPON SAID EASEMENT AT ANY AND ALL TIMES FOR THE PURPOSE OF CONSTRUCTION AND MAINTENANCE OF DRAINAGE FACILITIES AND STRUCTURES.

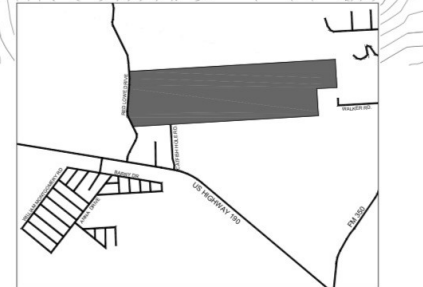
WE HEREBY COVENANT AND AGREE THAT ALL LOTS WITHIN THE BOUNDARIES OF THIS SUBDIVISION ARE FOR RESIDENTIAL PURPOSES UNLESS OTHERWISE NOTED.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS PLAT AND ADJACENT TO ANY DRAINAGE EASEMENT, DITCH, GULLY, CREEK OR NATURAL DRAINAGE WAY SHALL HEREBY BE RESTRICTED TO KEEP SUCH DRAINAGE WAYS AND EASEMENTS CLEAR OF FENCES, BUILDINGS, PLANTINGS AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE DRAINAGE FACILITY AND THAT SUCH ABUTTING PROPERTY SHALL NOT BE PERMITTED TO DRAIN DIRECTLY INTO THIS EASEMENT EXCEPT BY MEANS OF AN APPROVED DRAINAGE STRUCTURE.

IN TESTIMONY WHEREOF, JPR INVESTMENTS, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY CRAIG JONES, ITS OWNER, THEREUNTO AUTHORIZED THIS \_\_\_\_\_ DAY OF AUGUST 2021.

JPR INVESTMENTS, LLC,  
A TEXAS LIMITED LIABILITY COMPANY

BY: CRAIG JONES  
ITS OWNER



**VICINITY MAP**  
NOT TO SCALE

THIS IS TO CERTIFY THAT I, THOMAS A. DUNN, REGISTERED PUBLIC SURVEYOR NO. 6561 HAVE MADE AN ON-THE-GROUND BOUNDARY SURVEY OF THE PROPERTY SHOWN HEREON AND PREPARED THIS PLAT FOR SUBDIVISION OF SAME, THAT ALL BLOCK CORNERS, ANGLE POINTS AND POINTS OF CURVATURE AND TANGENCY ARE PROPERLY MARKED WITH TWO-FOOT LONG, 1/2" DIAMETER RODS, AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME DURING THE MONTH OF JULY, 2021, GIVEN UNDER MY HAND THIS \_\_\_\_\_ TH DAY OF \_\_\_\_\_ 2021.

**PRELIMINARY REVIEW ONLY**

THOMAS A. DUNN  
PROFESSIONAL LAND SURVEYOR NO. 6561

**OWNER**  
JPR INVESTMENTS, LLC  
1202 W CHURCH STREET  
LIVINGSTON, TX 77351

**SURVEYOR**  
PRIME ENERGY SERVICES  
FIRM REGISTRATION NO. 10194092  
654 N SAM HOUSTON PARKWAY E, STE. 300  
HOUSTON, TX 77060

**ABBREVIATIONS**

B.L. = BUILDING LINE  
U.E. = UTILITY EASEMENT  
O.P.R.P.C.T. = OFFICIAL PUBLIC RECORDS POLK COUNTY TEXAS  
P.R.P.C.T. = PLAT RECORDS POLK COUNTY TEXAS  
D.R.P.C.T. = DEED RECORDS POLK COUNTY TEXAS  
VOL. = VOLUME  
PG. = PAGE  
F.M. = FOUND

IR = IRON ROD

BY: CRAIG JONES  
ITS OWNER

**ROLLING PINES**

BEING A SUBDIVISION OF 214.96 ACRES SITUATED IN THE O.P. HURT SURVEY, A-283 AND WILLIAM WHITE SURVEY, A-593 POLK COUNTY, TEXAS

PURPOSE OF PLAT IS TO CREATE 45 RESIDENTIAL LOTS 2 BLOCKS

0 150 300 600