



Inspection Report

Christine Lee

Property Address:
6315 Settlers Square Lane
Katy TX 77449



American Dream Inspections TX, llc

**Kevin Sandel 22389
4634 Kingfisher Dr.
Houston, TX 77035
832-566-0973**

PROPERTY INSPECTION REPORT FORM

Christine Lee	5/21/2022
<i>Name of Client</i>	<i>Date of Inspection</i>
6315 Settlers Square Lane, Katy, TX 77449	
<i>Address of Inspected Property</i>	
Kevin Sandel	22389
<i>Name of Inspector</i>	<i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today’s standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:

In Attendance:

Customer

Type of building:

Single Family (2 story)

Approximate age of building:

Over 10 Years

Temperature:

Over 65 (F) = 18 (C)

Weather:

Clear

Ground/Soil surface condition:

Dry

Rain in last 3 days:

No

Radon Test:

No

Water Test:

No

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

I. Structural Systems

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

THE BELOW MAJOR DEFICIENCIES LISTS ARE TO BE CORRECTED FIRST BY A PROFESSIONAL TRADE. THERE WILL BE OTHER ITEMS IN THE REPORT THAT CAN BE CORRECTED AT A LATER TIME, SO PLEASE COMPLETELY READ THE FULL REPORT!

STRUCTURAL SYSTEMS MAJOR DEFICIENCIES:

1) All foundation penetrations, gaps and cracks should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.

2) All lifted roof shingles should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage. Should have a professional roofer inspect and evaluate roofing.

3) Roofing has wear and tear at time of inspection. Should have a professional roofer further evaluate.

4) Roof plumbing vent jacks were not installed properly at time of inspection. Should have a professional roofer correct properly. Conducive to moisture intrusion and causing possible damage.

5) All lifted roof exhaust vent lifted flashing should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.

6) Roof sheathing has moisture staining from possible roof leak at time of inspection. Should have a professional roofer inspect and correct properly.

7) Attic did not have proper ventilation at time of inspection. Should have a professional roofer correct properly.

8) All exterior siding seams, penetrations and damage should be sealed and corrected properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.

9) Exterior wall trim has moisture damage and rot in several areas at time of inspection. Should have a professional correct properly.

10) Attic wall was leaking daylight into the interior of attic in several areas at time of inspection. Should correct and seal properly. Conducive to moisture intrusion and causing possible damage.

11) Second floor bedroom ceiling has moisture staining in several areas from a possible roof leak at time of inspection. Should have a professional inspect and correct properly.

12) Rear garage door frame has moisture damage and rot at time of inspection. Door frame was leaking daylight into the interior of garage at time of inspection. Should have a professional correct and seal properly. Conducive to moisture intrusion and causing possible damage.

13) Rear garage door handle was loose at time of inspection. Should correct properly.

14) Rear exterior garage door was missing sill plate at time of inspection. Should have a professional correct properly. . Conducive to moisture intrusion and causing possible damage.

15) Rear exterior door frame has moisture damage and rot at time of inspection. Interior door frame has signs of exterior moisture intrusion at time of inspection. Should have a professional correct and seal properly. Conducive to moisture intrusion and causing possible damage.

16) Front exterior door was catching door frame at time of inspection. Should have a professional correct properly.

17) Rear exterior door was not level in door frame, was not seating properly and leaking daylight into the living space at time of inspection. Should have a professional correct properly.

18) All exterior and interior window penetrations should be sealed properly. Interior window sills have moisture staining in several areas from possible exterior moisture intrusion at time of inspection. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.

19) Tiles on rear sidewalk are loose in several areas at time of inspection. Should have a professional correct properly.

ELECTRICAL SYSTEMS MAJOR DEFICIENCIES:

1) Smoke detectors should be replaced every 10 years and batteries at least every year.

2) All wire sheathing in the breaker box should go all the way to the breaker. No bare wires should be showing. Should have a professional electrician correct.

All repairs are complete

CL

All has been repaired & painted

CL

CL Replaced

CL Door frame repaired

Moisture staining has been mediated

CL

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I NI NP D

3) Rear exterior garage electrical box was loose from wall creating large penetration into the interior of garage at time of inspection. Should have a professional electrician correct properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.

4) Exterior lighting was loose to structure in several areas at time of inspection. Should be secured and sealed properly to the structure by a professional electrician.

Changed

5) Exterior light was missing bulb at time of inspection. Should replace properly.

CL

6) Several exterior electrical outlets were loose to the wall at time of inspection. Should have a professional electrician secure and seal to the structure.

7) Electrical outlet under kitchen sink should be GFCI protected outlet. Should have a professional electrician correct properly.

8) Several interior electrical outlets were loose to the wall at time of inspection. Should a professional electrician secure properly.

9) Utility light was not operating at time of inspection. Should have a professional electrician inspect and correct properly.

10) All utility room electrical outlets should be GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.

All lights have been replaced

CL

11) Many lights were not operating at time of inspection. Possible burnt or missing bulbs at time of inspection. Should correct properly.

HVAC SYSTEMS MAJOR DEFICIENCIES:

AC company seller purchased from came to check & said both are fine. Buyer is welcome to do due diligence It is still covered under warranty if needed

1) 2021 RUUD 3 ton AC unit was not cooling properly at time of inspection. Electrical conduit from unit was not protruding into the wall properly exposing electrical at time of inspection. Should have a professional AC Tech inspect and service unit properly.

2) RUUD gas furnace in the attic was not working properly in Cool Mode at time of inspection. Did not test in Heat Mode since the outside temperature was over 60 degrees at time of inspection. Should have a professional AC Tech inspect and service unit properly.

3) Return grill was full of debris at time of inspection. Should be cleaned properly.

4) HVAC thermostat has low battery at time of inspection. Should replace batteries properly.

5) HVAC registers were dirty in several areas at time of inspection. Should have a professional correct properly.

CL

PLUMBING SYSTEMS MAJOR DEFICIENCIES:

1) Exterior hose bibb was not operating properly at time of inspection. Should have a professional plumber correct properly.

2) 1st floor bathroom sink faucet was loose at time of inspection. Should have a professional plumber correct properly.

3) Bathroom shower diverter was not operating properly at time of inspection. Should have a professional plumber inspect and correct properly.

4) Several bathroom plumbing drains have bowl under them to catch possible moisture at time of inspection. Should have a professional plumber inspect and correct properly.

5) Second floor bathroom sink was not draining properly at time of inspection. Should have a professional plumber inspect and correct properly.

6) Second floor bathtub was not draining properly at time of inspection. Should have a professional plumber inspect and correct properly.

All of this has been repaired

CL

APPLIANCES MAJOR DEFICIENCIES:

Dishwasher is operating, was plugged in incorrectly at first. Oven is cleaned

1) Whirlpool dishwasher was not operating and could not test or operate unit at time of inspection. Possible defective electrical outlet. Should have a professional correct properly.

2) Oven is dirty and should be cleaned properly.

CL

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I	NI	NP	D
			<p>3) Whirlpool built in microwave was working properly at time of inspection. Microwave was loose in compartment at time of inspection. Unit should be secured properly.</p> <p>4) Exterior exhaust vents are damaged in several areas at time of inspection. Should have a professional correct properly.</p> <p>5) Utility exhaust fan was not operating properly at time of inspection. Should have a professional inspect and correct properly.</p>



Currently working

A. Foundations

Type of Foundation(s): Poured concrete

Method used to observe Crawlspace: No crawlspace

Columns or Piers: No Piers or Columns

Comments:

Foundation was working as intended at time of inspection. All foundation penetrations, gaps and cracks should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.

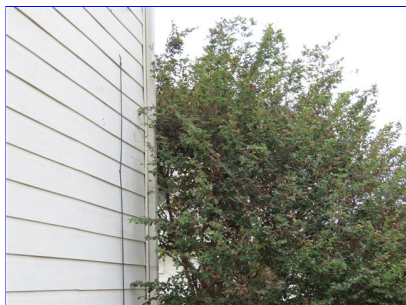


A. Item 1(Picture)

B. Grading and Drainage

Comments:

(1) All trees should be cut back from the structure. Conducive to WDI (Wood Destroying Insects) and possible damage to structure.



B. Item 1(Picture)

(2) Soil was too high to the foundation and siding in several areas at time of inspection. Soil should be graded 6" in 10' away from the foundation. Soil should be at least 4" from bottom of brick and 6" from bottom of siding.

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I	NI	NP	D
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B. Item 2(Picture)

C. Roof Covering Materials

Types of Roof Covering: 3-Tab fiberglass

Viewed roof covering from: Ground

Comments:

(1) All lifted roof shingles should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage. Should have a professional roofer inspect and evaluate roofing.

Notice: Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the insurability of the roof.

The absolute water-tightness of a roof system can only be determined by observing it during a period of prolonged rainfall and differing weather and wind conditions. These conditions are rarely, if ever, present during the inspection, and if they are, there are almost always some areas of the roof that will not be observable, due to factors such as, but not limited to: construction/ framing design, ductwork, insulation, low headroom, etc. Therefore this report should not be construed as a warranty, or an absolute opinion, of the complete water-tightness of the roof system. We will, however, endeavor to report observable evidence of roof leaks or problems. It is also important to talk to the homeowner about any ceiling stains and leak activity whether past or present. A homeowner is obligated by the seller's disclosure paperwork to truthfully report on any roof leak issues since they have owned the home. Make sure you have reviewed the seller's disclosure statement in its entirety.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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C. Item 1(Picture)



C. Item 2(Picture)

(2) Roofing has wear and tear at time of inspection. Should have a professional roofer further evaluate.

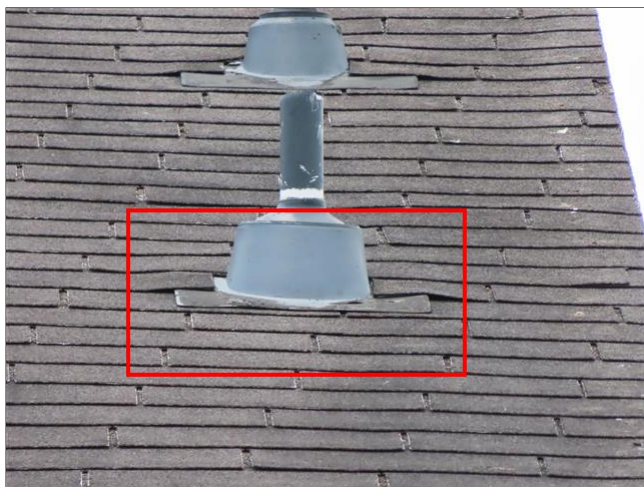


C. Item 3(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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(3) Roof plumbing vent jacks were not installed properly at time of inspection. Should have a professional roofer correct properly. Conducive to moisture intrusion and causing possible damage.



C. Item 4(Picture)

(4) All lifted roof exhaust vent lifted flashing should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage.

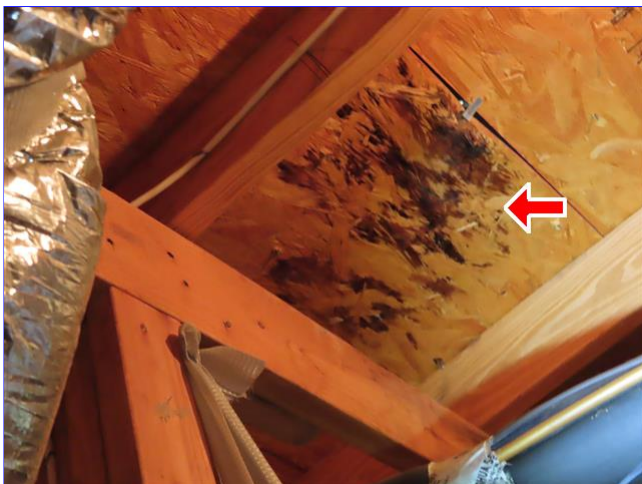


C. Item 5(Picture)

(5) Roof sheathing has moisture staining from possible roof leak at time of inspection. Should have a professional roofer inspect and correct properly.

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I	NI	NP	D
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C. Item 6(Picture)

D. Roof Structures and Attics

Roof-Type: Gable

Roof Structure Type: 2 X 6 Rafters

Method used to observe attic: Walked, Inaccessible

Attic info: Scuttle hole

Approximate Average Depth of Insulation: 10 inches

Comments:

(1) Areas of the attic was not accessible to inspect at time of inspection. These areas were not inspected for any defects or deficiencies at time of inspection.



D. Item 1(Picture)

(2) Attic did not have proper ventilation at time of inspection. Should have a professional roofer correct properly.

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I	NI	NP	D
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D. Item 2(Picture)



D. Item 3(Picture)

E. Walls (Interior and Exterior)

- Wall Structure:** Wood
- Siding Style:** Lap
- Siding Material:** Cement-Fiber
- Wall Material:** Gypsum Board
- Cabinetry:** Wood
- Countertop:** Granite

Comments:

(1) All exterior siding seams, penetrations and damage should be sealed and corrected properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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E. Item 1(Picture)



E. Item 2(Picture)



E. Item 3(Picture)

(2) Exterior wall trim has moisture damage and rot in several areas at time of inspection. Should have a professional correct properly.

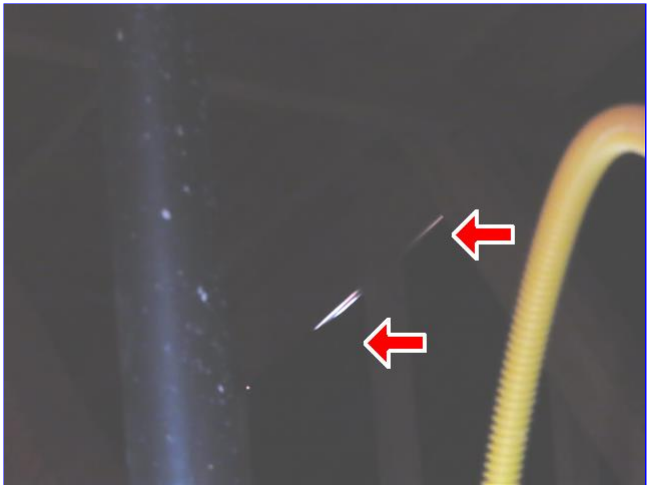
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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E. Item 4(Picture)

(3) Attic wall was leaking daylight into the interior of attic in several areas at time of inspection. Should correct and seal properly. Conducive to moisture intrusion and causing possible damage.



E. Item 5(Picture)



E. Item 6(Picture)

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I	NI	NP	D
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F. Ceilings and Floors

- Ceiling Structure:** Not visible
- Floor Structure:** Slab, Wood joists
- Ceiling Materials:** Gypsum Board
- Floor Covering(s):** Carpet, Laminated T&G, Tile

Comments:

(1) Second floor bedroom ceiling has moisture staining in several areas from a possible roof leak at time of inspection. Should have a professional inspect and correct properly.



F. Item 1(Picture)

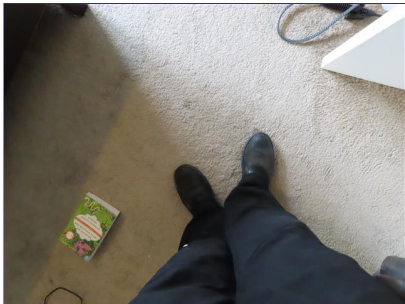


F. Item 2(Picture)

(2) Upstairs subfloor in several areas have soft spots and make noise when walked on. Should have a professional secure subfloor properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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F. Item 3(Picture)

G. Doors (Interior and Exterior)

Exterior Entry Doors: Steel

Interior Doors: Hollow core

Comments:

(1) Rear garage door frame has moisture damage and rot at time of inspection. Door frame was leaking daylight into the interior of garage at time of inspection. Should have a professional correct and seal properly. Conducive to moisture intrusion and causing possible damage.

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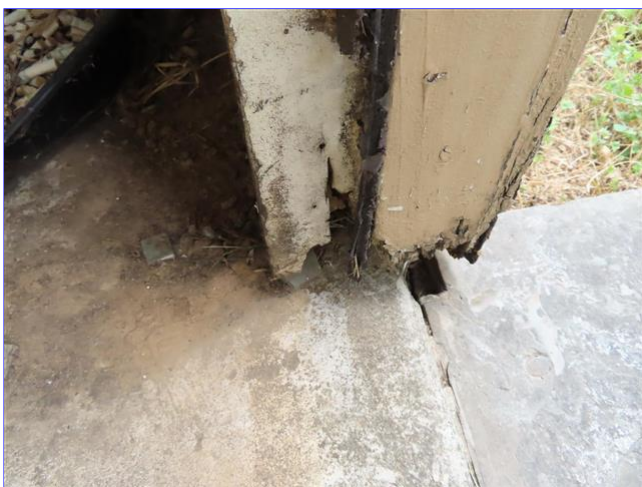
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G. Item 1(Picture)



G. Item 2(Picture)



G. Item 3(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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G. Item 4(Picture)



G. Item 5(Picture)

(2) Rear garage door handle was loose at time of inspection. Should correct properly.



G. Item 6(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

(3) Rear exterior garage door was missing sill plate at time of inspection. Should have a professional correct properly. . Conducive to moisture intrusion and causing possible damage.



G. Item 7(Picture)

(4) Rear exterior door frame has moisture damage and rot at time of inspection. Interior door frame has signs of exterior moisture intrusion at time of inspection. Should have a professional correct and seal properly. Conducive to moisture intrusion and causing possible damage.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Item 8(Picture)



G. Item 9(Picture)

(5) Front exterior door was catching door frame at time of inspection. Should have a professional correct properly.



G. Item 10(Picture)

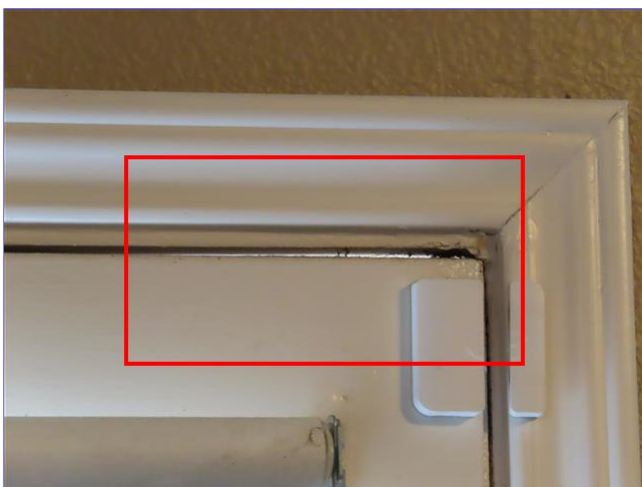
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I	NI	NP	D
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(6) Rear exterior door was not level in door frame, was not seating properly and leaking daylight into the living space at time of inspection. Should have a professional correct properly.



G. Item 11(Picture)



G. Item 12(Picture)

H. Windows

Window Types: Thermal/Insulated

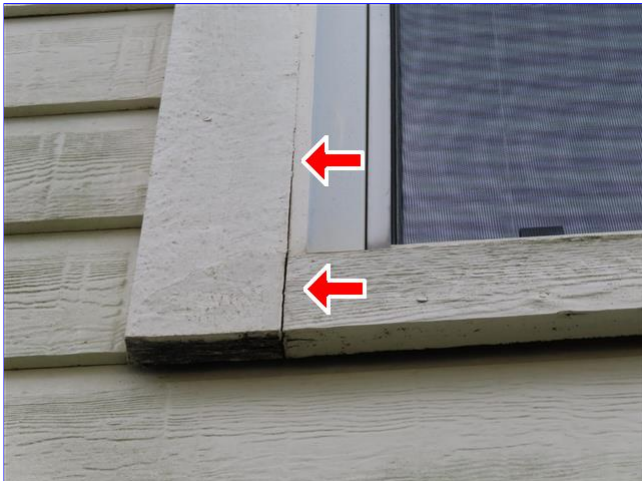
Window Manufacturer: BFS

Comments:

All exterior and interior window penetrations should be sealed properly. Interior window sills have moisture staining in several areas from possible exterior moisture intrusion at time of inspection. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.

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I	NI	NP	D
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H. Item 1(Picture)



H. Item 2(Picture)

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Sky Light(s): None

Chimney (exterior): N/A

Types of Fireplaces: None

Operable Fireplaces: None

Number of Woodstoves: None

Comments:

K. Porches, Balconies, Decks and Carports

Appurtenance: Porch, Sidewalk, Patio

Driveway: Concrete

Comments:

(1) Front porch columns were touching soil at time of inspection. This is conducive to possible moisture, rot and WDI (Wood Destroying Insect).

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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K. Item 1(Picture)

(2) Tiles on rear sidewalk are loose in several areas at time of inspection. Should have a professional correct properly.



K. Item 2(Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Disclaimer:

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection, and not a prediction of future conditions. It is a snapshot in time. A general inspection will not reveal every issue that exists or ever could exist. But only those material defects observed on the date of the inspection. This is not an inspection of cosmetic defects or deficiencies. Several areas of the property were inaccessible at time of inspection due to being blocked, covered or no proper safe pathways to areas. These areas were not inspected at time of inspection.

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I NI NP D

II. Electrical Systems

A. Service Entrance and Panels

Electrical Service Conductors: Below ground

Panel Capacity: 100 AMP

Panel Type: Circuit breakers, AFCI Breakers

Electric Panel Manufacturer: SQUARE D

Comments:

Square D breaker box and electric meter. Boxes should be sealed properly to siding. Dead front cover was missing fastener at time of inspection. Should have a professional electrician correct properly.



A. Item 1(Picture)



A. Item 2(Picture)



A. Item 3(Picture)



A. Item 4(Picture)

B. Branch Circuits, Connected Devices and Fixtures

Type of wiring: Copper

Wiring Methods: Romex

Comments:

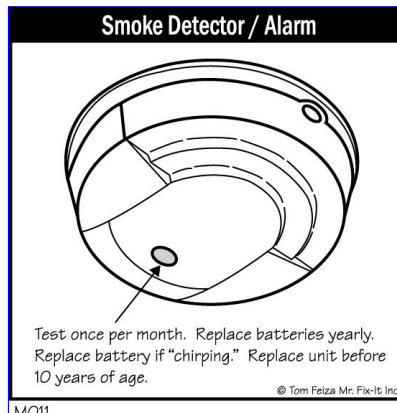
(1) The smoke detector should be tested at common hallway to bedrooms upon moving in to home. Smoke detectors should be replaced every 10 years and batteries at least every year.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 1(Picture)



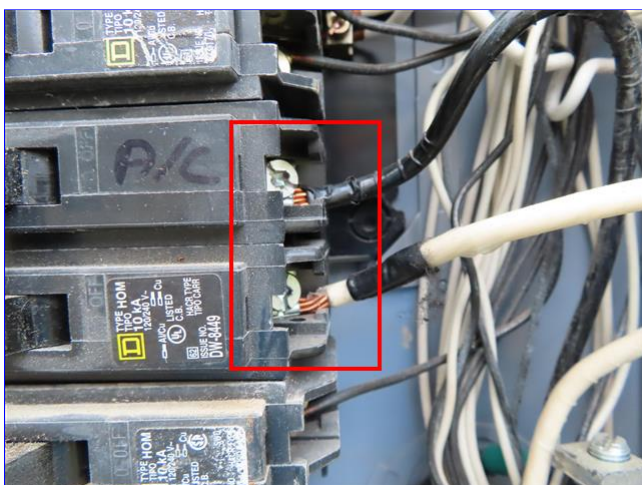
B. Item 2(Picture)

(2) 100 amp main disconnect. (This is for informational purposes only)



B. Item 3(Picture)

(3) All wire sheathing in the breaker box should go all the way to the breaker. No bare wires should be showing. Should have a professional electrician correct.



B. Item 4(Picture)

(4) Rear exterior garage electrical box was loose from wall creating large penetration into the interior of

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I	NI	NP	D
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garage at time of inspection. Should have a professional electrician correct properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.



B. Item 5(Picture)



B. Item 6(Picture)

(5) Exterior lighting was loose to structure in several areas at time of inspection. Should be secured and sealed properly to the structure by a professional electrician.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 7(Picture)

(6) Exterior light was missing bulb at time of inspection. Should replace properly.



B. Item 8(Picture)

(7) Several exterior electrical outlets were loose to the wall at time of inspection. Should have a professional electrician secure and seal to the structure.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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B. Item 9(Picture)

(8) Electrical outlet under kitchen sink should be GFCI protected outlet. Should have a professional electrician correct properly.



B. Item 10(Picture)

(9) Several interior electrical outlets were loose to the wall at time of inspection. Should a professional electrician secure properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 11(Picture)

(10) Utility light was not operating at time of inspection. Should have a professional electrician inspect and correct properly.

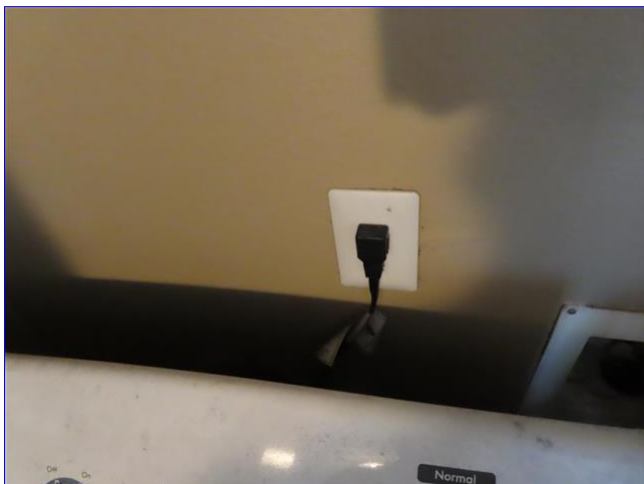


B. Item 12(Picture)

(11) All utility room electrical outlets should be GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.

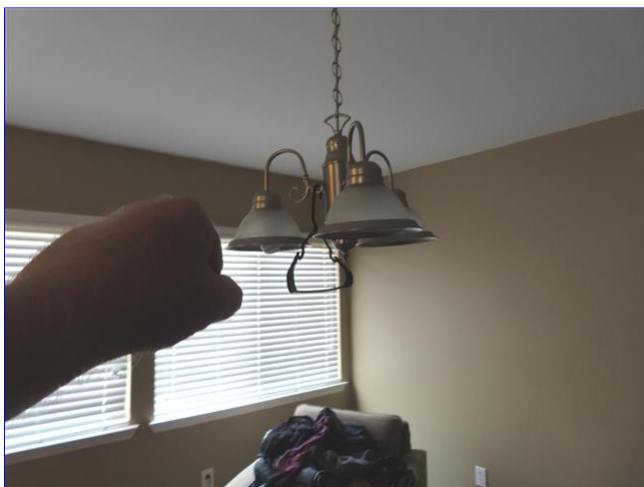
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I	NI	NP	D
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B. Item 13(Picture)

(12) Many lights were not operating at time of inspection. Possible burnt or missing bulbs at time of inspection. Should correct properly.



B. Item 14(Picture)

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

III. Heating, Ventilation and Air Conditioning Systems

A. Cooling Equipment

Type of Systems (Cooling): Air conditioner unit

Cooling Equipment Energy Source: Electricity

Number of AC Only Units: One

Central Air Brand: RUUD

Comments:

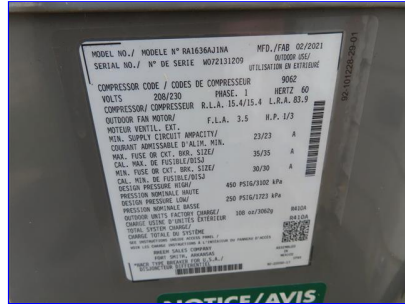
2021 RUUD 3 ton AC unit was not cooling properly at time of inspection. Electrical conduit from unit was not protruding into the wall properly exposing electrical at time of inspection. Should have a professional AC Tech inspect and service unit properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 1(Picture)



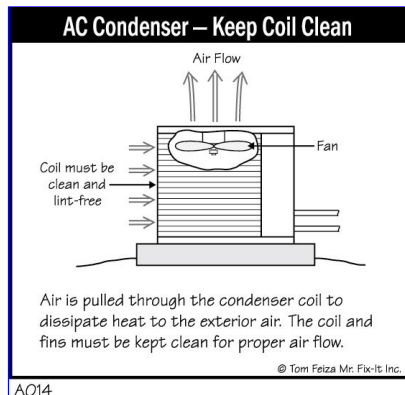
A. Item 2(Picture)



A. Item 3(Picture)



A. Item 4(Picture)



AQ14

A. Item 5(Picture)

B. Heating Equipment

Type of Systems (Heating): Furnace

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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Energy Sources: Gas

Number of Heat Systems (excluding wood): One

Heat System Brand: RUUD

Comments:

RUUD gas furnace in the attic was not working properly in Cool Mode at time of inspection. Did not test in Heat Mode since the outside temperature was over 60 degrees at time of inspection. Should have a professional AC Tech inspect and service unit properly.



B. Item 1(Picture)

C. Duct Systems, Chases and Vents

Ductwork: Insulated

Filter Type: Disposable

Filter Size: N/A

Comments:

(1) Return grill was full of debris at time of inspection. Should be cleaned properly.



C. Item 1(Picture)

(2) HVAC thermostat has low battery at time of inspection. Should replace batteries properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 2(Picture)

(3) HVAC registers were dirty in several areas at time of inspection. Should have a professional correct properly.



C. Item 3(Picture)

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

IV. Plumbing System

A. Plumbing Supply, Distribution System and Fixtures

Water Source: Public

Water Filters: (We do not inspect filtration systems)

Plumbing Water Supply (into home): PVC

Plumbing Water Distribution (inside home): CPVC

Location of water meter: in yard

Location of main water supply valve: Side of Structure

Static water pressure reading: 58 psi

Type of supply piping material: CPVC

Type of drain piping material: PVC

Comments:

(1) Static water pressure was 58 psi at time of inspection. (This is for informational purposes only)



A. Item 1(Picture)

(2) Exterior hose bibb was not operating properly at time of inspection. Should have a professional plumber correct properly.



A. Item 2(Picture)

(3) Rear exterior faucet was missing hose bibb at time of inspection. Should have a professional plumber correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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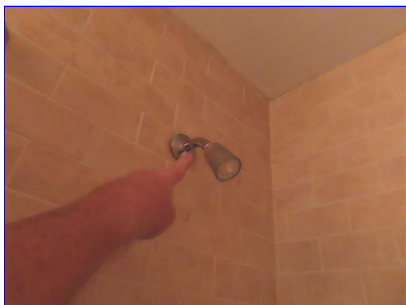
A. Item 3(Picture)

(4) 1st floor bathroom sink faucet was loose at time of inspection. Should have a professional plumber correct properly.



A. Item 4(Picture)

(5) Several plumbing fixtures were loose at time of inspection. Should have a professional plumber correct properly.

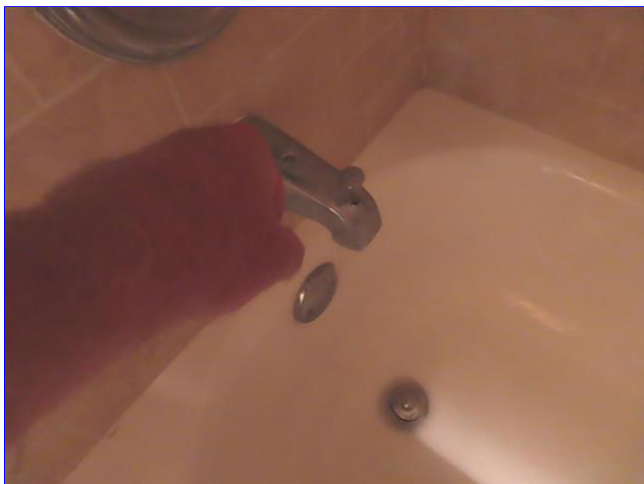


A. Item 5(Picture)

(6) Bathroom shower diverter was not operating properly at time of inspection. Should have a professional plumber inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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A. Item 6(Picture)

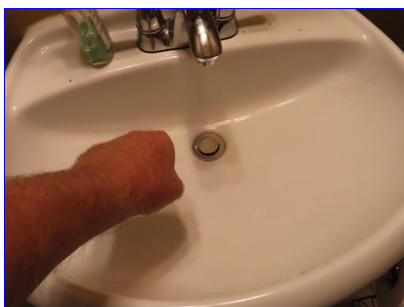
B. Drains, Waste and Vents

Washer Drain Size: 2" Diameter

Plumbing Waste: PVC

Comments:

(1) Several bathroom drain stoppers did not operate at time of inspection. Should have a professional plumber correct properly.



B. Item 1(Picture)

(2) Several bathroom plumbing drains have bowl under them to catch possible moisture at time of inspection. Should have a professional plumber inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 2(Picture)

(3) Second floor bathroom sink was not draining properly at time of inspection. Should have a professional plumber inspect and correct properly.

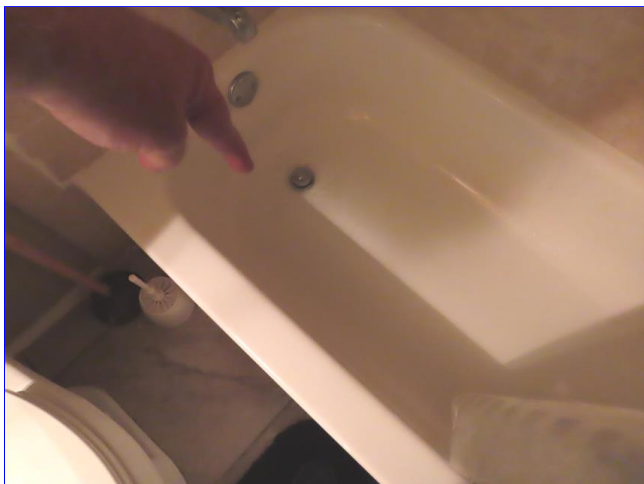


B. Item 3(Picture)

(4) Second floor bathtub was not draining properly at time of inspection. Should have a professional plumber inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 4(Picture)

C. Water Heating Equipment

Water Heater energy sources: Gas (quick recovery)

Water Heater Capacity: 40 Gallon (1-2 people)

Water Heater Location: Attic

WH Manufacturer: RHEEM

Comments:

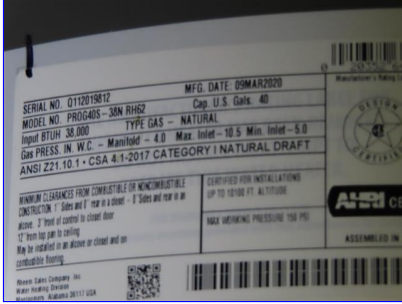
2020 Rheem gas 40 gallon hot water heater in the attic was operating properly at time of inspection.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

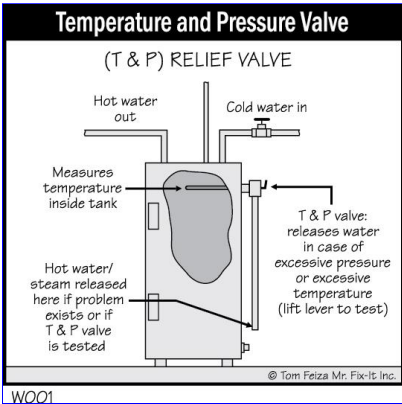
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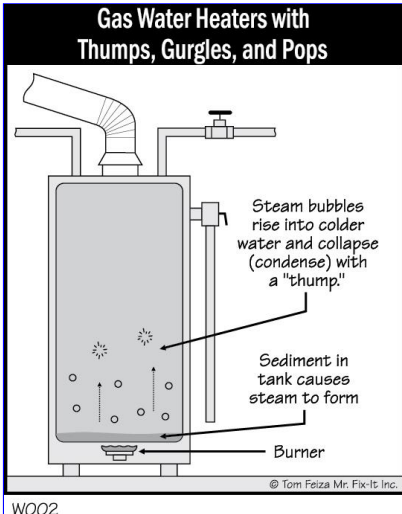
C. Item 1(Picture)



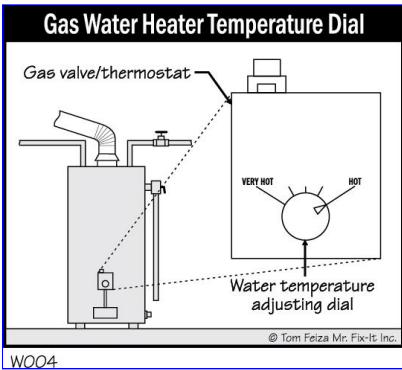
C. Item 2(Picture)



C. Item 3(Picture)



C. Item 4(Picture)



C. Item 5(Picture)

D. Hydro-Massage Therapy Equipment

Comments:

E. Gas Distribution Systems and Gas Appliances

Location of gas meter: Exterior Side of Structure

Type of gas distribution piping material: Cast Iron

Comments:

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

V. Appliances

A. Dishwasher

Dishwasher Brand: WHIRLPOOL

Comments:

Whirlpool dishwasher was not operating and could not test or operate unit at time of inspection. Possible defective electrical outlet. Should have a professional correct properly.



A. Item 1(Picture)

B. Food Waste Disposers

Disposer Brand: IN SINK ERATOR

Comments:

InSinkErator disposal was working properly at time of inspection.



B. Item 1(Picture)

C. Range Hood and Exhaust System

Exhaust/Range hood: WHIRLPOOL

Comments:

Whirlpool built in microwave exhaust fan and light was working properly at time of inspection.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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C. Item 1(Picture)

D. Ranges, Cooktops and Ovens

Range/Oven: WHIRLPOOL

Comments:

Whirlpool gas cooktop and oven was working properly at time of inspection. Oven is dirty and should be cleaned properly.



D. Item 1(Picture)



D. Item 2(Picture)

E. Microwave Ovens

Built in Microwave: WHIRLPOOL

Comments:

Whirlpool built in microwave was working properly at time of inspection. Microwave was loose in compartment at time of inspection. Unit should be secured properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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E. Item 1(Picture)

F. Mechanical Exhaust Vents and bathroom Heaters

[Comments:](#)

(1) Exterior exhaust vents are damaged in several areas at time of inspection. Should have a professional correct properly.



F. Item 1(Picture)

(2) Utility exhaust fan was not operating properly at time of inspection. Should have a professional inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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F. Item 2(Picture)

G. Garage Door Operator(s)

Auto-opener Manufacturer: N/A

Garage Door Type: One manual

Garage Door Material: Metal

[Comments:](#)

H. Dryer Exhaust System

[Comments:](#)

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Disclaimer:

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection, and not a prediction of future conditions. It is a snapshot in time. A general inspection will not reveal every issue that exists or ever could exist. But only those material defects observed on the date of the inspection. This is not an inspection of cosmetic defects or deficiencies. Several areas of the property were inaccessible at time of inspection due to being blocked, covered or no proper safe pathways to areas. These areas were not inspected at time of inspection.

If you're reading this report but did not hire me, American Dream Inspections TX LLC to perform the original inspection, please note that it is likely that conditions related to the home have probably changed, even if the report is fairly recent. Just as you cannot rely on an outdated weather report, you should not rely on an outdated inspection report. Minor problems noted may have become worse, recent events may have created new issues, and items may even have been corrected and improved. Don't rely on old information about one of the biggest purchases you'll ever make. Remember that the cost of a home inspection is insignificant compared to the value of the home. Protect your family and your investment, and please call me directly at 832-566-0973 to discuss the report you're reading for this properly so that we can arrange a re-inspection.

Thank you!