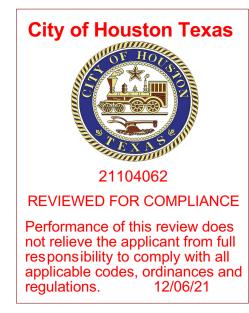
SINGLE-FAMILY RESIDENCE ADDITION REMODEL AT 4006 BERING STREET HOUSTON, TEXAS 77003





A B		
Many Strategy		
The second of the second		
Sign Sing Sing Sing Sing Sing Sing Sing		

107 N. Milby Street Ste. B

Houston, Texas 77003

Ph: (281)501-2949

info@plan-express.com

www.plan-express.com

REVISIONS

Copyright Plan Express, All Rights Reserved, The Duplication, Reproduction, Copying, Sale, Rental, Licensing, or other distribution or

use of these drawings, any portion thereof, or the plans depicted hereon is Strictly

Prohibited unless expressly authorized in writing by Plan Express. Plan Express is not be held responsible for the architectural and

structural design in any way or matter.

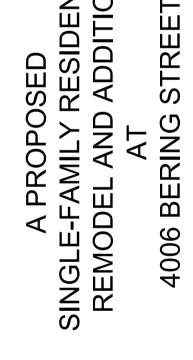
FC BETTER

HOMES LLC

DESCRIPTION

DATE

OWNER:

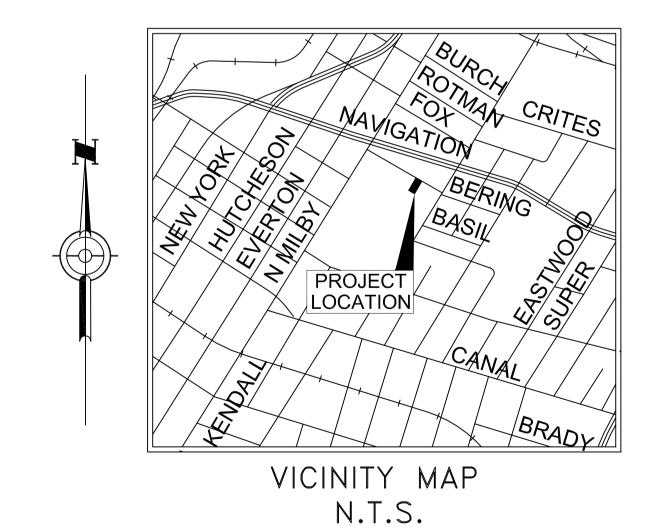


DRAWING	TITLE:
	COVER SHEET
DATE:	
	9/13/2021
DESIGN:	
	LRD
DRAWN:	
	AAA
SCALE:	
	N.T.S.
JOB No:	
	21091120

DRAWING

C-S





KEY MAP #494-P

RESIDENCE 1,017 **#** PORCH 55 **中** CARPORT 738 ADD ON 107 中 TOTAL SQUARE FEET 1,917 [‡]

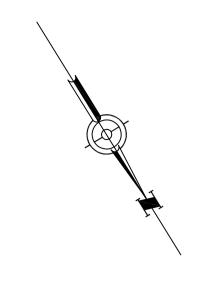
> HARDIE PLANK EXTERIOR PIER & BEAM FOUNDATION SINGLE FAMILY RESIDENCE 28'-1" WIDE x 42'-0" DEEP 9'-0" CEILING HEIGHT



107 N. Milby St. Suite B Phone: 281-501-2949 Houston, Texas 77003

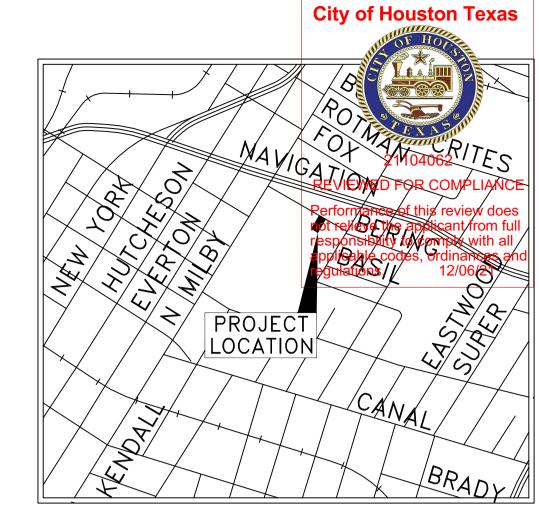
E-mail: info@plan-express.com

SEPTEMBER 2021



BLOCK 2

LOT 3



VICINITY MAP N.T.S.

KEY MAP #494-P

NOTE PRIOR TO CONSTRUCTION:

APPROVAL NOTES:

NOTES:

THE SITE PLAN FOR APPROVAL.

ALL DIMENSIONS MUST BE CHECKED AND VERIFIED BEFORE CONSTRUCTION MAY BEGIN. IN CASE OF ANY

DISCREPANCY OR ERROR CONTACT THE PROJECT ENGINEER IMMEDIATELY.

IF A BUILDING PERMIT IS NOT ISSUED AND CONSTRUCTION HAS

NOT BEGUN, THE DEVELOPER WILL BE REQUIRED TO RESUBMIT

THE ELEVATION OF FINISHED FLOOR SHALL BE 1'-0"

IT IS THE BUILDERS OR CONTRACTOR RESPONSIBILITY

UTILITY EASEMENTS, AERIAL EASEMENTS, BUILDING LINES &

SUCH FOR ENCROACHMENTS, ACCURACY & COMPLIANCE TO CODES

BUILDER/CONTRACTOR TO VERIFY ALL INFORMATION ON THIS SITE

TO VERIFY ALL SLAB CONFIGURATIONS AND DROPS,

PLAN & BE RESPONSIBLE FOR ITS ACCURACY.

ABOVE NEAREST MANHOLE COVER (PER 2012 I.R.C.

& CITY OF HOUSTON BUILDING CODE) DO

NOT DRAIN TO ADJACENT PROPERTY.

EXISTING RESIDENCE= 1,017 SQ.FT. EXISTING PORCH= 55 SQ.FT. 738 SQ.FT. EXISTING CARPORT= 107 SQ.FT. ADD ON=

SQUARE FOOTAGES

TOTAL COVERED AREA= 1,917 SQ.FT.

DEVELOPMENT SERVICES Erica Hylemon 11/18/2021

LANDSCAPING NOT REQUIRED

RECOMMENDED APPROVAL

PLANNING AND DEVELOPMENT

DEPARTMENT

LOT I

PLANNING & DEVELOPMENT SERVICES DIVISION WATER/WASTEWATER

EXISTING ONE-STORY 35 SINGLE FAMILY Z RESIDENCE UTILITIES ON SITE 4) ⁷ Nhut Nguyen 10/26/2021 N 55°25'00" W

107 SQ.FT ADD-ON

S 55°03'19" E

EXISTING

738

SQ.FT

CARPORT

8.5

52.83'

ADDRESS: 4006 BERING STREET-(40' R.O.W.)

52.83'

SITE PLAN

AREA OF EXISTING AREA OF FINAL IMPROVEMENT TYPE IMPERVIOUS COVER IMPERVIOUS COVER BUILDING(S) 1,810 SF 1,917 SF PARKING LOT/DRIVEWAY 379 SF 379 SF PATIO/PORCH 107 SF 0 SF 0 SF DETENTION POND/POOLS 0 SF TOTAL AREA 2,296 SF 2,296 SF

2,296 SF (TOTAL IMPERVIOUS COVER) / 4,458 SF (SIZE OF LOT) * 100 = 51.50% IMPERVIOUS COVER

NOTE: DETENTION STORAGE IS NOT REQUIRED FOR THIS PROJECT.

LEGAL DESCRIPTION

LOT: 2 BLOCK: 2 SUBDIVISION: DRENNAN ADDITION HARRIS COUNTY TEXAS 4006 BERING STREET HOUSTON, TEXAS 77003

107 N. Milby Street Ste. B Houston, Texas 77003 Ph: (281)501-2949 info@plan—express.com www.plan-express.com

	RE	EVISIONS
).	DATE	DESCRIPTION
	_	_

Copyright Plan Express, All Rights Reserved, The Duplication, Reproduction, Copying, Sale, Rental, Licensing, or other distribution or use of these drawings, any portion thereof, or the plans depicted hereon is Strictly Prohibited unless expressly authorized in writing by Plan Express. Plan Express is not be held responsible for the architectural and structural design in any way or matter.

OWNER:

FC BETTER **HOMES LLC**

A PROPOSED
SINGLE FAMILY RESIDENCE
REMODEL AND ADDITION ET 7003

DRAWING TITLE:

SITE PLAN

DATE: 10/12/2021

DESIGN:

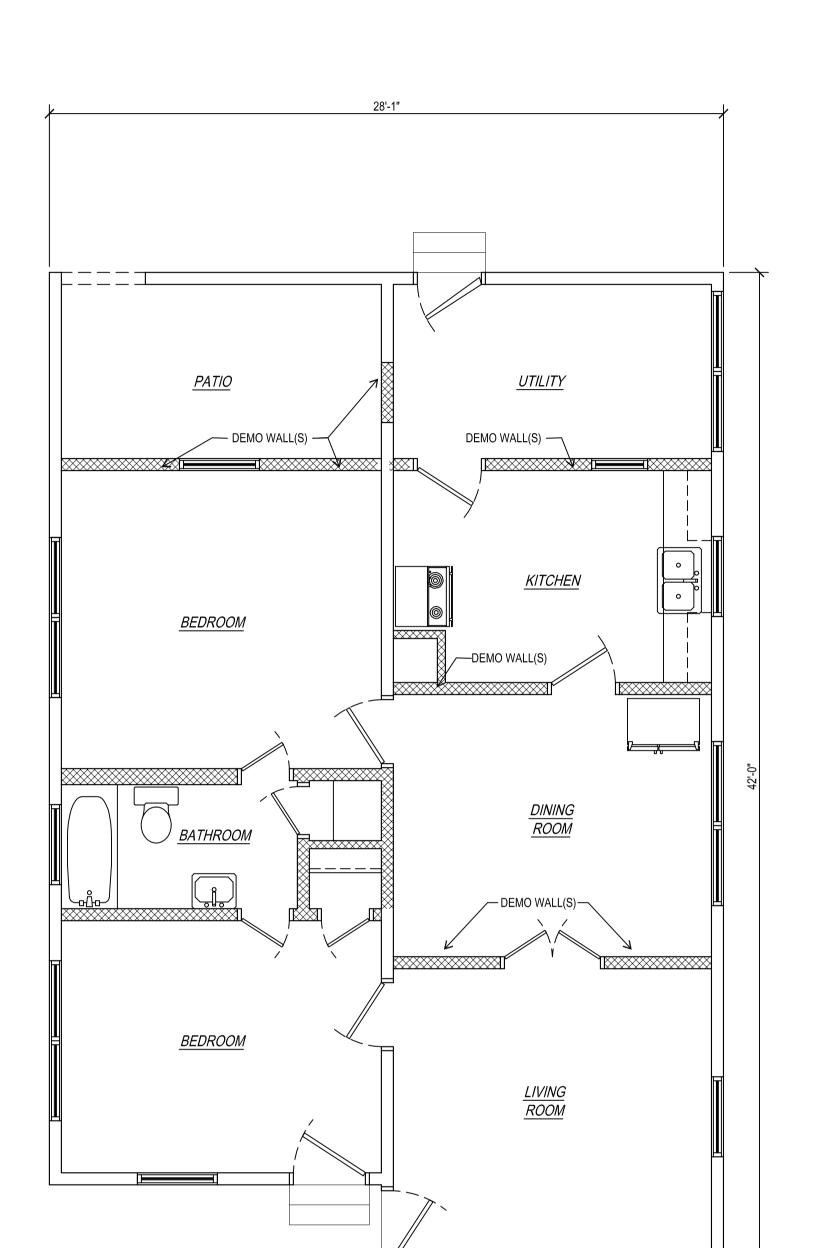
LRD

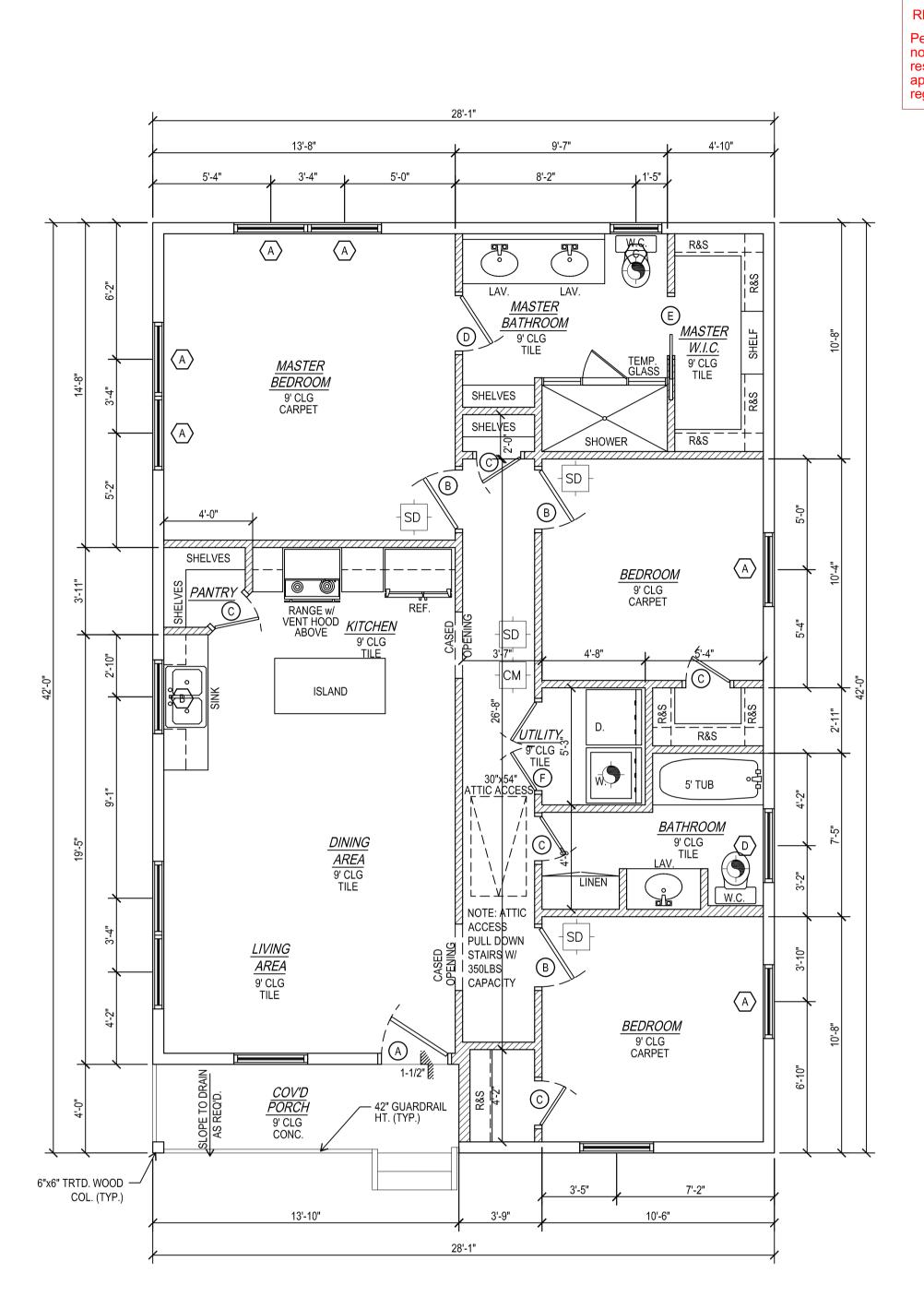
DRAWN: AAASCALE:

1:10 JOB No:

21091120 FILE:

P:\2020\21091120\4006 BERING DRAWING





FLOOR PLAN- EXISTING FLOOR PLAN- PROPOSED



21104062

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes, ordinances and regulations.

12/06/21

Houston, Texas 77003

Ph: (281)501-2949

info@plan-express.com

www.plan-express.com

REVISIONS					
ο.	DATE	DESCRIPTION			
	_	_			

2 -

Copyright Plan Express, All Rights Reserved, The Duplication, Reproduction, Copying, Sale, Rental, Licensing, or other distribution or use of these drawings, any portion thereof, or the plans depicted hereon is Strictly Prohibited unless expressly authorized in writing by Plan Express. Plan Express is not be held responsible for the architectural and structural design in any way or matter.

OWNER:

FC BETTER HOMES LLC

A PROPOSED
SINGLE-FAMILY RESIDENCE
REMODEL AND ADDITION
AT
A006 BERING STREET

DRAWING TITLE:

FLOOR PLAN

DATE: 9/13/2021

DESIGN: LRD

DRAWN: AAA

SCALE:

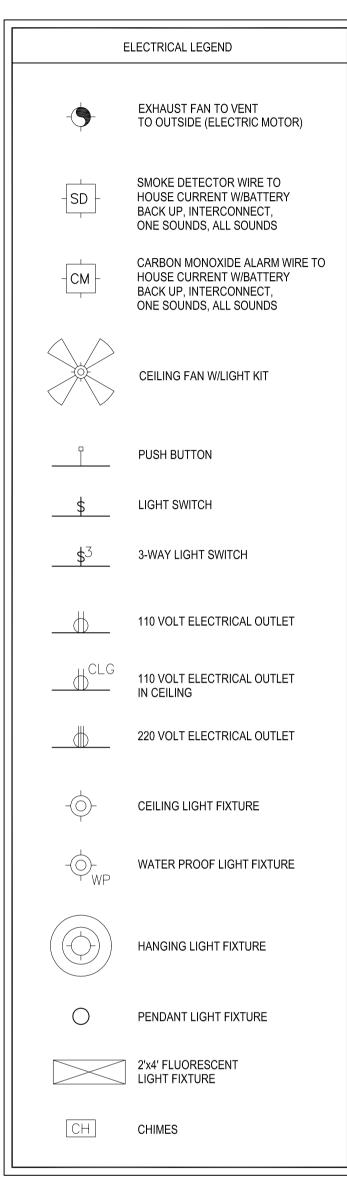
1/4"= 1'-0"

JOB No: 21091120

PE\2021\21091120\4006 BERIN

DRAWING

A-1



NOTE: SMOKE/CARBON MONOXIDE DETECTORS SHALL BE HARD-WIRED AND INTERCONNECTED WITH BATTERY BACKUP.

GENERAL NOTES:

1. ALL LUMBER IS SYP #2.

GROUND SHALL BE TREATED.

COMPOSITION SHINGLES.

15. SOFFIT VENTS TO BE CONTINUOUS.

16. SOFFIT AND DRIP TO BE HARDY.

2. ALL LUMBER COMING IN CONTACT WITH CONC. OR WITHIN 18" FROM

4. STUDS TO BE DOUBLED AT 3' OPENINGS, TRIPLED AT 6' OPENINGS.

10. MAXIMUM UNSUPPORTED RAFTER SPAN FOR 2X6 AT 16" O.C. 13'-11"

12. ROOF DECK TO BE 1/2" PLYWOOD EXT. OR 7/16" O.S.D. WITH PLY CLIPS.

17. USE WATER RESISTANT GYPSUM BOARD FOR WALLS AND CLGS. IN ALL BATH

AREAS. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE

FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. 18. ALL INTERIOR WALLS AND CEILINGS ARE TO BE COVERED WITH GYP BD,

WITH METAL CORNER REINFORCING, TAPE, FLOAT AND SAND. (3 COATS) GARAGE CLG. TO BE COVERED WITH GYPSUM BOARD AS NOTED.

13. COMPOSITION SHINGLES TO BE ON 15 LB FELT MIN. WITH DRIP EDGE.

7. ALL VALLEYS, HIPS AND RIDGES TO BE ONE SIZE LARGER THAN RAFTER.

3. WALLS TO BE 2X4 STUD AT 16" O.C. UP TO 14' MAX HT.

6. CORNER BRACING TO BE 1X4 LET IN AT 45° ANGLE.

11. FLOOR DECK TO BE 3/4" T&G O.S.B OR 1-1/2" PLYWOOD.

14. EVERY RIDGE 3' AND LARGER TO HAVE RIDGE VENT.

8. 2X6 COLLAR TIES AND 2X4 BRACING AT 48" O.C. 9. PURLINS TO MIN. 2X8'S CONT. IN UPPER 1/3 ROOF.

4. DOUBLE HEADER JOIST & TRIMMERS AT ALL FLOOR OPNGS

5. SOLID BRIDGING OVER ALL PARTITIONS BELOW SECOND FLR.

FOUNDATION PROTECTION AGAINST DECAY (WOOD SILL AND SLEEPERS) R317.1, ITEM 3 2012 IRC SILL AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND SHALL BE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.

FOUNDATION PROTECTION AGAINST DECAY R317.1, ITEM 3 2012 IRC

ATTIC ACCESS NOTES PER 2012 IRC:

ATTIC ACCESS APPLIANCES (CATWALK) M1305.1.3 2012 IRC AMENDMENTS PROVIDE AN UNOBSTRUCTED PASSAGEWAY NOT MORE THAN 20 FEET IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGE WAY FROM THE OPENING TO THE APPLIANCE WITH A MINIMUM HEADROOM HEIGHT OF 30 INCHES AND A MINIMUM WIDTH OF 30 INCHES. ATTIC ACCESS APPLIANCES (CLEARANCE) M1305.1.3 2012 IRC AMENDMENTS A LEVEL SURFACE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.

AS PER IRC SECTION R 309.1

OPENING BETWEEN THE GARAGE AND GARAGE CLG. TO BE COVERED WITH GYPSUM BOARD AS NOTED. OPENING BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK OR 20 MIN. FIRE RATED DOORS.

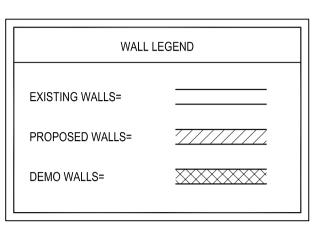
AS PER IRC SECTION R 309.2

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8" GYPSUM BOARD (CEILING) APPLIED TO THE GARAGE SIDE WHERE THERE IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.

AS PER IRC SECTION R 310.4

ALL ESCAPE OR RESCUE WINDOW FROM SLEEPING ROOMS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. THE MINIMUM NET CLEAR OPENING WITH DIMENSION SHALL NOT BE LESS THAN 20 INCHES, AND THE MINIMUM CLEAR HEIGHT DIMENSION SHALL NOT BE THAN 24 INCHES. (PER IRC R310.4) GRADE FLOOR SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. (PER IRC R310.1)

SCOPE OF WORK A PROPOSED 107 SQ. FT ADDITION TO AN EXISTING 1,017 SQ FT ONE-STORY SINGLE FAMILY RESIDENCE ON PIER AND BEAM FOUNDATION



RESIDENCE	 1,017	ф
		4
PATIO	 107	ф
PORCH	 55	ф
CARPORT	 738	ф
TOTAL SQUARE FEET	 1,917	ф

PROPOSED S	QUARE FOOTAG	ES	
RESIDENCE		1,124	ф
EXISTING PORCH		55	ф
EXISTING CARPORT		738	ф
TOTAL SQUARE FEET		1,917	ф

ı	NSULATION AND F	FENESTRATION		
MAX U-FACTOR	MAX SHGC	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE
0.40	0.25	38	13	13

NOTE *= ALL VALUES SHALL MEET OR EXCEED THE MINIMUMS PROVIDED BY THIS TABLE WHEN SHOWING COMPLIANCE WITH THIS METHOD.

	WINDOW SCHEDULE							
NO.	QTY.	SIZE	MATERIAL	FRAME	HDR. HT.	REMARKS		
A	6	3'-0"x5'-0"	VINYL/GLASS	VINYL	7'-0"	* SINGLE HUNG		
B	1	3'-0"x3'-0"	VINYL/GLASS	VINYL	7'-0"	* SINGLE HUNG		
(C)	1	2'-0"x2'-0"	VINYL/GLASS	VINYL	7'-0"	* FIXED		
D	1	3'-0"x1'-0"	VINYL/GLASS	VINYL	7'-0"	* FIXED		

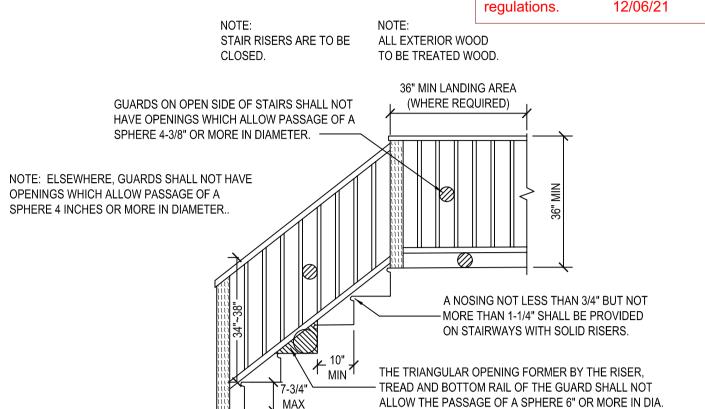
NOTE *= SAFETY GLAZING AS PER R308.4

	DOOR SCHEDU	ILE				
		DOORS		FRAMES	HARD-	
NO.	ROOM NAME	SIZE	MATERIAL	MATERIAL	WARE	REMARKS
A	ENTRANCE	3'-0"x7'-0"	WOOD S.C.	WOOD		DESIGN BY OWNER
B	BEDROOM	2'-8"x6'-8"	WOOD H.C.	WOOD		DESIGN BY OWNER
©	CLOSET/BATH/PANTRY	2'-0"x6'-8"	WOOD H.C.	WOOD		DESIGN BY OWNER
D	MASTER BATH	2'-6"x6'-8"	WOOD H.C.	WOOD		DESIGN BY OWNER
E	MASTER CLOSET	2'-0"x6'-8"	WOOD H.C.	WOOD		POCKET DOOR
F	UTILITY	(2)2'-0"x6'-8"	WOOD H.C.	WOOD		DESIGN BY OWNER



REVIEWED FOR COMPLIANCE Performance of this review does not relieve the applicant from full responsibility to comply with all

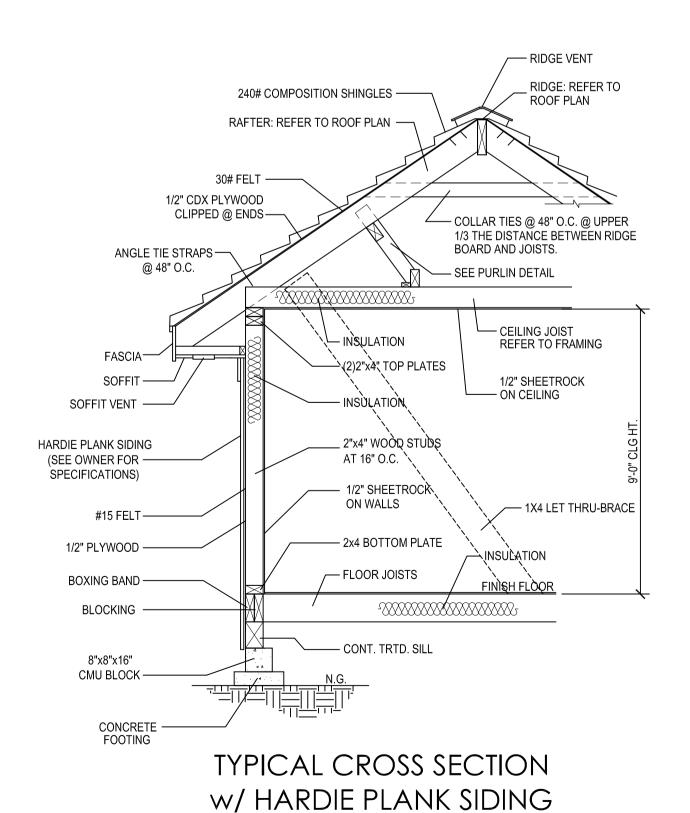
applicable codes, ordinances and



1. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR A UNIFORMLY DISTRIBUTED LIVE LOAD OF 40 PSF OR A 300 POUND CONCENTRATED LOAD ACTING OVER AND AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESS.

2. GUARDRAILS AND HANDRAILS SHALL BE DESIGNED FOR A SINGLE CONCENTRATED LOAD OF 200 POUND APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

RESIDENTIAL STAIR DETAIL



Plans & Permits Services

107 N. Milby Street Ste. B Houston, Texas 77003 Ph: (281)501-2949 info@plan—express.com www.plan-express.com

	REVISIONS					
. DATE DESCRIPTION						
	_	_				

Copyright Plan Express, All Rights Reserved, The Duplication, Reproduction, Copying, Sale Rental, Licensing, or other distribution or use of these drawings, any portion thereof, or the plans depicted hereon is Strictly Prohibited unless expressly authorized in writing by Plan Express. Plan Express is not be held responsible for the architectural and structural design in any way or matter.

OWNER:

FC BETTER **HOMES LLC**

A PROPOSED SINGLE-FAMILY RESIDENCE REMODEL AND ADDITION ADDI

DRAWING TITLE: NOTES & **DETAILS** DATE: 9/13/2021 DESIGN: LRD DRAWN: AAA SCALE:

N.T.S. JOB No: 21091120

FILE: PE\2021\21091120\4006 BERING

DRAWING

GENERAL NOTES:

GALVANIZED FLASHING (26 GAUGE) AT ALL VALLEYS, HIPS AND RIDGES. PROVIDE FOR VENTILATION PROJECTIONS THRU ROOF WITH FLANGES AND EXTEND 8" BEYOND SLEEVE.

GALVANIZED IRON FLASHING AT ALL ROOF TO WALL AND ROOF TO CHIMNEY INTERFACES.

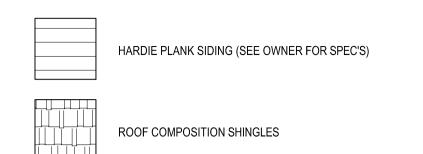
ROOF GUTTERS AND DOWN SPOUTS PER SPECIFICATIONS SEE BUILDER.

CONTINUOUS GALVANIZED IRON EAVE FLASHING.

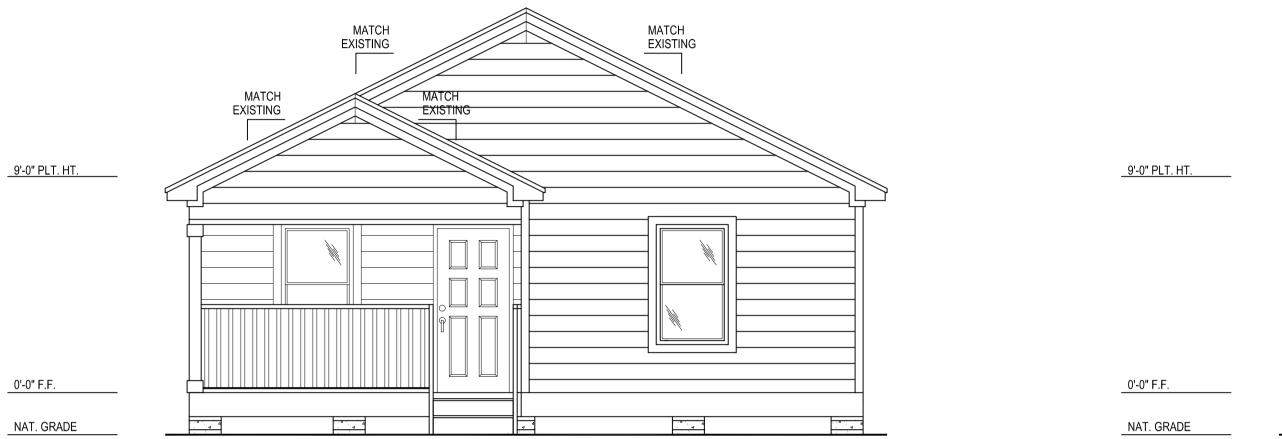
ATTIC VENTILATION TYPE AND AMOUNT PER SPECIFICATIONS SEE BUILDER.

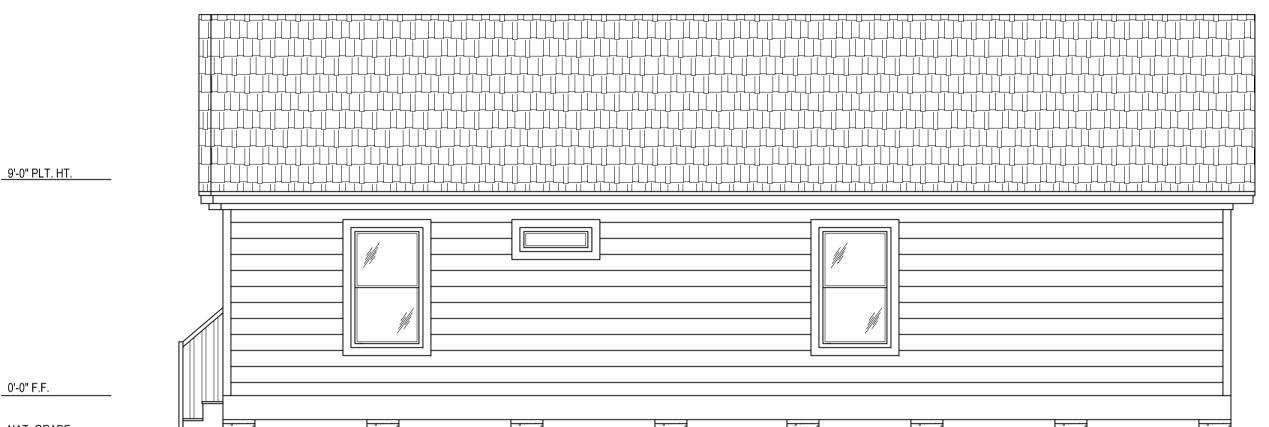
APPLIED CRICKET ROOFING SHALL BE APPLIED OVER MAIN ROOF DECK AND FRAME.

ROOF PLATE HEIGHTS SHOWN ARE AT EXTERIOR FRAME WALL CONDITIONS, ADJUST ROOF PLATE HEIGHT FROM HEIGHT SHOWN AT CONDITIONS WHERE THE ROOF IS SUPPORTED BY BEAMS CENTERED OVER LOAD BEARING COLUMNS.



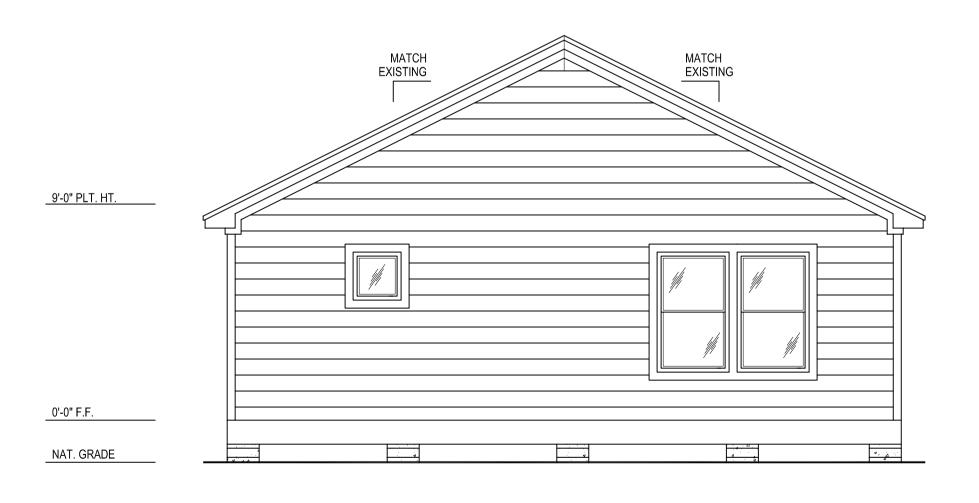


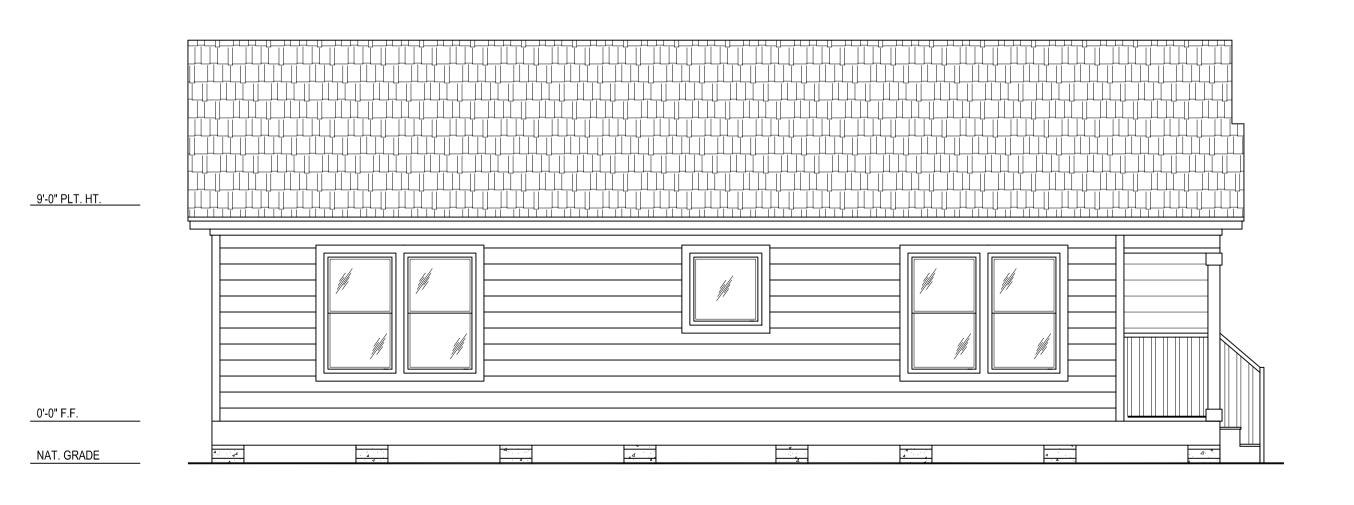




FRONT ELEVATION

RIGHT ELEVATION





REAR ELEVATION LEFT ELEVATION

Plan Express
Plans & Permits Services

107 N. Milby Street Ste. B
Houston, Texas 77003
Ph: (281)501-2949

info@plan—express.com

www.plan-express.com

REVISIONS					
o. DATE DESCRIPTION					

2 - |-

Copyright Plan Express, All Rights Reserved, The Duplication, Reproduction, Copying, Sale, Rental, Licensing, or other distribution or use of these drawings, any portion thereof, or the plans depicted hereon is Strictly Prohibited unless expressly authorized in writing by Plan Express. Plan Express is not be held responsible for the architectural and structural design in any way or matter.

OWNER:

FC BETTER HOMES LLC

A PROPOSED
SINGLE-FAMILY RESIDENCE
REMODEL AND ADDITION
AT
A006 BERING STREET

DRAWING TITLE:

EXTERIOR ELEVATIONS

DATE: 9/13/2021

DESIGN:

DRAWN: LRD

AAA

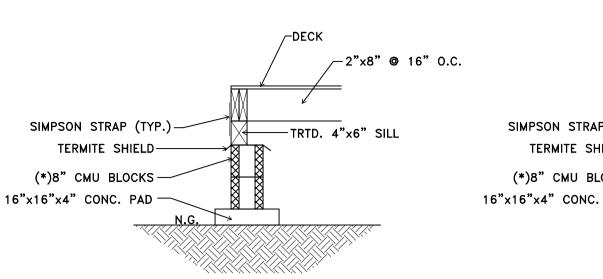
SCALE: 1/4"= 1'-0"

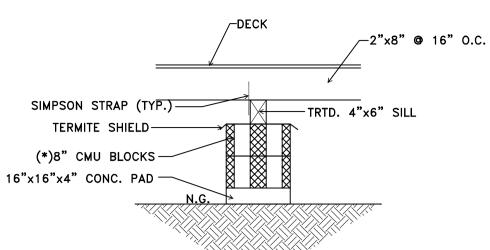
JOB No: **21091120**FILE:

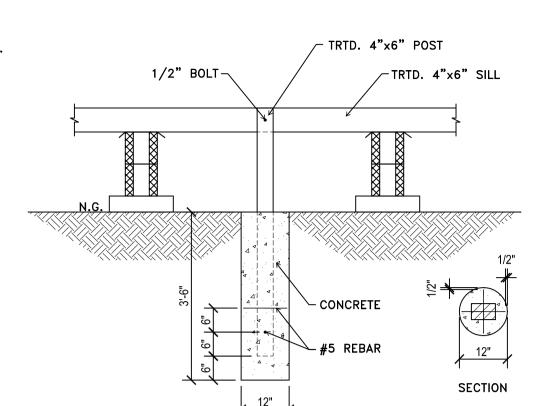
PE\2021\21091120\4006 BERING

DRAWING

A-3







NOTE: *- NUMBER OF CMU'S (ROWS) TO BE VERIFIED BY CONTRACTOR ON FIELD.

NOTE: *- NUMBER OF CMU'S (ROWS) TO BE VERIFIED BY CONTRACTOR ON FIÉLD.

CMU BLOCK DETAIL @ PERIMETER

CMU BLOCK DETAIL @ INTERIOR

HOUSE ANCHORING DETAIL NTS

REF. IRC 2012 TABLE R401.4.1

CLASS OF MATERIAL	NTS LOAD-BEARING PRESSURE
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, CLAYEY GRAVEL (SW, SP, SM, SC, GM, AND GC)	2,000 PSF

REFER ARCHITECTURAL PLANS FOR:

- ALL DROPS NOT SHOWN ALL PLUMBING FIXTURES NOT SHOWN
- ALL ELECTRICAL STUBS NOT SHOWN

ALL DROP VALUES NOT SHOWN

-COORDINATE THIS DRAWING WITH ARCHITECTURAL PLANS AND REPORT ANY DISCREPANCY TO ARCHITECT/ENGINEER.

4006 BERING STREET

1. VERIFY ALL DIMENSIONS AND ELEVATIONS OF RECESS, LEDGES AND STEPS WITH ARCHITECTS BEFORE COMMENCEMENT OF FORM WORK. 2. NO CONCRETE IS TO BE PLACED WITHOUT APPROVAL FROM ENGINEER OR

ARCHITECT. 3. CONCRETE SHALL NOT BE PLACED IN FREEZING OR RAINY WEATHER.

4. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI318 WITH LATEST

5. CRUSHED STONE AND GRAVEL CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.

6. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED. 7. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 WITH A305 DEFORMATIONS, DETAILED, FABRICATED AND INSTALLED PER ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE," ACI-315 LATEST REVISION.

8. WELDED SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM-A185. 9. REINFORCING STEEL MINIMUM COVERAGE UNLESS NOTED ON REBAR CHAIRS SHALL BE:

> 3" BOT., 3" SIDES & 2" TOP **FOOTINGS**

10. CHAMFER ALL EXPOSED EDGES 3/4" AT 45 DEGREES.

11. HOLES FOR DRILLED FOOTINGS SHALL BE PLUMB AND FREE OF ALL LOOSE MATERIALS AND WATER. CONCRETE AND REINFORCING SHALL BE PLACED IMMEDIATELY AFTER EXCAVATION.

MATCH THE HORIZONTAL STEEL. AT ALL RE-ENTRANT CORNERS PLACE 2 -# 4 X 4'-0" IN THE SLAB.

12. PROVIDE CORNER BARS IN THE OUTSIDE FACE OF EXTERIOR GRADE BEAMS TO

13. UNDERGROUND UTILITIES OR OBSTRUCTIONS ENCOUNTERED SHALL BE REMOVED, RELOCATED OR LEFT IN PLACE AS DIRECTED BY ENGINEER.

14.BARS DETAILED AS CONTINUOUS SHALL BE LAPPED 50 BAR DIAMETER AT SPLICES. THE SPLICES SHALL OCCUR AT MIDSPAN FOR TOP BARS AND OVER THE SUPPORTS FOR BOTTOM BARS.

15.ALL CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF HOUSTON, TX

BUILDING CODE. (THE LATEST EDITION OR 2012 IRC).

16.THE OWNER OF THIS PROJECT HAS DECLINED TO FURNISH A GEOTECHNICAL INVESTIGATION REPORT, THEREFORE THE FOUNDATION DESIGN WAS BASED ON AVERAGE SOIL CONDITION IN THE PROJECT AREA. ALTHOUGH WE ATTEMPT TO MAKE ASSUMPTIONS THAT WILL NOT IMPAIR THE STRUCTURAL INTEGRITY OF THE PROJECT, WE DO NOT HAVE THE EXPERTISE OR BENEFIT OF LABORATORY INVESTIGATIONS OF A GEOTECHNICAL ENGINEER THEREFORE, THIS FIRM CANNOT ASSUME RESPONSIBILITY FOR THE

PERFORMANCE OF THE DESIGN FOUNDATION SHOULD ACTUAL SURFACE OR SUBSURFACE CONDITIONS VARY FROM THOSE ASSUMED.

17.THE GENERAL CONTRACTOR SHALL EXAMINE THE MECHANICAL DRAWINGS FOR REQUIRED MECHANICAL WORK TO BE PLACED IN CONCRETE. THIS CONTRACTOR SHALL NOTIFY AND RECEIVE PERMISSION FROM THE STRUCTURAL ENGINEER FOR THE PLACING OF SLEEVES, PIPES OR OTHER MATERIALS.

18.ALL PIPES GOING THROUGH EXTERIOR GRADE BEAMS SHALL BE SLEEVED. ALL

PIPES SHALL BE LOCATED AT MID DEPTH OF GRADE BEAM. 19. SIZE OF SLEEVES SHALL NOT EXCEED 1/3 OF OVERALL THICKNESS OF GRADE BEAM. SPACING OF SLEEVES SHALL NOT BE CLOSER THAN 3 DIAMETERS ON CENTER.

20.THE ENGINEER SHALL NOT BE LIABLE FOR ANY FOUNDATION REVISION OR CHANGES FROM THE ARCHITECTS, CONTRACTORS OR OWNERS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.

21.CURE ALL CONCRETE IMMEDIATELY AFTER FINISHING WITH APPROVED CHEMICAL CURING COMPOUND.

22.IF ANY TREES THAT ARE REMOVED WITHIN 25 FEET PROXIMITY TO THE FOUNDATION WITHIN 6 MONTHS BEFORE POURING THE CONCRETE WILL REQUIRE AN ENGINNERS

23.CONTRACTOR/OWNER/DEVELOPER SHOULD NOTIFY THE ENGINEER OF ANY TREES THAT ARE NOT MENTIONED IN THE DESIGN DOCUMENTS BEFORE THE FOUNDATION IS BUILT. FAILURE TO MAKE SUCH NOTIFICATOIN SHALL VOID ANY LIABILITY BY PLAN EXPRESS.

REFER TO HOUSE ANCHORING DETAIL (TYP.) EXISTING FOUNDATION TRTD. 4"x6" SILL (TYP.)-G.C. TO VERIFY EXISTING CONDITION OF FOUNDATION AND REPAIR AS NEEDED. EXISTING FOUNDATION EXISTING FOUNDATION

14'-0"

FOUNDATION PLAN

Plans & Permits Services

City of Houston Texas

REVIEWED FOR COMPLIANCE

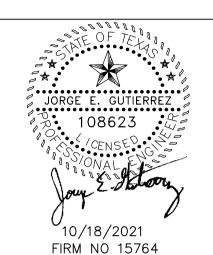
Performance of this review does

not relieve the applicant from full

responsibility to comply with all applicable codes, ordinances and

regulations. 12/06/21

107 N. Milby Street Ste. B Houston, Texas 77003 Ph: (281)501-2949 info@plan-express.com www.plan-express.com



REVISIONS DATE DESCRIPTION

Copyright Plan Express, All Rights Reserved, The Duplication, Reproduction, Copying, Sale, Rental, Licensing, or other distribution or use of these drawings, any portion thereof, or the plans depicted hereon is Strictly Prohibited unless expressly authorized in writing by Plan Express. Plan Express is not be held responsible for the architectural and structural design in any way or matter.

OWNER: FC BETTER

HOMES LLC

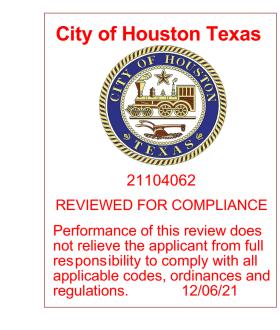
AMILY RESIDENCE ┙ SINGLE-F REMODE

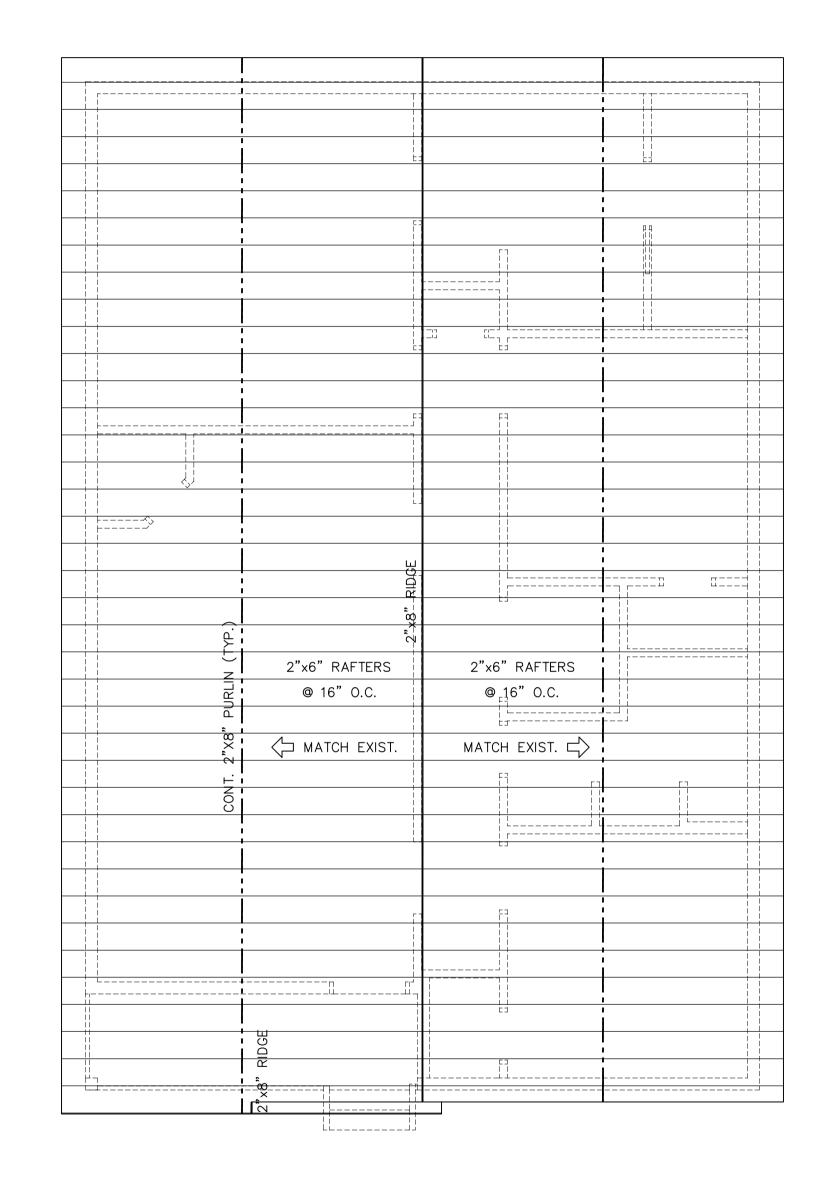
FOUNDATION PLAN DATE: 9/28/2021 DESIGN: DRAWN: AAA SCALE:

DRAWING TITLE:

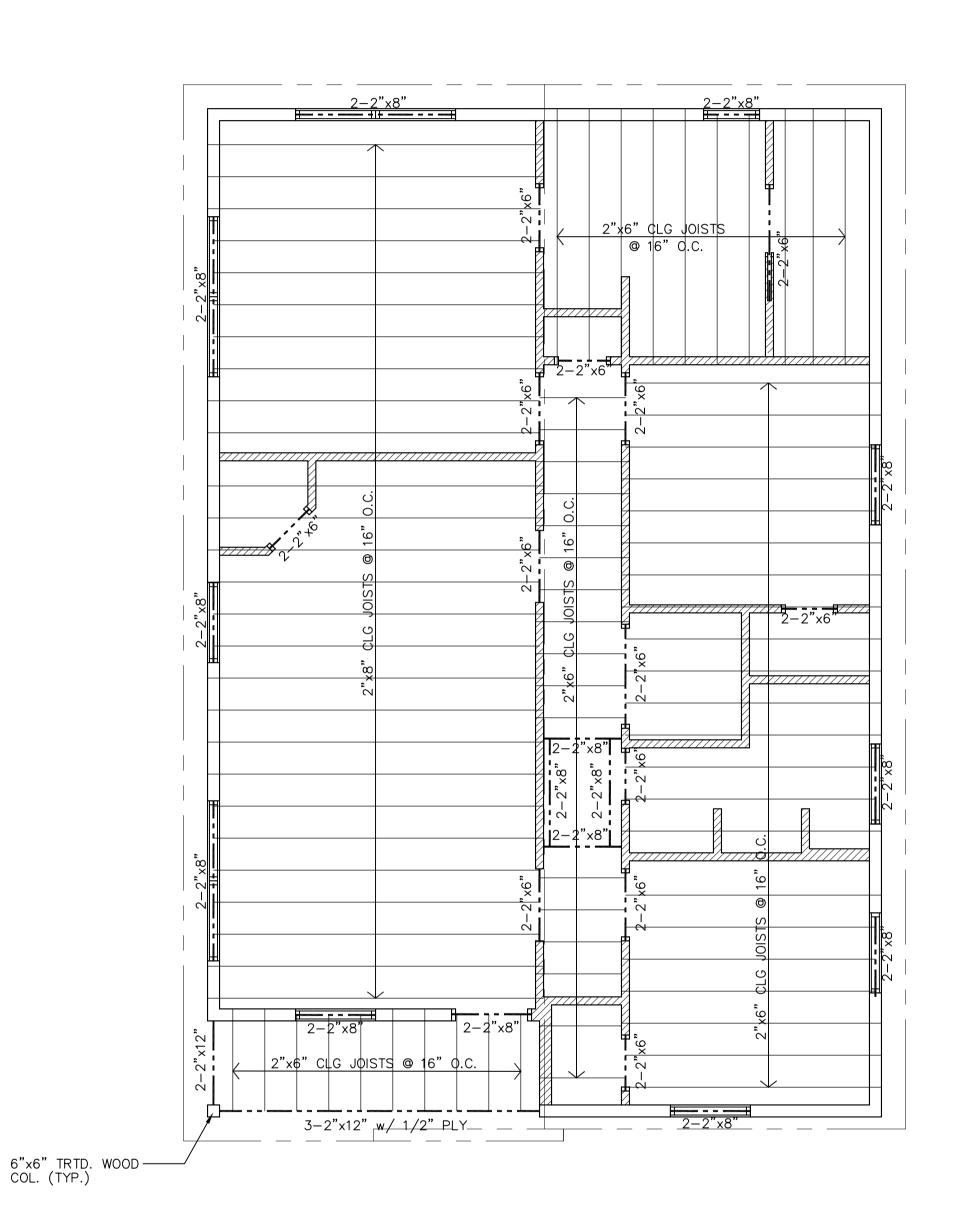
1/4"= 1'-0" JOB No: 21091120 FILE:

PE\2021\21091120\4006 BERING ST DRAWING





ROOF FRAMING PLAN



CEILING FRAMING PLAN



OF TEXTS
JORGE E. GUTIERREZ
108623 · 4 · CENSE · 108623
CENSE CONSTRUCTION
Jour E. Station
10 /18 /2021
10/18/2021 FIRM NO 15764

REVISIONS					
No.	DATE	DESCRIPTION			
1	-	_			

2 -

Copyright Plan Express, All Rights Reserved, The Duplication, Reproduction, Copying, Sale, Rental, Licensing, or other distribution or use of these drawings, any portion thereof, or the plans depicted hereon is Strictly Prohibited unless expressly authorized in writing by Plan Express. Plan Express is not be held responsible for the architectural and structural design in any way or matter.

OWNER:

FC BETTER HOMES LLC

A PROPOSED
SINGLE-FAMILY RESIDENCE
REMODEL AND ADDITION
AT
AT
4006 BERING STREET
HOUSTON, TX 77003

DRAWING TITLE:

FRAMING PLAN

DATE: 9/28/2021

DESIGN: LRD

DRAWN: AAA

SCALE:

JOB No: 21091120

FILE: PE\2021\21091120\4006 BERING ST

DRAWING

S-2

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE R602.3(1)

	` '	
DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER ^{a,b,c,d}	SPACING OF FASTENERS
Joist to sill or girder, toe nail	3-8d	_
1"x6" subfloor or less to each joist, face nail	2-8d 2 staples, 1-3/4	-
2" subfloor to joist or girder, blind & face nail	2-16d	_
Sole plate to joist or blocking, face nail	16d	16" o.c.
Top or sole plate to stud, end nail	2-16d	_
Stud to sole plate, toe nail	3-8d or 2-16d	_
Double studs, face nail	10d	24" o.c.
Double top plates, face nail	10d	24" o.c.
Sole plate to joist or blocking at braced wall pe	anels 3-16d	16" o.c.
Double top plates, minimum 48" offset of end joints, face nail in lapped area	8-16d	-
Blocking between joists or rafters to top plate, toe nail	3-8d	_
Rim joist to top plate, toe nail	8d	6" o.c.
Top plates, laps at corners & intersections, face	e nail 2-10d	-
Built—up header, two pieces with 1/2" spacer	16d	16" o.c. along each edge
Continued header, two pieces	16d	16" o.c. along each edge
Ceiling joists to plate, toe nail	3-8d	_
Continuous header to stud, toe nail	4-8d	_
Ceiling joist, laps over partitions, face nail	3-10d	_
Ceiling joist to parallel rafters, face nail	3-10d	_
Rafter to plate, toe nail	2-16d	_
1" brace to each stud & plate, face nail	2-8d 2 staples, 1-3/4	-
1"x6" sheathing to each bearing, face nail	2-8d 2 staples, 1-3/4	-
1"x8" sheathing to each bearing, face nail	2-8d 3 staples, 1-3/4	-
Wider than 1"x8" sheathing to each bearing, face nail	3-8d 4 staples, 1-3/4	-
Built—up corner studs	10d	24" o.c.
Built—up girders & beams, 2—inch lumber layers	s 10d	Nail each layer as follows 32"o.c. at top & bottom & staggered. Two nails a ends & at each splice
2" planks	2-16d	At each bearing
Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d 3-16d	- -
Rafter ties to rafters, face	3-8d	_
Wood structural panels, subfloor, roof & wall sheath		wall sheathing to framina
5/16 - 1/2 6d common nail (subfloor, wal 8d common nail (roof) f		12 ^g
19/32 - 1 8d common nail	6	12 ^g
1-1/8 -1-1/4 10d common nail or 8d deform		12
* This information was obtained from 2012 IRC	<u> </u>	

s information was obtained from 2012 IRC Refer to 2012 IRC for sub-explanations (a,b,c,d,f,g)

- 1. ALL BEAM AND HEADER MATERIAL SHALL BE NO. 2 SYP. ALL FLOOR JOIST MATERIAL SHALL BE No. 2 SD 19 SYP. ALL RAFTER & CEILING JOIST MATERIAL SHALL BE #2 SD 19. UNLESS OTHERWISE NOTED. (U.N.O.)
 2. ALL WALL STUDS ARE No.2 STUD GRADE SYP. ● 16" o.c. BLOCKING AT MID SPANS GREATER THAN 9'. ALL STUD WALLS SHALL BE DIAGONALLY BRACED WITH 1X4 LET-IN AT EACH END AT 25' MAX. SPACING BETWEEN WALL ENDS.
- 3. ALL STEEL SHALL CONFORM TO ASTM-36 STEEL COLUMNS SHALL HAVE MIN. 1/2" CAP AND BASE PLATES WITH MIN. 2-5/8" ANCHORE BOLTS EMBED MIN. 4-1/2" INTO SOLID CONCRETE, THE STEEL ANGLE LINTEL SCHEDULE (TO SOPPORT BRICK) IS AS FOLLOWS (FORM SHAPE TO MATCH ARCHES WHERE NECESSARY).

MUMIXAN	SPAN MINIMUM	SIZE MINIMUM	BEARING
5'0"	L3 X 3 1/2	X 5/16 8"	
7'0 "	L4 X 3 1/2	X 5/16 8"	
8'0"	L5 X 3 1/2	X 3/8 8"	1
9'0"	L5 X 3 1/3	X 3/8 9"	,
10'0"	L6 X 3 1/2	X 3/8 10"	'

THE MAXIMUM UNSUPPORTED SPAN FOR 2X6 AT 16" o.c. RAFTERS SHALL BE 10'-7". RAFTERS ARE TO BE SUPPORTED BY CONTINUOUS 2X6 PURLINS WITH 2X4 BRACES AT 48" o.c. MAXIMUM ANGLE FOR 2X4 BRACES=45' FROM VERTICAL MAXIMUM UNSUPPORTED LENGTH FOR 2X4 BRACES=8' (TEE A 2X6 TO BRACE WHEN LENGTH EXCEEDS 8'-00"). ALL ROOF BRACING TO BE SUPPORTED BY A WALL, 2-2X6 STRONGBACK SUPPORTED BY JOIST OR (2) 2X12 DEPENDING ON CEILING JOIST DIRECTIONS (PROVIDE BLOCKING AT BRACE LOCATIONS), UNLESS OTHERWISE NOTED. PROVIDE 2X6 COLLAR TIES 48" o.c. IN
THE UPPER THIRD OF THE RAFTERS, UNLESS OTHERWISE NOTED. RIDGE, HIPS AND VALLEY MEMBERS SHALL BE ONE SIZE LARGER THAN THE RAFTERS FOR
SLOPES UPTO 10 ON 12; SLOPES GREATER THAN 10 ON 12 SHALL BE TWO SIZE LARGER (UN.O.). PROVIDE SIMPSON H2.5 HOLDDOWNS FOR RAFTERS TO TOP PLATE. ALL PERIMETER PONYWALLS TO THE ROOF MUST BE BRACED AT TOP TO THE CEILING JOISTS OR BLOCKING WITH 2X4'S AT 16" ON CENTER WITH (3) 12d NAILS EACH END. STRAPPING MUST BE USED WITH PERIMETER PONYWALLS TO STUDS BELOW.

LIVE LOADS: ROOF: 20 PSF ATTIC: 20 PSF FLOOR: 40 PSF INTERIOR WALLS: 0 PSF EXTERIOR WALLS: 0 PSF DEAD LOADS: 10 PSF WIND: 110 MPH (3 SECOND GUSTS)

6. ROOF DECKING SHALL BE 1/2" EXPOSURE 1 (CDX) PLYWOOD OR WAFERBOARD APA RATED SHEATING (32/16) RUN PERPENDICULAR TO THE RAFTERS AND NAILED WITH 8d NAILS 6" ON SUPPORTED EDGES AND 12" ON CENTER IN THE FIELD. 7. FLOOR DECKING SHALL BE 3/4" OR 1-1/8" APA STURD-I-FLOOR PLYWOOD OR 2X6 T&G INSTALLED DIAGONALLY.

8. STEEL FLITCH BEAMS SHALL BE CONSTRUCTED WITH TWO ROWS OF 1/2" DIAM. BOLTS SPACED AT 12" o.c. AND STAGGERED TOP AND BOTTOM (PROVIDE (2) BOLTS AT EACH END OF BEAM AND AT BEAM LOCATIONS). HOLES SHALL BE 9/16" AND DRILLED. STEEL EDGE CLEARANCE SHALL BE 1-1/2" MINIMUM FOR ALL BOLTS. WHEN ONE FLITCH BEAM IS FRAMED INTO ANOTHER, THE BEAM SHALL BE SUPPORTED BY A SIMPSON EG5 HANGER. WOOD EDGE CLEARANCE SHALL BE 2-1/2" MINIMUM FOR ALL BOLTS. WOOD SHALL BE #2 KD 19 AND BOTH STEEL AND WOOD SHALL BE CONTINUOUS. 9. DOUBLE SECOND FLOOR JOIST UNDER PARTITION WALLS ABOVE, UNLESS OTHERWISE NOTED.

10. ALL JOISTS FRAMING TO BEAMS SHALL BE SUPPORTED BY SIMPSON U JOIST METAL HANGERS (U.O.N.). ALL WOOD BEAMS FRAMING TO BEAMS SHALL BE SUPPORTED BY SIMPSON B/HB METAL HANGERS (U.O.N.). PROVIDE 2X12 BLOCKING OR BRIDGING FOR ALL FLOOR JOISTS SPANS GREATER THAN 8'-00". 11. ALL BEAMS FRAMING TO WALLS ARE TO BE SUPPORTED BY A MINIMUM OF (2) 2X4 OR (2) 2X6 STUDS, UNLESS OTHERWISE NOTED.

12. HEADER SCHEDULE AS FOLLOWS (USE (2) 2X12'S WITH 1/2" PLYWOOD, UNLESS OTHERWISE NOTED FOR FIRST FLOOR HEADERS): MÁXIMUM SPAN

ALL HEADERS ARE TO HAVE NO SPLITS, CHECKS OR SHAKES.

13. ANCHOR BOLTS (MINIMUM 1/2" DIAM. X 12" LONG AT 4'-0" CENTERS, MINIMUM TO PER PLATE), AND THE NUMBER AND SIZE OF NAILS USED TO CONNECT WOOD MEMBERS SHALL BE ACCORDING TO TABLE 1705. 1 OF THE 1994 STANDARD BUILDING CODE (U.O.N.). MULTIPLE STUDS SHALL BE GLUED AND NAILED WITH 10d NAILS 24" o.c. MULTIPLE JOISTS SHALL BE GLUED AND NAILED WITH 3-16d NAILS 12" o.c. THER SHALL BE NO SPLICES. 14. STUD WALLS HIGHER THAN 10' SHALL HAVE 2X6, (2) 2X4 OR 4X4 STUDS 16" o.c. WALLS SUPPORTING TWO FLOORS ABOVE SHALL BE 2X6, (2) 2X4 OR

15. MICROLAMS TO BE INSTALLED PER TRUS JOIST CORPORATION'S "RESIDENTIAL PRODUCTS REFERENCE GUIDE". PARALLAMS ARE TO BE INSTALLED PER "PARALLAMS PSL INSTALLATION GUIDE". GLULAMS TO HAVE Fb=3000 PSI. TJI'S TO BE INSTALLED PER TRUS JOIST MACMILLIAN'S "BUILDER'S GUIDE TO THE SILENT FLOOR SYSTEM" OR ABOVE. PSL'S AND LYL'S ARE TO BE INSTALLED PER ALPINE STRUCTURES ENGINEERED WOOD PRODUCTS. TJI'S ARE TO

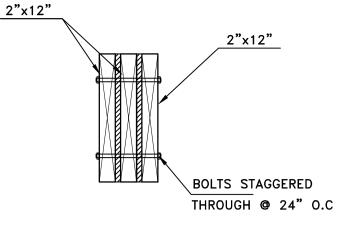
16. FOR THE EXTERIOR WALLS USE 15/32" OR 1/2" X 4'-0" APA RATED PLYWOOD OR WAFERBOARD W/8d COMMON OR GALVANIZED BOX NAILS @ 6" o/c AT ALL EDGES (BLOCKING IS RIQUIRED) AND 12" o/c AT FIELD FOR THE SECOND FLOOR, AND ® 3" o/c AT ALL EDGES AND TOP AND BOTTOM PLATES" (BLOCKING IS RIQUIRED) AND 12" o/c AT FIELD FOR THE FIRST FLOOR. SHEAR WALLS ARE TO EXTEND TO UNDERSIDE OF FLOOR AND BE NAILED, PER ABOVE TO ALL PLATES, FOR THE INTERIOR PARTITION WALLS USE GYPSUM BOARD (SHEATHING 1/2" THICK BY 4 FEET WIDE, WALLBOARD OR VENEER BASE) ON STUDS NAILED AT 7" ON CENTER WITH 5d COOLER OR PARKER NAILS. ALL INTERIOR WALLS THAT HAVE PLYWOOD ARE TO HAVE THE BOTTOM PLATE ATTACHED TO THE FOUNDATION WITH 1/2" DIAM. X 2-1/4" EMBEDMENT HILTI KWIK BOLT 11 AT 32" ON CENTER MAX. ALL WALLS THAT HAVE PLYWOOD ON BOTH SIDES ARE TO HAVE A SIMPSON HD8A TO DOUBLE STUDS AT THE ENDS OF THE PLYWOOD AND BE DOUBLE BLOCKED AND DOUBLE STUDDED.

17. THE NUMBER AND SIZE OF NAILS USED TO CONNECT WOOD MEMBERS, SHALL BE ACCORDING TO TABLE 25Q OF THE HOUSTON/IRC BUILDING CODE IS APPLICABLE (U.N.O. MULTIPLE STUDS SHAL BE GLUED AND NAILED WITH 10d NAILS 24" o.c. MULTIPLE JOIST SHALL BE GLUED AND NAILED WITH 3-16d NAILS 12"o.c. THERE SHALL BE NO SPLICES.

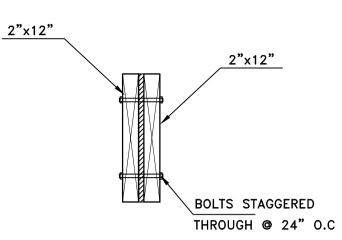
18. CONTRACTOR/OWNER SHALL VERIFY FIELD DIMENSIONS AND DETAILS , NOTIFY THE PROJECT ARCHITECT/ENGINEER OF ANY DISCREPANCY AND REVIEW FOR RECOMMENDATION OR REVISIONS IF NECESSARY. ALL CONSTRUCTION PROCEDURES SHALL CONFORM TO LOCAL CODES AND OSHA GUIDELINES.

19. ALL HANDRAILS AND GUARDRAILS SHALL WITHSTAND A TOTAL LIVE LOAD OF 250 PSF AS PER TABLE R301.4 (IRC 2012) 20. STRUCTURES SHALL BE DESIGNED FOR WIND LOADS OF 110 MPH (3 SECOND GUST) WIND SPEED AS REQUIRED PER SECTION 1609.3 OF THE AMENDED 2012 IRC 21. CONTRACTOR IS RESPONSIBLE FOR PROPERLY ANCHORING ANY CANTILEVERED BEAMS TO IT'S SUPPORT TO PREVENT UPLIFT AND/OR DEFLECTION. 22. ANY & ALL PRE-ENGINEERED TRUSSES SPECIFIED ON THE FRAMING PLANS MUST BE SIZED AS PER LOAD SPECIFIED ON FRAMING PLANS AND APPROVED BY THE TRUSS MANUFACTURER. SPACING OF TRUSSES MAY BE INCREASED IF APPROVED BY THE TRUSS MANUFACTURER.

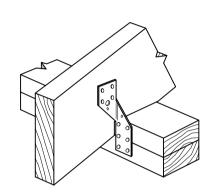
CEILING FRAMING NOTES



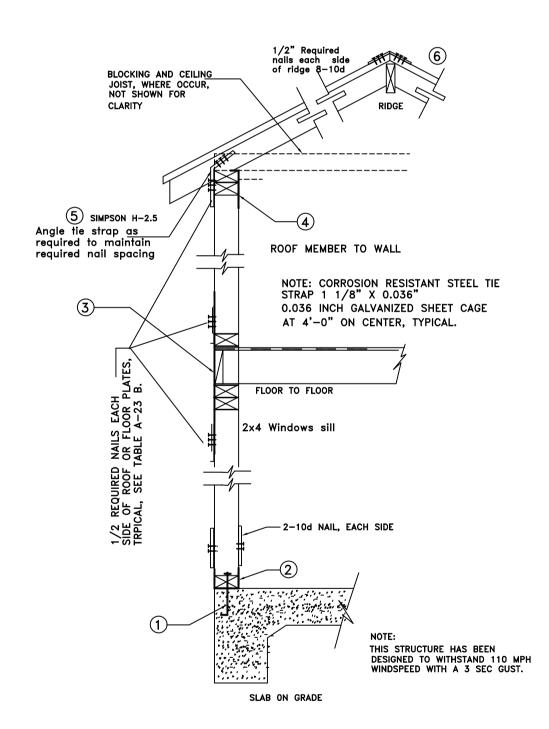
3-2"x12" DETAIL



2-2"x12" DETAIL



SIMPSON STRONG-TIE H2.5



STRAPPING DETAIL TYPICAL SECTION

TIE-DOWN NOTE: THE RESIDENCE SHALL MEET IRC 2012

NOTE: THE TIE-DOWN PATH MUST BE CONTINUOUS FROM THE RAFTER TO THE FOUNDATION. 1. FOUNDATION TO SILL PLATE FOR EXTERIOR WALLS: 1/2" BOLTS @ 32" O.C. 10" MINIMUM EMBEDMENT. 2. STUD TO SILL PLATE CONNECTIONS: SIMPSON H4 @ 32" O.C. 3. FLOOR TO FLOOR/STUD TO STUD CONNECTIONS: SIMPSON CS16 @ 32" O.C.

4. TOP PLATE TO STUD CONNECTIONS: SIMPSON H2.5 @ 32" O.C. RAFTER TO TOP PLATE CONNECTIONS: SIMPSON H2.5 @ 16" O.C. 6. RAFTER RIDGE STRAP CONNECTIONS: SIMPSON LSTA15 @ 16" O.C.

GARAGE: SIMPSON 2-LSTA12.

HEADER CONNECTIONS: -HEADER TO JACK STUD: DOOR AND WINDOW: SIMPSON LSTA9. GARAGE: SIMPSON 2-LSTA12. -JACK STUD TO SILL PLATE: DOOR AND WINDOW: SIMPSON LSTA9. NOTE:

ANY AND ALL SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER OF RECORD.

A.P.B.= ANTHONY'S POWER BEAM 3000 Fb

PROVIDE 3-2x4 COL. UNDER ALL 3-1/2" A.P.B. U.N.O @ WALL LOCATION.

PARTITIONS ABOVE PARTITIONS LOAD 150 PLF U.O.N. PARTITIONS BELOW

NOTE:

THE STRUCTURE HAS BEEN DESIGNED TO WITHSTAND 110 MPH WIND SPEED WITH A 3 SEC GUST.

NOTE:

DOUBLE CEILING JOIST WHEN SUPPORTING ROOF BRACES (IF NO STUD WALL BELOW).

2"x6" RAFTERS @ 16" O.C. (U.N.O.) RE: ARCH PLANS FOR PLATE HGTS & OVERHANGS RIDGE & SOFFIT VENTING PER BUILDER'S SPECS

1.- DEPTH OF RIDGE, HIP OR VALLEY BEAMS: A. SHALL BE ONE SIZE WIDER THAN THE LARGEST RAFTER FRAMING INTO IT (EX. 2X10 BEAM FOR 2X8 RAFTER). B. SHALL MATCH THE CUT END OF THE RAFTER.

2.- PROVIDE COLLAR TIES AT UPPER 1/3 DISTANCE BETWEEN RIDGE BOARD AND JOIST AT 48" O.C.

3.- ALL RAFTERS 2"x 6" AT 16" o.c. UNLESS OTHERWISE NOTED. 4.- DOUBLE FLOOR JOIST UNDER ALL PARTITIONS PARALLEL TO JOIST BELOW.

5.- PROVIDE CROSSBRIDGING AT 8'-00" o.c. ON ALL 2"x 12" JOIST. 6.- PROVIDE RAFTER TIES AT ALL PLATES WHERE JOIST ARE

PERPENDICULAR TO RAFTERS.

7.- PROVIDE 2 2"x 6" STRONGBACK ON SPANS OVER 10'-00". 8.- ALL STRUCTURAL FRAMING SHALL HAVE A 19% MAX. MOISTURE CONTENT AT TIME OF INSTALLATION.

9.- STUD WALLS EXCEEDING 10'-00" SHALL HAVE FIRESTOPS.

10.- THE MAXIMUM UNSUPPORTED SPAN FOR 2"x 6" RAFTERS SHALL BE 10'-7". RAFTERS ARE TO BE SUPPORTED BY CONTINUOUS 2"x 6" BRACES AT 48" o.c. MAXIMUM ANGLE FOR 2" x 6" BRACES= 45 deg. FROM VERT. MAXIMUM UNSUPPORTED LENGTH FOR 2"x 6" BRACES= 8'-00". ALL ROOF BRACING TO BE SUPPORTED BY A WALL, 2 2"x 6" STRONGBACK SUPPORTED BY JOIST OR 2 2"x 12" DEPENDING ON CEILING JOIST DIRECTION, (PROVIDE BLOCKING AT BRACE LOCATIONS), (U.N.O.). PROVIDE 2"x 6" COLLAR TIES 48" o.c. IN THE UPPER THIRD

OF THE RAFTERS, (U.N.O.). 11.- PROVIDE 26 GA. GALVANIZED IRON FLASHING AT ALL VALLEYS, HIPS, AND RIDGES WHERE APPLICABLE. ALSO APPLY FOR PIPES PROJECTING THROUGH ROOF WITH FLANGE AND EXTEND FLANGE 8" BEYOND SLEEVE.

12.- ALL BEAM & HEADER MATERIAL SHALL BE #2 SD19 ALL JOIST & RAFTER MATERIAL SHALL BE #2 SD19

13.- ALL WALL STUD SHALL BE STUD GRADE SYP 16" o.c.

14.- ALL STEEL SHALL CONFORM TO ASTM A-36.

15.- ROOF LIVE LOAD= 20 PSF, SECOND FLOOR LIVE LOAD= 40 PSF, CEILING LIVE LOAD= 20 PSF, WIND LOAD 110 MPH. ROOF DECKING SHALL BE 1/2" EXPOSURE 1" (CDX) OR WAFERBOARD APA RATED SHEATING (24/0). SECOND FLOOR DECKING SHALL BE APA 1-1/8" PLYWOOD

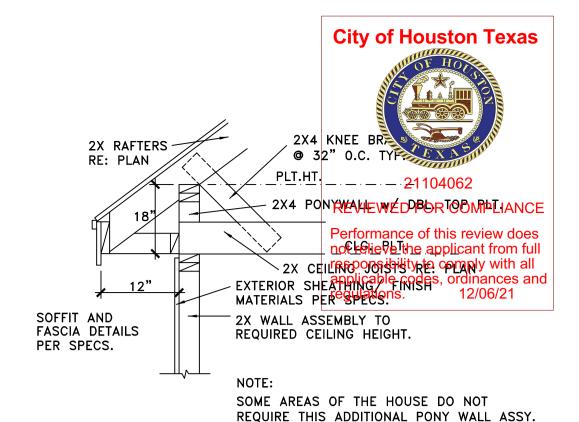
OR 2"x 6" T & G INSTALLING DIAGONALLY. 16.- FRAMING CONNECTORS SHALL BE SIMPSON STRONG-TIE MTS12 @ 32" o.c.

17.- RAFTERS SHALL BE NAILED TO ADJACENT CEILING JOIST TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHEN SUCH JOISTS ARE PARALLEL, RAFTER TIES SHALL BE SPACED NOT MORE THAN 48" O.C. (I.R.C. 2012).

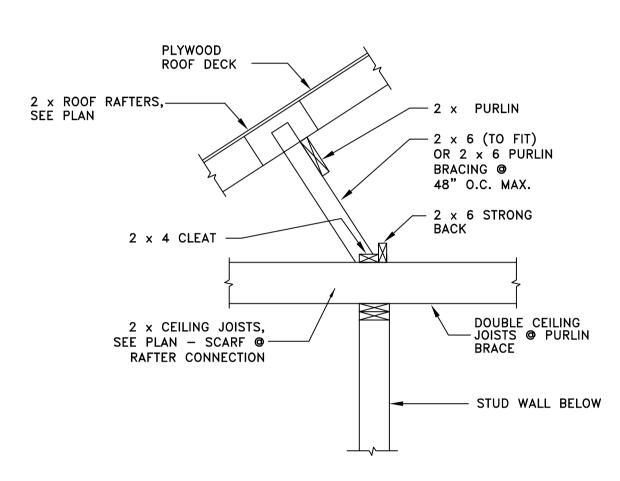
18.- PROVIDE DOUBLE FRAMING @ EDGES OF ALL ROOF OPENINGS LARGER THAN 24".

19.- RE. ARCH. DWG's FOR ROOF SLOPES & OTHER DATA NOT CONTAINED HEREIN.

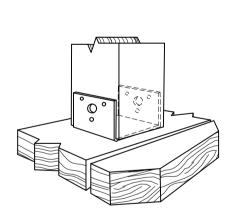
ROOF FRAMING NOTES



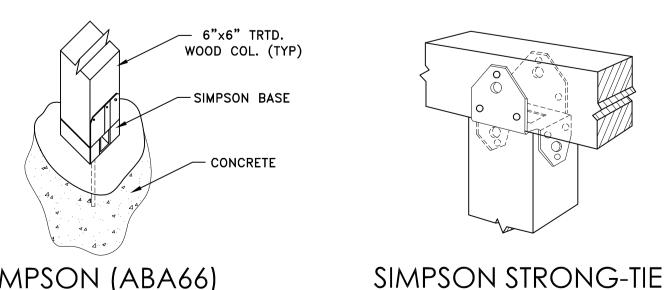
ROOF PLATE DETAIL



TYPICAL PURLIN DETAIL



SIMPSON STRONG-TIE BC60



SIMPSON (ABA66) **BASE**

> NOTE: G.C. TO USE SIMPSON STRONG-TIE BASE AND CAP FOR 6"x6" COLUMNS.

BC6

Plans & Permits Services 107 N. Milby Street Ste. B Houston, Texas 77003 Ph: (281)501-2949 info@plan-express.com

www.plan-express.com

JORGE E. GUTIERREZ 108623 10/18/2021 FIRM NO 15764

REVISIONS DATE DESCRIPTION

Copyright Plan Express, All Rights Reserved, The Duplication, Reproduction, Copying, Sale Rental, Licensing, or other distribution or use of these drawings, any portion thereof, or the plans depicted hereon is Strictly Prohibited unless expressly authorized in writing by Plan Express. Plan Express is not be held responsible for the architectural and

structural design in any way or matter. OWNER:

FC BETTER HOMES LLC

DENCE AD AND \Box 1006 HOU

DRAWING TITLE: NOTES & DETAILS

DATE: 9/28/2021 DESIGN: LRD DRAWN: AAA N.T.S.

SCALE:

JOB No: 21091120 FILE:

PE\2021\21091120\4006 BERING ST DRAWING