

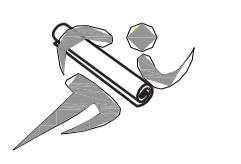
SINGLE-FAMILY RESIDENCE ADDITION REMODEL AT 4006 BERING STREET HOUSTON, TEXAS 77003

City of Houston Texas

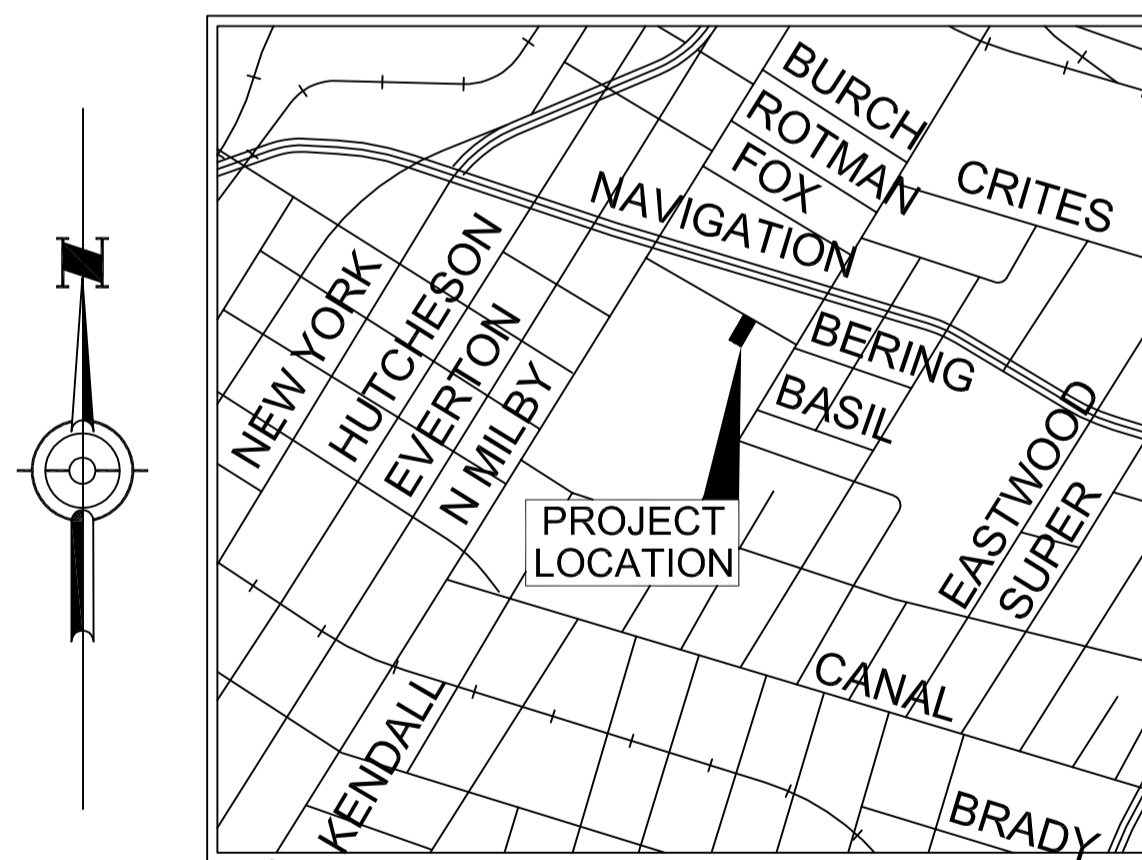


21104062
REVIEWED FOR COMPLIANCE
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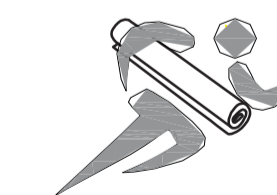


VICINITY MAP
N.T.S.
KEY MAP #494-P

RESIDENCE	_____	1,017	⊕
PORCH	_____	55	⊕
CARPORT	_____	738	⊕
ADD ON	_____	107	⊕
TOTAL SQUARE FEET	_____	1,917	⊕

HARDIE PLANK EXTERIOR
PIER & BEAM FOUNDATION
SINGLE FAMILY RESIDENCE
28'-1" WIDE x 42'-0" DEEP
9'-0" CEILING HEIGHT

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SEPTEMBER 2021

REVISIONS

No.	DATE	DESCRIPTION
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2	-	-

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FC BETTER
HOMES LLC

A PROPOSED
SINGLE-FAMILY RESIDENCE
REMODEL AND ADDITION
AT
4006 BERING STREET
HOUSTON, TX 77003

DRAWING TITLE:

COVER
SHEET

DATE: 9/13/2021

DESIGN: LRD

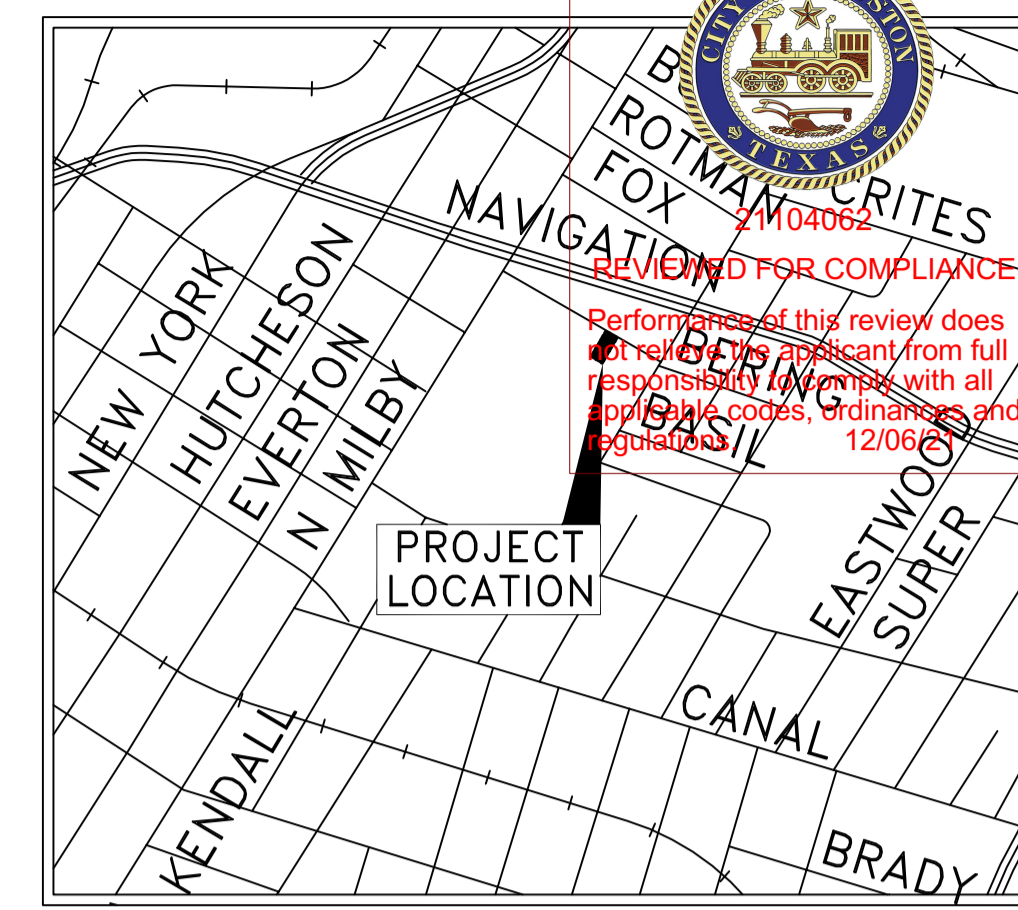
DRAWN: AAA

SCALE: N.T.S.

JOB No: 21091120

FILE: PE2021210911204006 BERING

DRAWING
C-S



VICINITY MAP
N.T.S.
KEY MAP #494-P

LEGAL DESCRIPTION
LOT: 2 BLOCK: 2
SUBDIVISION: DRENNAN ADDITION
HARRIS COUNTY TEXAS
4006 BERING STREET
HOUSTON, TEXAS 77003

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Houston, Texas 77003
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A PROPOSED SINGLE FAMILY RESIDENCE REMODEL AND ADDITION AT 4006 BERING STREET HOUSTON, TEXAS 77003

DRAWING TITLE:
SITE PLAN

DATE:
10/12/2021

DESIGN:
LRD

DRAWN:
AAA

SCALE:
1 : 10

JOB No:
21091120

FILE:
P:\2020\21091120\4006 BERING

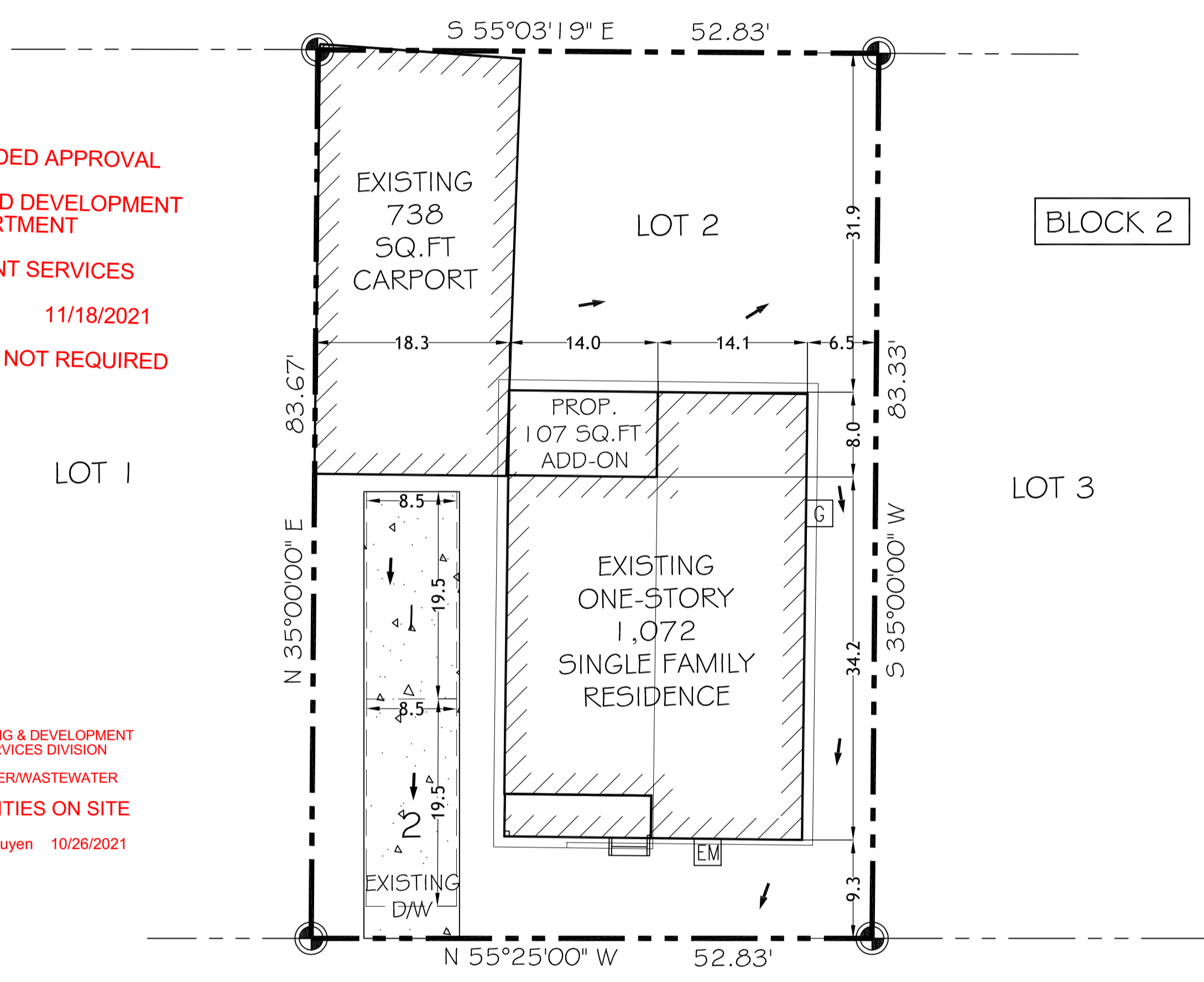
DRAWING
C-1

SQUARE FOOTAGES

EXISTING RESIDENCE=	1,017 SQ.FT.
EXISTING PORCH=	55 SQ.FT.
EXISTING CARPORT=	738 SQ.FT.
ADD ON=	107 SQ.FT.
TOTAL COVERED AREA=	1,917 SQ.FT.

RECOMMENDED APPROVAL
PLANNING AND DEVELOPMENT DEPARTMENT
DEVELOPMENT SERVICES
Erica Hylemon 11/18/2021
LANDSCAPING NOT REQUIRED

PLANNING & DEVELOPMENT SERVICES DIVISION
WATER/WASTEWATER UTILITIES ON SITE
Nhut Nguyen 10/26/2021



ADDRESS: 4006
BERING STREET
(40' R.O.W.)

SITE PLAN

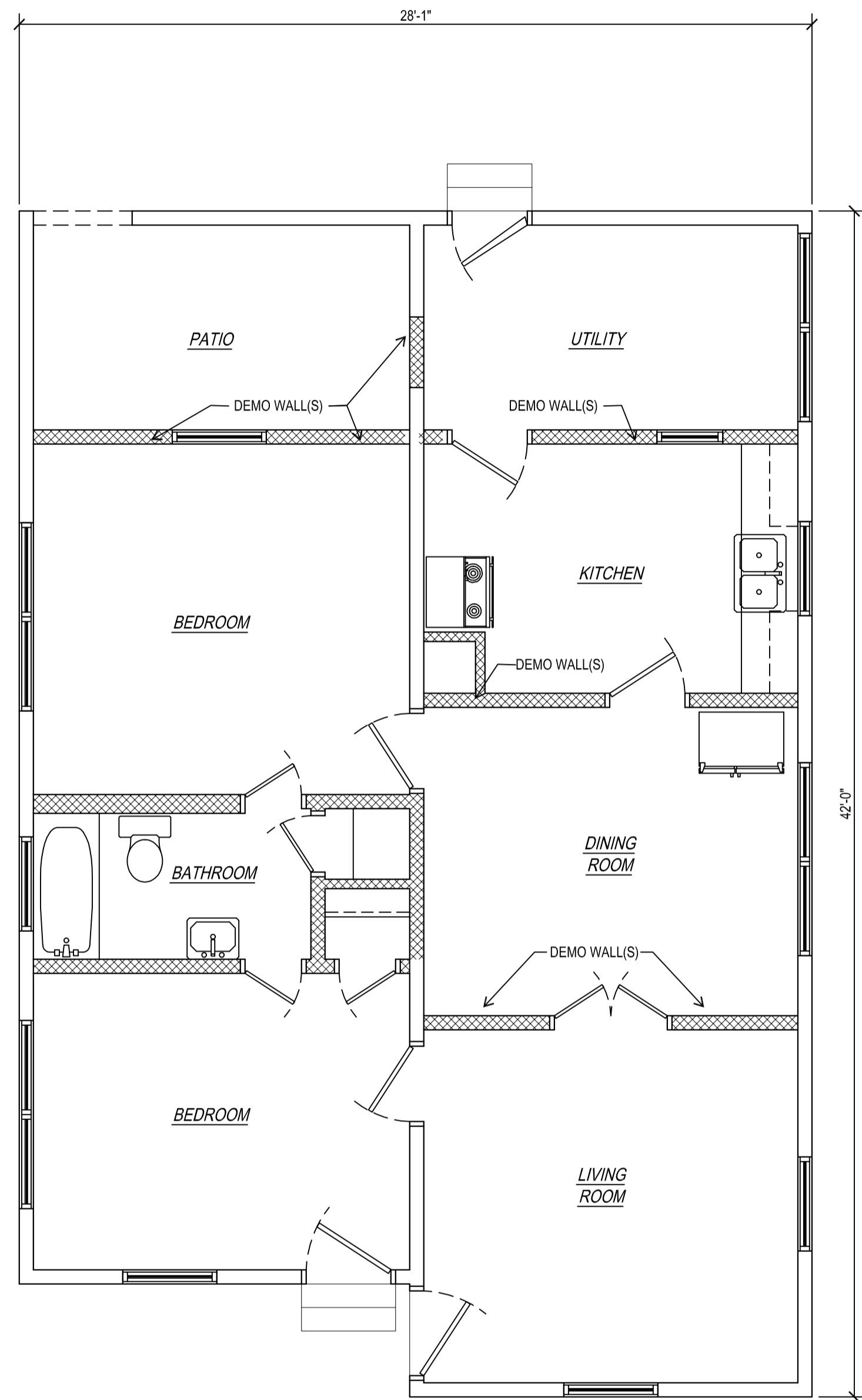
NOTE PRIOR TO CONSTRUCTION:
ALL DIMENSIONS MUST BE CHECKED AND VERIFIED BEFORE CONSTRUCTION MAY BEGIN. IN CASE OF ANY DISCREPANCY OR ERROR CONTACT THE PROJECT ENGINEER IMMEDIATELY.

APPROVAL NOTES:
IF A BUILDING PERMIT IS NOT ISSUED AND CONSTRUCTION HAS NOT BEGUN, THE DEVELOPER WILL BE REQUIRED TO RESUBMIT THE SITE PLAN FOR APPROVAL.

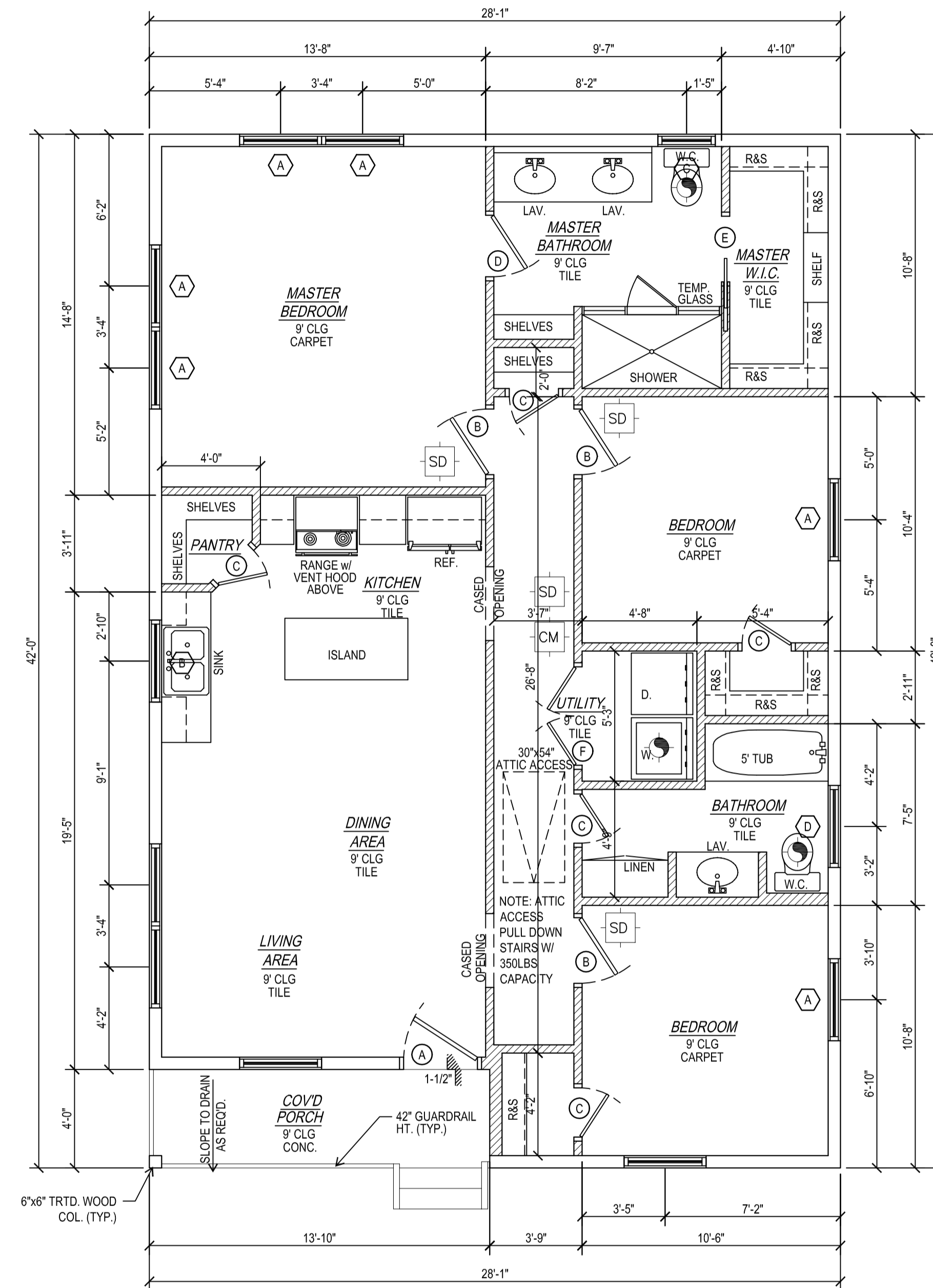
NOTES:
THE ELEVATION OF FINISHED FLOOR SHALL BE 1'-0" ABOVE NEAREST MANHOLE COVER (PER 2012 I.R.C. & CITY OF HOUSTON BUILDING CODE) DO NOT DRAIN TO ADJACENT PROPERTY. IT IS THE BUILDERS OR CONTRACTOR RESPONSIBILITY TO VERIFY ALL SLAB CONFIGURATIONS AND DROPS, UTILITY EASEMENTS, AERIAL EASEMENTS, BUILDING LINES & SUCH FOR ENCROACHMENTS, ACCURACY & COMPLIANCE TO CODES BUILDER/CONTRACTOR TO VERIFY ALL INFORMATION ON THIS SITE PLAN & BE RESPONSIBLE FOR ITS ACCURACY.

IMPROVEMENT TYPE	AREA OF EXISTING IMPERVIOUS COVER	AREA OF FINAL IMPERVIOUS COVER
BUILDING(S)	1,810 SF	1,917 SF
PARKING LOT/DRIVEWAY	379 SF	379 SF
PATIO/PORCH	107 SF	0 SF
DETENTION POND/POOLS	0 SF	0 SF
TOTAL AREA	2,296 SF	2,296 SF


2,296 SF (TOTAL IMPERVIOUS COVER) / 4,458 SF (SIZE OF LOT) * 100 = 51.50% IMPERVIOUS COVER
NOTE: DETENTION STORAGE IS NOT REQUIRED FOR THIS PROJECT.



FLOOR PLAN- EXISTING



FLOOR PLAN- PROPOSED

City of Houston Texas

 21104062
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No.	DATE	DESCRIPTION
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2	-	-

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A PROPOSED
 SINGLE-FAMILY RESIDENCE
 REMODEL AND ADDITION
 AT
 4006 BERING STREET
 HOUSTON, TX 77003

DRAWING TITLE:

FLOOR PLAN

DATE: 9/13/2021

DESIGN: LRD

DRAWN: AAA

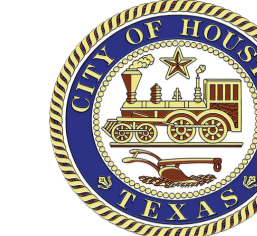
SCALE: 1/4" = 1'-0"

JOB No: 21091120

FILE: PE20211210911204006 BERING

DRAWING

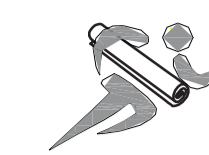
A-1



21104062

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ELECTRICAL LEGEND	
	EXHAUST FAN TO VENT TO OUTSIDE (ELECTRIC MOTOR)
	SMOKE DETECTOR WIRE TO HOUSE CURRENT W/BATTERY BACK UP, INTERCONNECT, ONE SOUNDS, ALL SOUNDS
	CARBON MONOXIDE ALARM WIRE TO HOUSE CURRENT W/BATTERY BACK UP, INTERCONNECT, ONE SOUNDS, ALL SOUNDS
	CEILING FAN W/LIGHT KIT
	PUSH BUTTON
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	110 VOLT ELECTRICAL OUTLET
	110 VOLT ELECTRICAL OUTLET IN CEILING
	220 VOLT ELECTRICAL OUTLET
	CEILING LIGHT FIXTURE
	WATER PROOF LIGHT FIXTURE
	HANGING LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	2x4 FLUORESCENT LIGHT FIXTURE
	CHIMES

NOTE: SMOKE/CARBON MONOXIDE DETECTORS SHALL BE HARD-WIRED AND INTERCONNECTED WITH BATTERY BACKUP.

GENERAL NOTES:

- ALL LUMBER IS SYP #2.
- ALL LUMBER COMING IN CONTACT WITH CONC. OR WITHIN 18" FROM GROUND SHALL BE TREATED.
- WALLS TO BE 2x4 STUD AT 16" O.C. UP TO 14' MAX HT.
- DOUBLE HEADER JOIST & TRIMMERS AT ALL FLOOR OPNGS
- STUDS TO BE DOUBLED AT 3' OPENINGS, TRIPLED AT 6' OPENINGS.
- SOLID BRIDGING OVER ALL PARTITIONS BELOW SECOND FLR.
- CORNER BRACING TO BE 1x4 LET IN AT 45° ANGLE.
- ALL VALLEYS, HPS AND RIDGES TO BE ONE SIZE LARGER THAN RAFTER.
- 2x6 COLLAR TIES AND 2x4 BRACING AT 48" O.C.
- PURLINS TO MIN. 2x8'S CONT. IN UPPER 1/3 ROOF.
- MAXIMUM UNSUPPORTED RAFTER SPAN FOR 2x6 AT 16" O.C. 13'-11" COMPOSITION SHINGLES.
- FLOOR DECK TO BE 3/4" T&G O.S.B OR 1-1/2" PLYWOOD.
- ROOF DECK TO BE 1/2" PLYWOOD EXT. OR 7/16" O.S.D. WITH PLY CLIPS.
- COMPOSITION SHINGLES TO BE ON 15 LB FELT MIN. WITH DRIP EDGE.
- EVERY RIDGE 3" AND LARGER TO HAVE RIDGE VENT.
- SOFFIT VENTS TO BE CONTINUOUS.
- SOFFIT AND DRIP TO BE HARDY.
- USE WATER RESISTANT GYPSUM BOARD FOR WALLS AND CLGS. IN ALL BATH AREAS. BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- ALL INTERIOR WALLS AND CEILINGS ARE TO BE COVERED WITH GYP BD. WITH METAL CORNER REINFORCING, TAPE, FLOAT AND SAND. (3 COATS) GARAGE CLG. TO BE COVERED WITH GYPSUM BOARD AS NOTED.

FOUNDATION PROTECTION AGAINST DECAY R317.1, ITEM 3 2012 IRC
FOUNDATION PROTECTION AGAINST DECAY (WOOD SILL AND SLEEPERS) R317.1, ITEM 3 2012 IRC
SILL AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND SHALL BE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.

ATTIC ACCESS NOTES PER 2012 IRC:
ATTIC ACCESS APPLIANCES (CATWALK) M1305.1.3 2012 IRC AMENDMENTS PROVIDE AN UNOBSTRUCTED PASSAGEWAY NOT MORE THAN 20 FEET IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE WITH A MINIMUM HEADROOM HEIGHT OF 30 INCHES AND A MINIMUM WIDTH OF 30 INCHES. ATTIC ACCESS APPLIANCES (CLEARANCE) M1305.1.3 2012 IRC AMENDMENTS A LEVEL SURFACE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.

AS PER IRC SECTION R 309.1
OPENING BETWEEN THE GARAGE AND GARAGE CLG. TO BE COVERED WITH GYPSUM BOARD AS NOTED. OPENING BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK OR 20 MIN. FIRE RATED DOORS.

AS PER IRC SECTION R 309.2
THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8" GYPSUM BOARD (CEILING) APPLIED TO THE GARAGE SIDE WHERE THERE IS A FLOOR-CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.

AS PER IRC SECTION R 310.4
ALL ESCAPE OR RESCUE WINDOW FROM SLEEPING ROOMS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. THE MINIMUM NET CLEAR OPENING WITH DIMENSION SHALL NOT BE LESS THAN 20 INCHES, AND THE MINIMUM CLEAR HEIGHT DIMENSION SHALL NOT BE 24 INCHES. (PER IRC R310.4) GRADE FLOOR SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. (PER IRC R310.1)

SCOPE OF WORK
A PROPOSED 107 SQ. FT ADDITION TO AN EXISTING 1,017 SQ FT ONE-STORY SINGLE FAMILY RESIDENCE ON PIER AND BEAM FOUNDATION

WALL LEGEND	
EXISTING WALLS=	
PROPOSED WALLS=	
DEMO WALLS=	

EXISTING SQUARE FOOTAGES	
RESIDENCE	1,017
PATIO	107
PORCH	55
CARPORT	738
TOTAL SQUARE FEET	1,917

PROPOSED SQUARE FOOTAGES	
RESIDENCE	1,124
EXISTING PORCH	55
EXISTING CARPORT	738
TOTAL SQUARE FEET	1,917

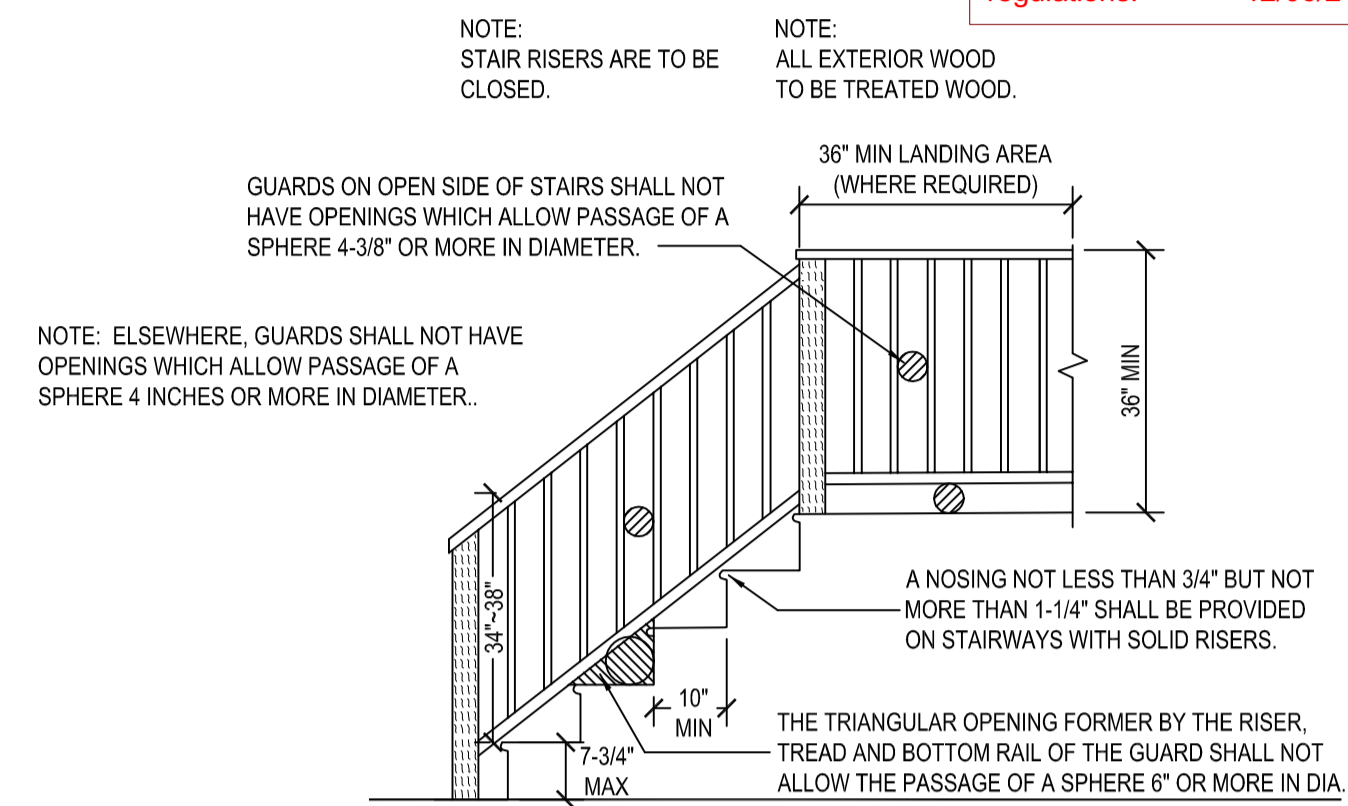
INSULATION AND FENESTRATION				
MAX U-FACTOR	MAX SHGC	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE
0.40	0.25	38	13	13

NOTE: * ALL VALUES SHALL MEET OR EXCEED THE MINIMUMS PROVIDED BY THIS TABLE WHEN SHOWING COMPLIANCE WITH THIS METHOD.

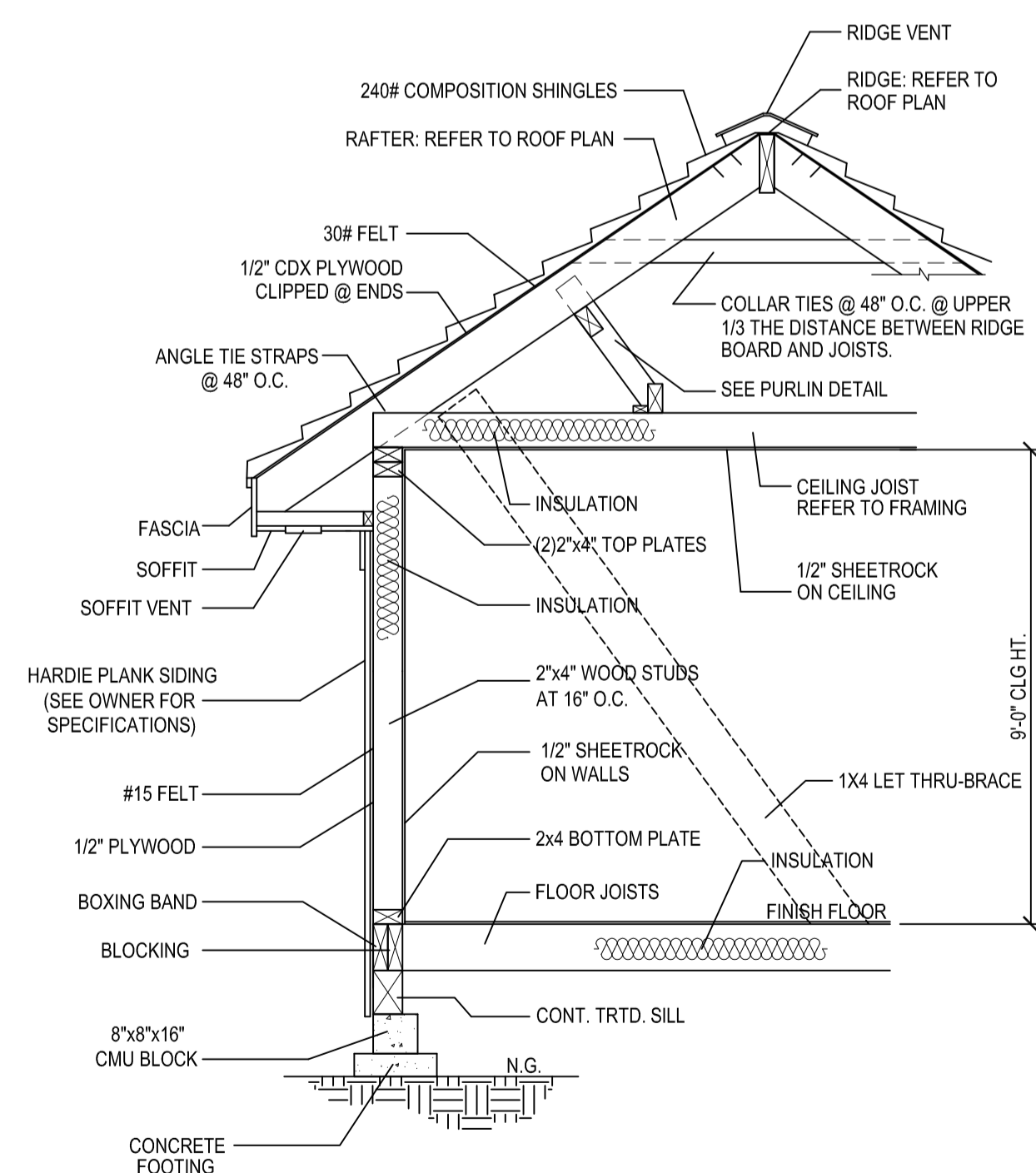
WINDOW SCHEDULE						
NO.	QTY.	SIZE	MATERIAL	FRAME	HDR. HT.	REMARKS
A	6	3'-0"x5'-0"	VINYL/GLASS	VINYL	7'-0"	* SINGLE HUNG
B	1	3'-0"x3'-0"	VINYL/GLASS	VINYL	7'-0"	* SINGLE HUNG
C	1	2'-0"x2'-0"	VINYL/GLASS	VINYL	7'-0"	* FIXED
D	1	3'-0"x1'-0"	VINYL/GLASS	VINYL	7'-0"	* FIXED

NOTE: * SAFETY GLAZING AS PER R308.4

DOOR SCHEDULE						
NO.	ROOM NAME	DOORS	MATERIAL	FRAMES	HARD-WARE	REMARKS
A	ENTRANCE	3'-0"x7'-0"	WOOD S.C.	WOOD	---	DESIGN BY OWNER
B	BEDROOM	2'-8"x6'-8"	WOOD H.C.	WOOD	---	DESIGN BY OWNER
C	CLOSET/BATH/PANTRY	2'-0"x6'-8"	WOOD H.C.	WOOD	---	DESIGN BY OWNER
D	MASTER BATH	2'-6"x6'-8"	WOOD H.C.	WOOD	---	DESIGN BY OWNER
E	MASTER CLOSET	2'-0"x6'-8"	WOOD H.C.	WOOD	---	POCKET DOOR
F	UTILITY	(2)2'-0"x6'-8"	WOOD H.C.	WOOD	---	DESIGN BY OWNER



RESIDENTIAL STAIR DETAIL



TYPICAL CROSS SECTION w/ HARDIE PLANK SIDING

REVISIONS		
No.	DATE	DESCRIPTION
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2	-	-

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OWNER: FC BETTER HOMES LLC

A PROPOSED SINGLE-FAMILY RESIDENCE REMODEL AND ADDITION AT 4006 BERING STREET HOUSTON, TX 77003

DRAWING TITLE: NOTES & DETAILS

DATE: 9/13/2021
DESIGN: LRD
DRAWN: AAA
SCALE: N.T.S.
JOB No: 21091120
FILE: PE20211210911204006 BERING
DRAWING

GENERAL NOTES:

GALVANIZED FLASHING (26 GAUGE) AT ALL VALLEYS, HIPS AND RIDGES. PROVIDE FOR VENTILATION PROJECTIONS THRU ROOF WITH FLANGES AND EXTEND 8" BEYOND SLEEVE.

GALVANIZED IRON FLASHING AT ALL ROOF TO WALL AND ROOF TO CHIMNEY INTERFACES.

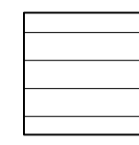
ROOF GUTTERS AND DOWN SPOUTS PER SPECIFICATIONS SEE BUILDER.

CONTINUOUS GALVANIZED IRON EAVE FLASHING.

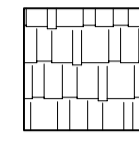
ATTIC VENTILATION TYPE AND AMOUNT PER SPECIFICATIONS SEE BUILDER.

APPLIED CRICKET ROOFING SHALL BE APPLIED OVER MAIN ROOF DECK AND FRAME.

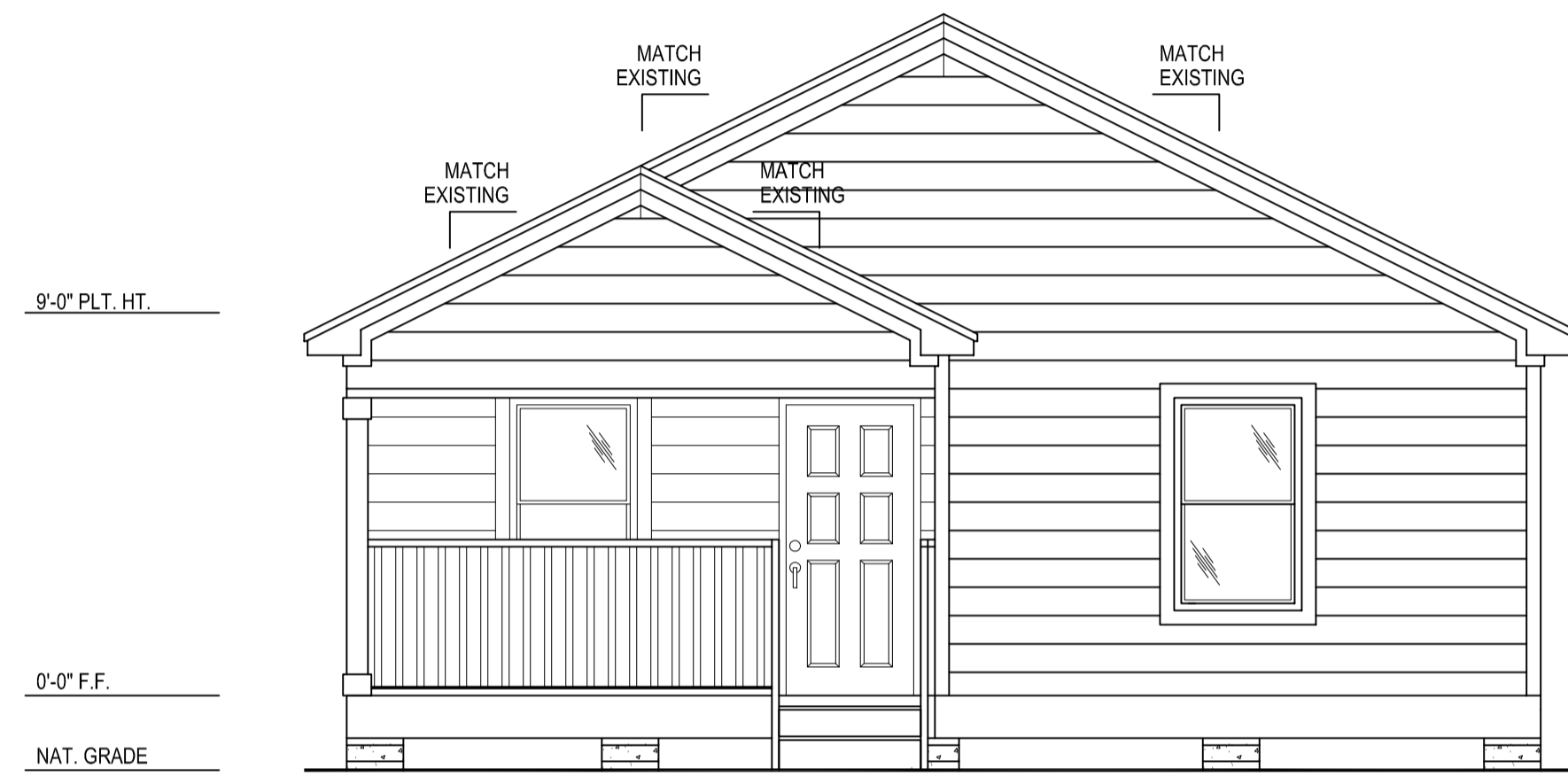
ROOF PLATE HEIGHTS SHOWN ARE AT EXTERIOR FRAME WALL CONDITIONS, ADJUST ROOF PLATE HEIGHT FROM HEIGHT SHOWN AT CONDITIONS WHERE THE ROOF IS SUPPORTED BY BEAMS CENTERED OVER LOAD BEARING COLUMNS.



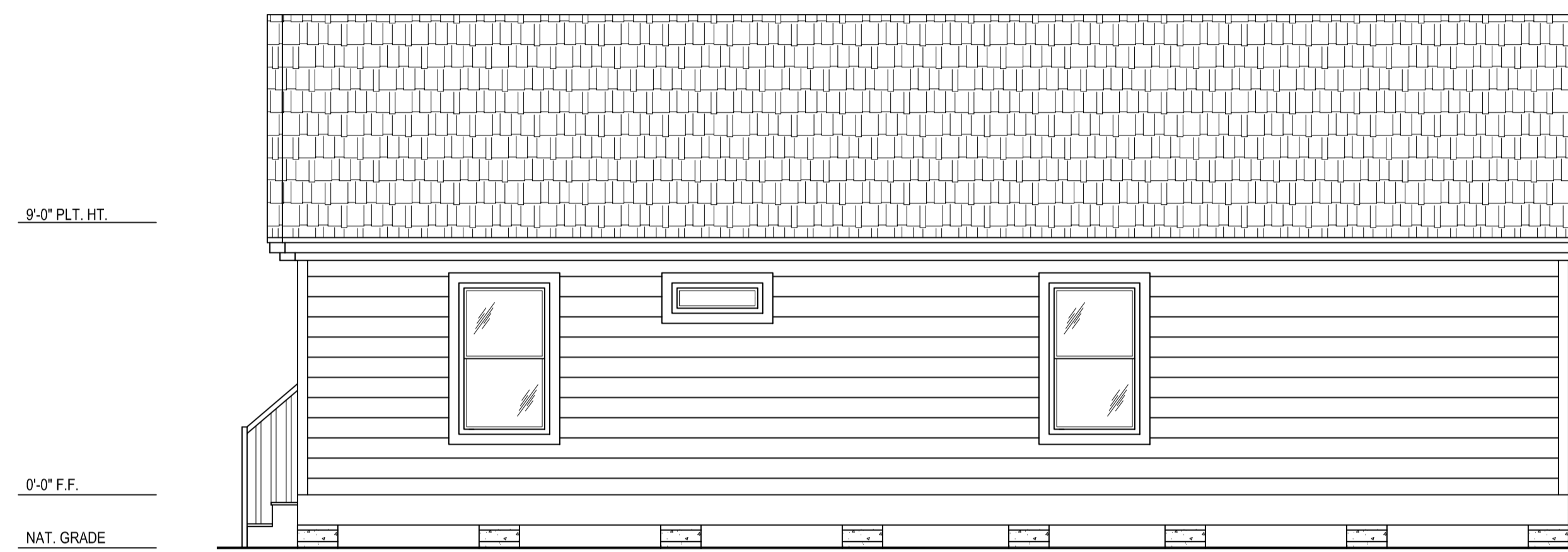
HARDIE PLANK SIDING (SEE OWNER FOR SPEC'S)



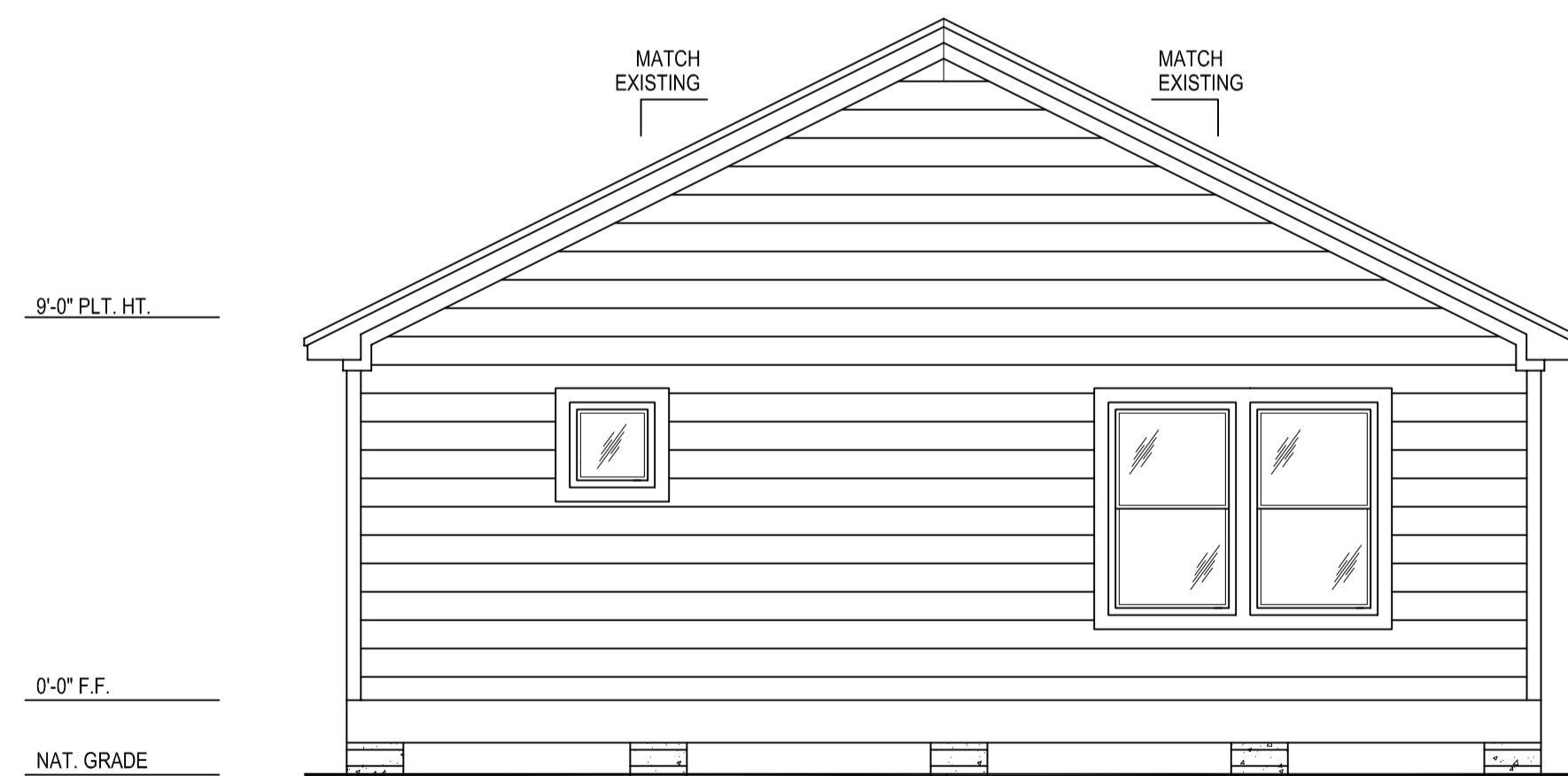
ROOF COMPOSITION SHINGLES



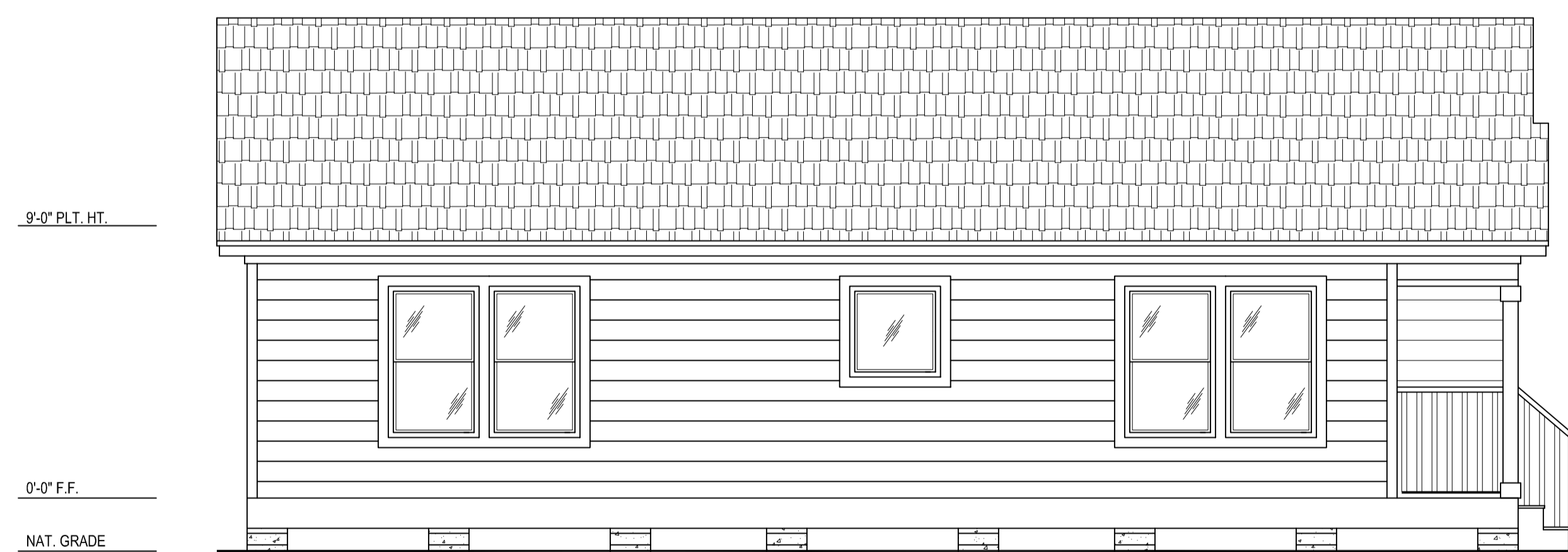
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

City of Houston Texas

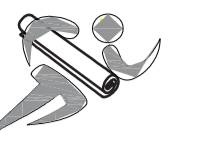


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A PROPOSED
SINGLE-FAMILY RESIDENCE
REMODEL AND ADDITION
AT
4006 BERING STREET
HOUSTON, TX 77003

DRAWING TITLE:

EXTERIOR ELEVATIONS

DATE: 9/13/2021

DESIGN: LRD

DRAWN: AAA

SCALE: 1/4" = 1'-0"

JOB No: 21091120

FILE: PE20211210911204006 BERING

DRAWING

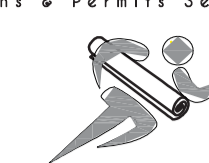
A-3



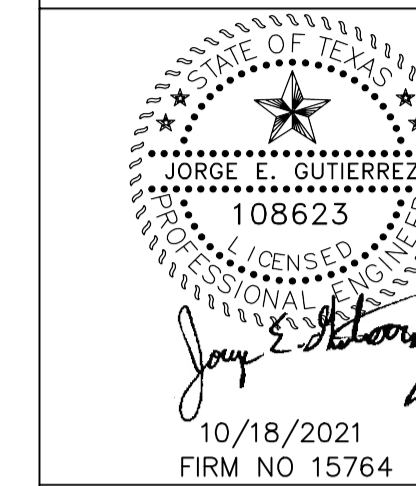
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No.	DATE	DESCRIPTION
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2	-	-

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A PROPOSED
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REMODEL AND ADDITION
AT
4006 BERING STREET
HOUSTON, TX 77003

DRAWING TITLE:

FOUNDATION PLAN

DATE: 9/28/2021

DESIGN: LRD

DRAWN: AAA

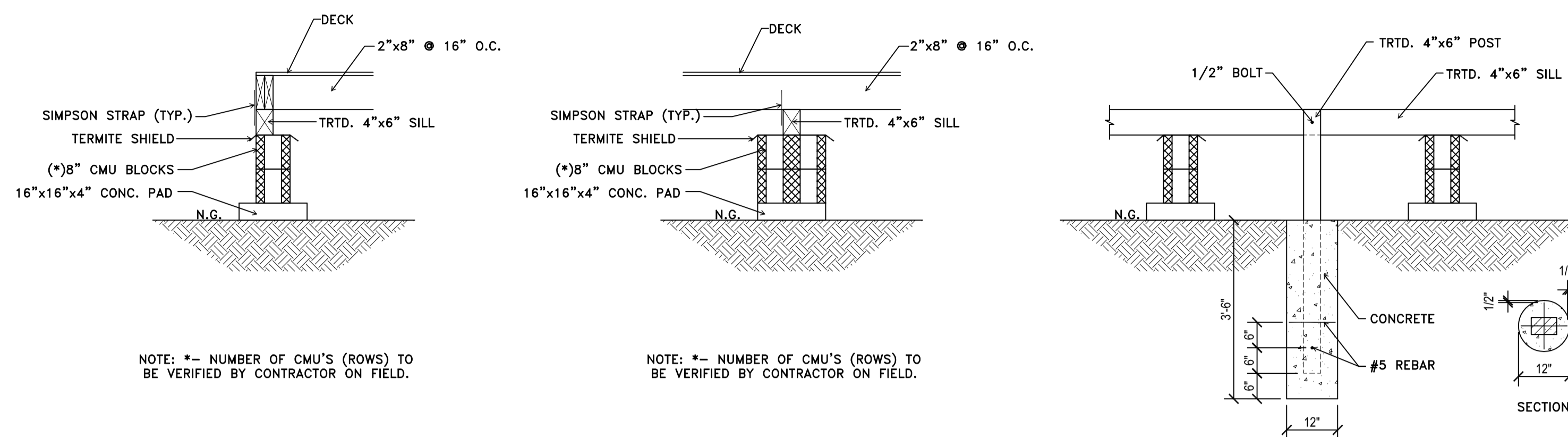
SCALE: 1/4" = 1'-0"

JOB No: 21091120

FILE: PE/2021/12/1091120/4006 BERING ST

DRAWING

S-1



NOTE: *- NUMBER OF CMU'S (ROWS) TO BE VERIFIED BY CONTRACTOR ON FIELD.

NOTE: *- NUMBER OF CMU'S (ROWS) TO BE VERIFIED BY CONTRACTOR ON FIELD.

CMU BLOCK DETAIL @ PERIMETER
NTS

CMU BLOCK DETAIL @ INTERIOR
NTS

HOUSE ANCHORING DETAIL
NTS

REF. IRC 2012 TABLE R401.4.1

CLASS OF MATERIAL	NTS LOAD-BEARING PRESSURE
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, CLAYEY GRAVEL (SW, SP, SM, SC, GM, AND GC)	2,000 PSF

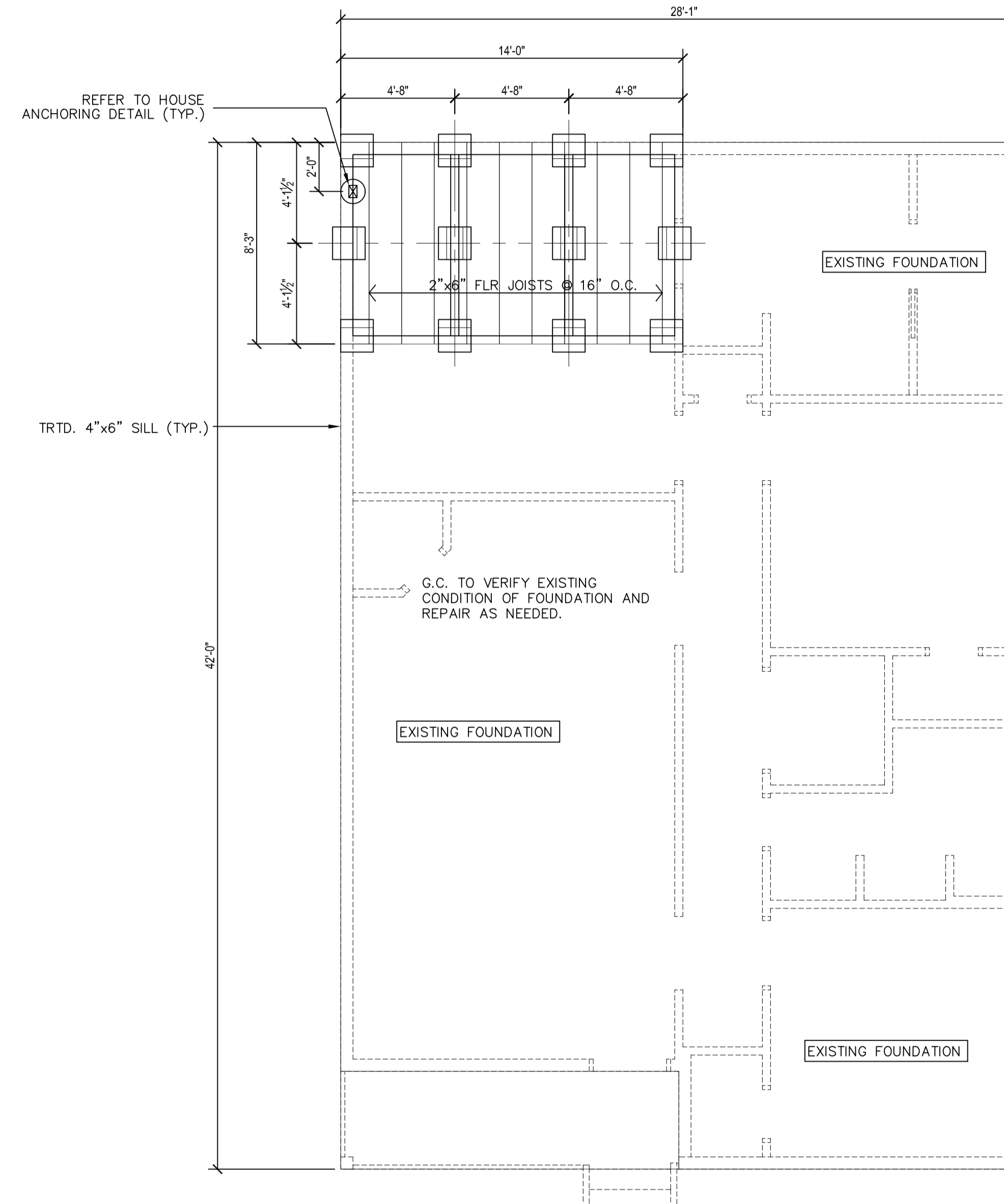
REFER ARCHITECTURAL PLANS FOR:
ALL DIMENSIONS NOT SHOWN
ALL DROPS NOT SHOWN
ALL PLUMBING FIXTURES NOT SHOWN
ALL ELECTRICAL STUBS NOT SHOWN
ALL DROP VALUES NOT SHOWN

NOTE:
-COORDINATE THIS DRAWING WITH ARCHITECTURAL PLANS AND REPORT ANY DISCREPANCY TO ARCHITECT/ENGINEER.

SITE : 4006 BERING STREET

- VERIFY ALL DIMENSIONS AND ELEVATIONS OF RECESS, LEDGES AND STEPS WITH ARCHITECTS BEFORE COMMENCEMENT OF FORM WORK.
- NO CONCRETE IS TO BE PLACED WITHOUT APPROVAL FROM ENGINEER OR ARCHITECT.
- CONCRETE SHALL NOT BE PLACED IN FREEZING OR RAINY WEATHER.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI318 WITH LATEST REVISIONS.
- CRUSHED STONE AND GRAVEL CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.
- REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 WITH A305 DEFORMATIONS, DETAILED, FABRICATED AND INSTALLED PER ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE," ACI-315 LATEST REVISION.
- WELDED SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM-A185.
- REINFORCING STEEL MINIMUM COVERAGE UNLESS NOTED ON REBAR CHAIRS SHALL BE:
FOOTINGS 3" BOT., 3" SIDES & 2" TOP
- CHAMFER ALL EXPOSED EDGES 3/4" AT 45 DEGREES.
- HOLES FOR DRILLED FOOTINGS SHALL BE PLUMB AND FREE OF ALL LOOSE MATERIALS AND WATER. CONCRETE AND REINFORCING SHALL BE PLACED IMMEDIATELY AFTER EXCAVATION.
- PROVIDE CORNER BARS IN THE OUTSIDE FACE OF EXTERIOR GRADE BEAMS TO MATCH THE HORIZONTAL STEEL. AT ALL RE-ENTRANT CORNERS PLACE 2 - # 4 X 4'-0" IN THE SLAB.
- UNDERGROUND UTILITIES OR OBSTRUCTIONS ENCOUNTERED SHALL BE REMOVED, RELOCATED OR LEFT IN PLACE AS DIRECTED BY ENGINEER.
- BARS DETAILED AS CONTINUOUS SHALL BE LAPPED 50 BAR DIAMETER AT SPLICES. THE SPLICES SHALL OCCUR AT MIDSPAN FOR TOP BARS AND OVER THE SUPPORTS FOR BOTTOM BARS.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF HOUSTON, TX BUILDING CODE. (THE LATEST EDITION OR 2012 IRC).
- THE OWNER OF THIS PROJECT HAS DECLINED TO FURNISH A GEOTECHNICAL INVESTIGATION REPORT, THEREFORE THE FOUNDATION DESIGN WAS BASED ON AVERAGE SOIL CONDITION IN THE PROJECT AREA. ALTHOUGH WE ATTEMPT TO MAKE ASSUMPTIONS THAT WILL NOT IMPAIR THE STRUCTURAL INTEGRITY OF THE PROJECT, WE DO NOT HAVE THE EXPERTISE OR BENEFIT OF LABORATORY INVESTIGATIONS OF A GEOTECHNICAL ENGINEER THEREFORE, THIS FIRM CANNOT ASSUME RESPONSIBILITY FOR THE PERFORMANCE OF THE DESIGN FOUNDATION SHOULD ACTUAL SURFACE OR SUBSURFACE CONDITIONS VARY FROM THOSE ASSUMED.
- THE GENERAL CONTRACTOR SHALL EXAMINE THE MECHANICAL DRAWINGS FOR REQUIRED MECHANICAL WORK TO BE PLACED IN CONCRETE. THIS CONTRACTOR SHALL NOTIFY AND RECEIVE PERMISSION FROM THE STRUCTURAL ENGINEER FOR THE PLACING OF SLEEVES, PIPES OR OTHER MATERIALS.
- ALL PIPES GOING THROUGH EXTERIOR GRADE BEAMS SHALL BE SLEEVED. ALL PIPES SHALL BE LOCATED AT MID DEPTH OF GRADE BEAM.
- SIZE OF SLEEVES SHALL NOT EXCEED 1/3 OF OVERALL THICKNESS OF GRADE BEAM. SPACING OF SLEEVES SHALL NOT BE CLOSER THAN 3 DIAMETERS ON CENTER.
- THE ENGINEER SHALL NOT BE LIABLE FOR ANY FOUNDATION REVISION OR CHANGES FROM THE ARCHITECTS, CONTRACTORS OR OWNERS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
- CURE ALL CONCRETE IMMEDIATELY AFTER FINISHING WITH APPROVED CHEMICAL CURING COMPOUND.
- IF ANY TREES THAT ARE REMOVED WITHIN 25 FEET PROXIMITY TO THE FOUNDATION WITHIN 6 MONTHS BEFORE POURING THE CONCRETE WILL REQUIRE AN ENGINEERS APPROVAL.
- CONTRACTOR/OWNER/DEVELOPER SHOULD NOTIFY THE ENGINEER OF ANY TREES THAT ARE NOT MENTIONED IN THE DESIGN DOCUMENTS BEFORE THE FOUNDATION IS BUILT. FAILURE TO MAKE SUCH NOTIFICATION SHALL VOID ANY LIABILITY BY PLAN EXPRESS.

CONCRETE NOTES



FOUNDATION PLAN

City of Houston Texas

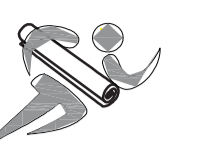


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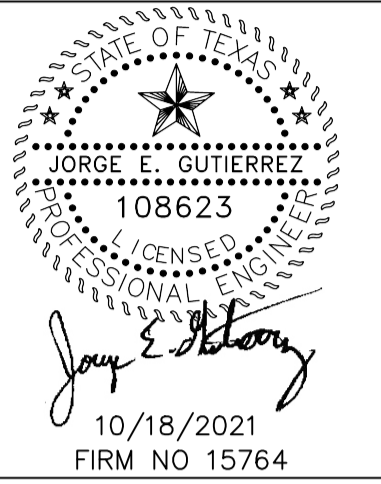
REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes, ordinances and regulations. 12/06/21

PlanExpress
Plans & Permit Services



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info@plan-express.com
www.plan-express.com



REVISIONS

No.	DATE	DESCRIPTION
1	-	-
2	-	-

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OWNER:

FC BETTER HOMES LLC

A PROPOSED
SINGLE-FAMILY RESIDENCE
REMODEL AND ADDITION
AT
4006 BERING STREET
HOUSTON, TX 77003

DRAWING TITLE:

FRAMING PLAN

DATE: 9/28/2021

DESIGN: LRD

DRAWN: AAA

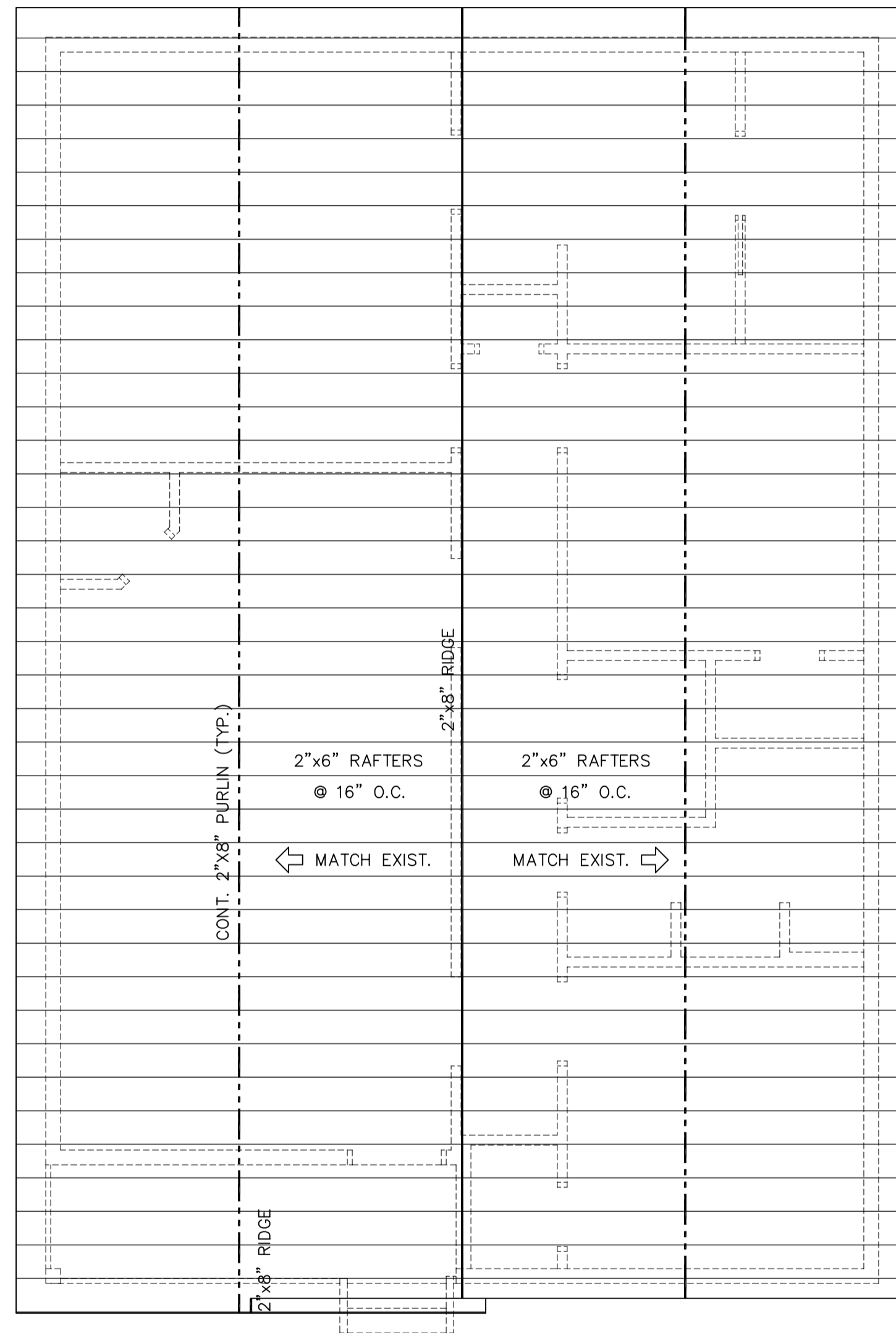
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JOB No: 21091120

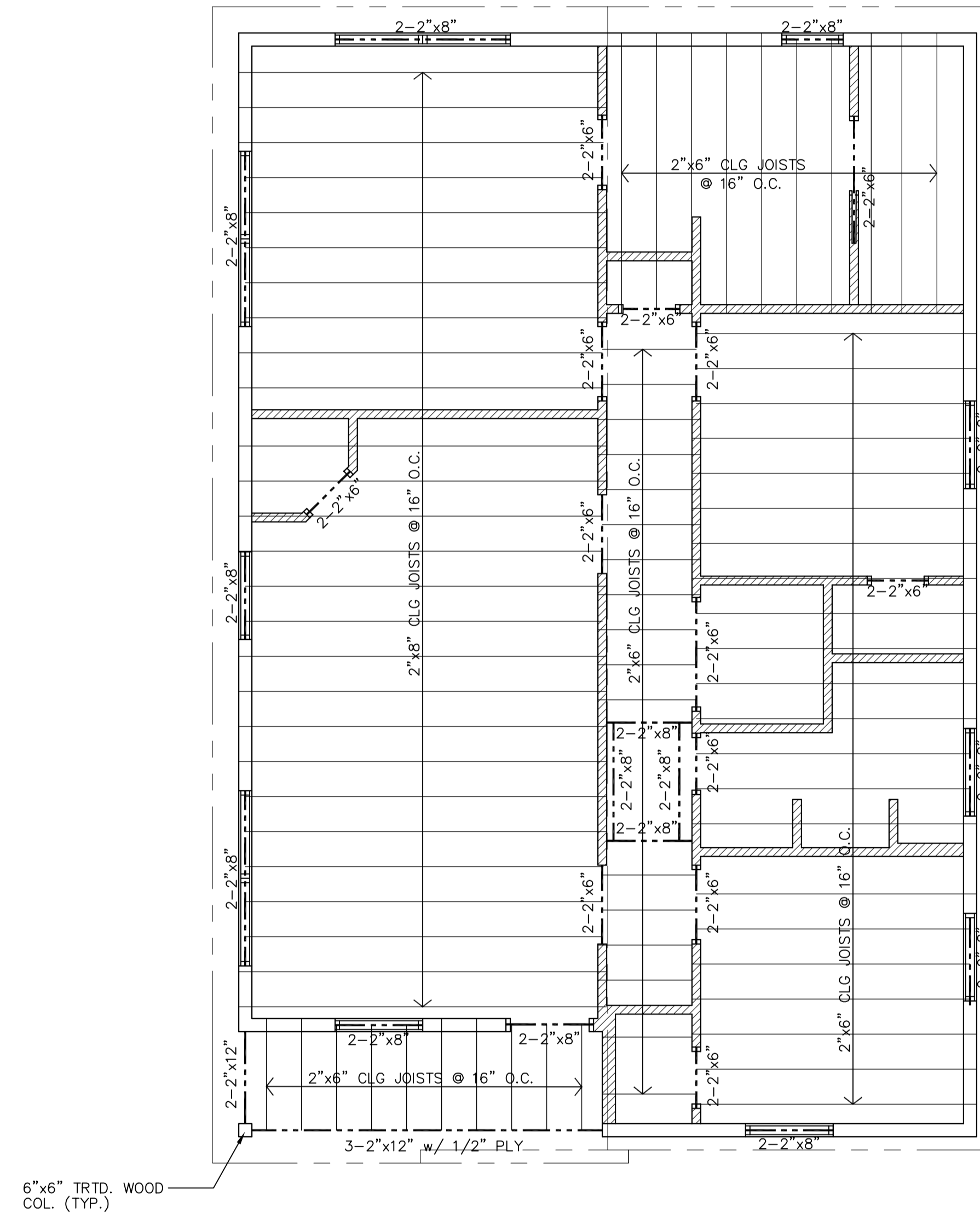
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DRAWING

S-2



ROOF FRAMING PLAN



CEILING FRAMING PLAN

