



APPROVED BY THE TEXAS REAL ESTATE COMMISSION (TREC)



SELLER'S DISCLOSURE NOTICE

CONCERNING THE PROPERTY AT 909 Riverside Ct, Friendswood, TX 77546
(Street Address and City)

THIS NOTICE IS A DISCLOSURE OF SELLER'S KNOWLEDGE OF THE CONDITION OF THE PROPERTY AS OF THE DATE SIGNED BY SELLER AND IS NOT A SUBSTITUTE FOR ANY INSPECTIONS OR WARRANTIES THE PURCHASER MAY WISH TO OBTAIN. IT IS NOT A WARRANTY OF ANY KIND BY SELLER OR SELLER'S AGENTS.

Seller is is not occupying the Property. If unoccupied, how long since Seller has occupied the Property? Never Occupied

1. The Property has the items checked below [Write Yes (Y), No (N), or Unknown (U)]:

- | | | |
|---|--|---|
| <u>Y</u> Range | <u>N</u> Oven | <u>Y</u> Microwave |
| <u>Y</u> Dishwasher | <u>U</u> Trash Compactor | <u>U</u> Disposal |
| <u>U</u> Washer/Dryer Hookups | <u>U</u> Window Screens | <u>U</u> Rain Gutters |
| <u>Y</u> Security System | <u>U</u> Fire Detection Equipment | <u>U</u> Intercom System |
| | <u>U</u> Smoke Detector | |
| | <u>U</u> Smoke Detector-Hearing Impaired | |
| | <u>U</u> Carbon Monoxide Alarm | |
| | <u>N</u> Emergency Escape Ladder(s) | |
| <u>U</u> TV Antenna | <u>U</u> Cable TV Wiring | <u>U</u> Satellite Dish |
| <u>Y</u> Ceiling Fan(s) | <u>U</u> Attic Fan(s) | <u>U</u> Exhaust Fan(s) |
| <u>Y</u> Central A/C | <u>Y</u> Central Heating | <u>N</u> Wall/Window Air Conditioning |
| <u>Y</u> Plumbing System | <u>N</u> Septic System | <u>Y</u> Public Sewer System |
| <u>Y</u> Patio/Decking | <u>N</u> Outdoor Grill | <u>Y</u> Fences |
| <u>Y</u> Pool | <u>N</u> Sauna | <u>N</u> Spa <u>N</u> Hot Tub |
| <u>U</u> Pool Equipment | <u>U</u> Pool Heater | <u>U</u> Automatic Lawn Sprinkler System |
| <u>N</u> Fireplace(s) & Chimney
(Wood burning) | | <u>N</u> Fireplace(s) & Chimney
(Mock) |
| <u>Y</u> Natural Gas Lines | | <u>U</u> Gas Fixtures |
| <u>U</u> Liquid Propane Gas | <u>U</u> LP Community (Captive) | <u>U</u> LP on Property |
| Garage: <u>U</u> Attached | <u>U</u> Not Attached | <u>U</u> Carport |
| Garage Door Opener(s): | <u>U</u> Electronic | <u>U</u> Control(s) |
| Water Heater: | <u>U</u> Gas | <u>U</u> Electric |
| Water Supply: <u>Y</u> City | <u>N</u> Well <u>N</u> MUD | <u>N</u> Co-op |
| Roof Type: <u>Shingles</u> | Age: <u>11 years</u> | (approx.) |

Buyer is aware that security system does not convey with sale of home. Kwikset 914 lock will be replaced upon close.

Are you (Seller) aware of any of the above items that are not in working condition, that have known defects, or that are in need of repair? Yes No Unknown. If yes, then describe. (Attach additional sheets if necessary):

Roof: worn with granule loss/damage in areas. Rafters have separate from ridge beam in some areas, and structural members damaged in various locations. Roof covering pool has notable damage and shifting support members. Refer to inspection report for further information.

Seller has never occupied this property. Seller encourages Buyer to have their own inspections performed and verify all information relating to this property.

(Street Address and City)

2. Does the property have working smoke detectors installed in accordance with the smoke detector requirements of Chapter 766, Health and Safety Code?* Yes No Unknown. If the answer to this question is no or unknown, explain (Attach additional sheets if necessary): _____

* Chapter 766 of the Health and Safety Code requires one-family or two-family dwellings to have working smoke detectors installed in accordance with the requirements of the building code in effect in the area in which the dwelling is located, including performance, location, and power source requirements. If you do not know the building code requirements in effect in your area, you may check unknown above or contact your local building official for more information. A buyer may require a seller to install smoke detectors for the hearing impaired if: (1) the buyer or a member of the buyer's family who will reside in the dwelling is hearing impaired; (2) the buyer gives the seller written evidence of the hearing impairment from a licensed physician; and (3) within 10 days after the effective date, the buyer makes a written request for the seller to install smoke detectors for the hearing impaired and specifies the locations for the installation. The parties may agree who will bear the cost of installing the smoke detectors and which brand of smoke detectors to install.

3. Are you (Seller) aware of any known defects/malfunctions in any of the following? Write Yes (Y) if you are aware, write No (N) if you are not aware.

<u> N </u> Interior Walls	<u> N </u> Ceilings	<u> N </u> Floors
<u> N </u> Exterior Walls	<u> N </u> Doors	<u> N </u> Windows
<u> Y </u> Roof	<u> N </u> Foundation/Slab(s)	<u> N </u> Sidewalks
<u> N </u> Walls/Fences	<u> N </u> Driveways	<u> N </u> Intercom System
<u> N </u> Plumbing/Sewers/Septics	<u> N </u> Electrical Systems	<u> N </u> Lighting Fixtures
<u> N </u> Other Structural Components (Describe): _____		

If the answer to any of the above is yes, explain. (Attach additional sheets if necessary): Roof: See section 1

Plumbing: Repaired leak at front yard and the hall bathroom near the toilet.

Seller has never occupied this property. Seller encourages Buyer to have their own inspections performed and verify all information relating to this property.

4. Are you (Seller) aware of any of the following conditions? Write Yes (Y) if you are aware, write No (N) if you are not aware.

<u> N </u> Active Termites (includes wood destroying insects)	<u> Y </u> Previous Structural or Roof Repair
<u> Y </u> Termite or Wood Rot Damage Needing Repair	<u> N </u> Hazardous or Toxic Waste
<u> N </u> Previous Termite Damage	<u> N </u> Asbestos Components
<u> N </u> Previous Termite Treatment	<u> N </u> Urea-formaldehyde Insulation
<u> N </u> Improper Drainage	<u> N </u> Radon Gas
<u> Y </u> Water Damage Not Due to a Flood Event	<u> N </u> Lead Based Paint
<u> N </u> Landfill, Settling, Soil Movement, Fault Lines	<u> N </u> Aluminum Wiring
<u> Y </u> Single Blockable Main Drain in Pool/Hot Tub/Spa*	<u> N </u> Previous Fires
	<u> N </u> Unplatted Easements
	<u> N </u> Subsurface Structure or Pits
	<u> N </u> Previous Use of Premises for Manufacture of
	<u> N </u> Methamphetamine

If the answer to any of the above is yes, explain. (Attach additional sheets if necessary): Age of roof indicates that it was replaced under prior ownership. - Details unknown.

Home was built prior to 1978 - See Lead Based Paint Addendum.

Pool has a single main drain, buyer should have their own inspection.

Seller has never occupied this property. Seller encourages Buyer to have their own inspections performed and verify all information relating to this property.

* A single blockable main drain may cause a suction entrapment hazard for an individual.

5. Are you (Seller) aware of any item, equipment, or system in or on the Property that is in need of repair? Yes (if you are aware) No (if you are not aware). If yes, explain (attach additional sheets if necessary). _____

Seller has never occupied this property. Seller encourages Buyer to have their own inspections performed and verify all information relating to this property.

6. Are you (Seller) aware of any of the following conditions?* Write Yes (Y) if you are aware, write No (N) if you are not aware.
 N Present flood insurance coverage
 N Previous flooding due to a failure or breach of a reservoir or a controlled or emergency release of water from a reservoir
 N Previous water penetration into a structure on the property due to a natural flood event

Write Yes (Y) if you are aware, and check wholly or partly as applicable, write No (N) if you are not aware.

- N Located wholly partly in a 100-year floodplain (Special Flood Hazard Area-Zone A, V, A99, AE, AO, AH, VE, or AR)
 N Located wholly partly in a 500-year floodplain (Moderate Flood Hazard Area-Zone X (shaded))
 N Located wholly partly in a floodway
 N Located wholly partly in a flood pool
 N Located wholly partly in a reservoir

If the answer to any of the above is yes, explain (attach additional sheets if necessary): _____

Seller has never occupied this property. Seller encourages Buyer to have their own inspections performed and verify all information relating to this property.

*For purposes of this notice:

"100-year floodplain" means any area of land that:

- (A) is identified on the flood insurance rate map as a special flood hazard area, which is designated as Zone A, V, A99, AE, AO, AH, VE, or AR on the map;
(B) has a one percent annual chance of flooding, which is considered to be a high risk of flooding; and
(C) may include a regulatory floodway, flood pool, or reservoir.

"500-year floodplain" means any area of land that:

- (A) is identified on the flood insurance rate map as a moderate flood hazard area, which is designated on the map as Zone X (shaded); and
(B) has a two-tenths of one percent annual chance of flooding, which is considered to be a moderate risk of flooding.

"Flood pool" means the area adjacent to a reservoir that lies above the normal maximum operating level of the reservoir and that is subject to controlled inundation under the management of the United States Army Corps of Engineers.

"Flood insurance rate map" means the most recent flood hazard map published by the Federal Emergency Management Agency under the National Flood Insurance Act of 1968 (42 U.S.C. Section 4001 et seq.).

"Floodway" means an area that is identified on the flood insurance rate map as a regulatory floodway, which includes the channel of a river or other watercourse and the adjacent land areas that must be reserved for the discharge of a base flood, also referred to as a 100-year flood, without cumulatively increasing the water surface elevation of more than a designated height.

"Reservoir" means a water impoundment project operated by the United States Army Corps of Engineers that is intended to retain water or delay the runoff of water in a designated surface area of land.

7. Have you (Seller) ever filed a claim for flood damage to the property with any insurance provider, including the National Flood Insurance Program (NFIP)?* Yes No. If yes, explain (attach additional sheets as necessary): _____

Seller has never occupied this property. Seller encourages Buyer to have their own inspections performed and verify all information relating to this property.

*Homes in high risk flood zones with mortgages from federally regulated or insured lenders are required to have flood insurance. Even when not required, the Federal Emergency Management Agency (FEMA) encourages homeowners in high risk, moderate risk, and low risk flood zones to purchase flood insurance that covers the structure(s) and the personal property within the structure(s).

8. Have you (Seller) ever received assistance from FEMA or the U.S. Small Business Administration (SBA) for flood damage to the property? Yes No. If yes, explain (attach additional sheets as necessary): _____

Seller has never occupied this property. Seller encourages Buyer to have their own inspections performed and verify all information relating to this property.

9. Are you (Seller) aware of any of the following? Write Yes (Y) if you are aware, write No (N) if you are not aware.

N Room additions, structural modifications, or other alterations or repairs made without necessary permits or not in compliance with building codes in effect at that time.

N Homeowners' Association or maintenance fees or assessments.

N Any "common area" (facilities such as pools, tennis courts, walkways, or other areas) co-owned in undivided interest with others.

N Any notices of violations of deed restrictions or governmental ordinances affecting the condition or use of the Property.

N Any lawsuits directly or indirectly affecting the Property.

N Any condition on the Property which materially affects the physical health or safety of an individual.

N Any rainwater harvesting system located on the property that is larger than 500 gallons and that uses a public water supply as an auxiliary water source.

Y Any portion of the property that is located in a groundwater conservation district or a subsidence district.

If the answer to any of the above is yes, explain. (Attach additional sheets if necessary): _____

Property is located in Harris-Galveston Subsidence District. For more information regarding this district contact the district directly.

Previous seller added a deck and possibly other additions. - Details and permit status unknown.

Seller has never occupied this property. Seller encourages Buyer to have their own inspections performed and verify all information relating to this property.

10. If the property is located in a coastal area that is seaward of the Gulf Intracoastal Waterway or within 1,000 feet of the mean high tide bordering the Gulf of Mexico, the property may be subject to the Open Beaches Act or the Dune Protection Act (Chapter 61 or 63, Natural Resources Code, respectively) and a beachfront construction certificate or dune protection permit maybe required for repairs or improvements. Contact the local government with ordinance authority over construction adjacent to public beaches for more information.

11. This property may be located near a military installation and may be affected by high noise or air installation compatible use zones or other operations. Information relating to high noise and compatible use zones is available in the most recent Air Installation Compatible Use Zone Study or Joint Land Use Study prepared for a military installation and may be accessed on the Internet website of the military installation and of the county and any municipality in which the military installation is located.

Authorized Signer on Behalf of
Opendoor Property J LLC

Megan Meyer
Signature of Seller

08/03/2023
Date

Signature of Seller

Date

The undersigned purchaser hereby acknowledges receipt of the foregoing notice.

Signature of Purchaser

Date

Signature of Purchaser

Date



This form was prepared by the Texas Real Estate Commission in accordance with Texas Property Code § 5.008(b) and is to be used in conjunction with a contract for the sale of real property entered into on or after September 1, 2019. Texas Real Estate Commission, P.O. Box 12188, Austin, TX 78711-2188, 512-936-3000 (<http://www.trec.texas.gov>) TREC NO. OP-H



BPG Inspection, LLC




**909 Riverside Court
Friendswood TX 77546**

Client(s): 

Inspection Date: 7/30/2023

Inspector: Katie O'Sullivan Cupitt , 24601 (TX)

	7/30/2023
Name of Client	Date of Inspection
909 Riverside Court, Friendswood, TX 77546	
Address of Inspected Property	
Katie O'Sullivan Cupitt	24601 (TX)
Name of Inspector	TREC License #
Name of Sponsor (if applicable)	TREC License #

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector’s findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer’s installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.


ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:

Style of Home: Single Family, One Story	Age Of Home: 1965	Home Faces: South, SW
Vacant or Occupied: Vacant	Utilities Active: No gas service to water heater, No electrical service to oven/range	Attendees/Personnel Present: Buyer
Weather: Partly Cloudy	Temperature: Over 80	Rain in last 3 days: No
Ground/Soil Condition: Dry, Standing water	Ancillary Services: Wood destroying insect, Pool	Recommended Professionals: Foundation, Structural Engineer, Roofer, Licensed Electrician, Licensed HVAC, Licensed Plumber, Appliance Contractor, Licensed Pest Control, Handyman, Carpenter, Pool, General Contractor, Leak/Water Remediation Contractor


Thank you for choosing BPG for your property inspection. We value your business and are available should you have any follow-up questions regarding your report.

This report represents our professional opinion regarding conditions of the property as they existed on the day of our inspection. We adhere to the Standards of Practices as outlined in our Inspection Agreement.

Your **INSPECTION REPORT** includes three sections: **1) Key Findings, 2) Property Information, and 3) Inspection Agreement**. It is important to evaluate all three sections in order to fully understand the property and general conditions. The following definitions may be helpful in reviewing your reports.

 Action Items may include:

- Items that are no longer functioning as intended
- Conditions that present safety issues
- Items or conditions that may require repair, replacement, or further evaluation by a specialist
- Items that were inaccessible

 Consideration Items may include:

- Conditions that may require repair due to normal wear and the passage of time.
- Conditions that have not significantly affected usability or function- but may if left unattended.

SECTION I. KEY FINDINGS

This section is designed to summarize the findings and conditions that may require your immediate attention. Typically, the Key Findings Summary is used to help prioritize issues with other parties involved in the real estate transaction. *It is important to review carefully all sections of your report and not rely solely on the Key Findings summary.*

SECTION II. PROPERTY INFORMATION

This section contains our detailed findings on all items inspected. Component locations, system types and details, maintenance tips, and other general information about the property will be included as appropriate.

SECTION III. INSPECTION AGREEMENT

This section details the scope of the inspection. BY ACCEPTANCE OF OUR INSPECTION REPORT, YOU ARE AGREEING TO THE TERMS OF OUR INSPECTION AGREEMENT. A copy of this agreement was made available immediately after scheduling your inspection and prior to the beginning of your inspection. In addition, a copy is included on our website with your final inspection report.

To retrieve your full PROPERTY INSPECTION REPORT (all 3 sections) from our Web site:

- Point your web browser to <http://www.bpginspections.com>
- Click on **View Your Inspection Report**
- Enter the **Report Id** and **Client Last Name** (shown below)
 - Report Id: 1011047
 - Client's Last Name: Gray
- Follow the instructions to either view the report online or download it to your computer.

Again, thank you for selecting us as your inspection company. Please contact our Customer Service Center at 800-285-3001 should you have any questions about your reports or desire additional assistance.

Action / Consideration Items**Structural Systems****Foundations**

- ❌ 1. Previous repairs to the foundation have been disclosed and/or were observed. Refer to the seller for any documentation and possible warranties for further information.

Grading and Drainage

- ⬆️ 2. Often times a property owner will add dirt or landscaping materials against the siding and cover the exposed foundation. Maybe the owner was doing some landscape work, or the original grading was simply poorly done. Whatever the reason current building standards require at least four inches of foundation visible below masonry veneer and six inches of foundation below wood siding. Present condition is considered conducive to possible moisture and insect related issues. The grade should be lowered to appropriate levels at the front, rear and sides of the structure.
- ⬆️ 3. Gutters are recommended where not installed. Water cascading off the roof where gutters are not installed could result in excessive erosion and possibly undermine the foundation.
- ❌ 4. Maintenance Recommendation: Noted home is equipped with below grade drainage system. Recommend as regular maintenance that drain covers are clear of debris, rocks, overgrown grass to ensure covers are not obstructed from proper drainage. Current condition reveals drains are clogged with debris; clear for proper drainage.

Roof Covering Materials

- ❌ 5. Some worn shingles with granular loss/damage in various areas throughout the roof. A roofer should perform a maintenance check on the covering for needed repairs, patching or replacement of worn shingles. Most notably at front left where shingles are damaged down to the sheathing from previous tree damage.
- ❌ 6. The roof covering is old, and the life of covering has or is near expired. Significant & readily apparent deterioration and/or damage to shingles, tiles, flashing or other roof covering was observed. The covering does need to be replaced. While it could last a year or so, some areas may need patching with tar as leaks develop. Buyer is strongly encouraged to have a properly certified / licensed roofing contractor to physically inspect the roof prior to expiration of any time limitations, such as option or warranty periods, to fully evaluate the condition of the roofing material.
- ❌ 7. There were vent, counter or step flashings observed to be raised and improperly sealed. A qualified roofer should reseal and seal these roofing components as needed to prevent any future water penetration.
- ⬆️ 8. Paint is needed on bare metal flashing, vents or PVC pipes. This will prevent rust and also UV damage to the pipes.
- ⬆️ 9. Remove all debris from roof slopes and valleys. Leaf debris may hide possible defects and damage to roofing materials. Debris may also cause water to dam up under shingle tabs.
- ⬆️ 10. The original gas flue vents for the hot water heater and heating system are "dated". (Insufficient height, not screened, inappropriate cap, etc.). Current standards require flue "B" vents to extend minimum 36 inches above roof.
- ⬆️ 11. Plumbing vent pipes are improperly flashed (no jack boot, outdated flashing, flanges improperly covered, etc). Proper flashing detail should be installed by a qualified roofer.
- ⬆️ 12. There is evidence of vermin trying to enter roof/attic structure (damaged siding, soffit, eaves etc). Recommend repairing these areas and having pest prevention barriers installed.

Roof Structures and Attics

- ❌ 13. Roof covering at pool area does not appear to have the proper structural support, notable damage and shifting of support members is evident. Evaluate by structural engineer for needed changes and repair to prevent further damage.

Action / Consideration Items

- 14. Rafters have separated from the ridge beam in areas. At least one vertical support for purlins has become detached. This is typical with settling on older homes, but should be addressed and repaired within near future.
- 15. Structural members damaged in various locations. Repair as needed.
- 16. There is no walkway access to the appliances installed in the attic. The passageway should have continuous, solid flooring not less than 24 inches wide. There should be a work space that is level and at least 30 inches deep and 30 inches wide in front of the water heater.

Walls (Interior and Exterior)

- 17. Set cracks in brick, stone and mortar observed in various locations. These cracks should be repaired to prevent moisture intrusion and further expansion.
- 18. There are areas of the rear of exterior that have sustained varying levels of water (rot) damage and is in need of repair.
- 19. Control joints require added joint compound to prevent water incursion into wall space.
- 20. Seal (paint) all exposed wood surfaces around the exterior of the home to include any bare wood, joints in siding and trim, etc.
- 21. Noted rear wall at pool area does not appear to be properly rated for exterior wall covering with necessary vapor barrier etc.. Repair.
- 22. There are areas of the interior walls that have sustained varying levels of water damage and is in need of repair. Most notably at bedroom to right of hall bath under window, wall behind toilet in hallway bath, and master bath next to tub.

Doors (Interior and Exterior)

- 23. The door(s) and frame are damaged from water intrusion at the rear door. Repair is recommended by a qualified contractor. An entry cover or storm door may be recommended to reduce incidence of water intrusion.
- 24. The rear sliding glass door does not operate properly, indicating the hardware requires replacing.
- 25. The occupant door leading from the attached garage into the house is not self closing. I recommend installing/ adjusting self closing hinges on the door leading from the garage to the living space as a safety feature to prevent exhaust gases (car, appliance) from entering the house.
- 26. The rear door opens outward, with the hinges and pins accessible from the exterior. This is a security risk as the hinges can be removed from the exterior, providing easy access to the residence. Correction will entail replacing the hinges with safety devices, or reversing the door action.

Windows

- 27. Fresh sealant/caulk applications recommended on exterior window frames at walls. This is an ongoing maintenance item that should be performed on a regular basis to prevent the entry and subsequent damage from water/moisture.

Other

- 28. Recommend general pest control for interior/exterior for current/possible future activity.

Electrical Systems**Service Entrance and Panels**

- 29. Knockout covers are missing in the main panel. These should be replaced to prevent access to live electrical components, preventing injury. These are easily installed plastic inserts.
- 30. The electrical service conductors clearance (outside) from the ground is less than 10 feet. Line should be raised by a licensed electrician.

Action / Consideration Items

- 31. Main service wires at the weather head do not have proper drip loop.
- 32. Conductors should enter panels through conduit bushings, and not make contact with panel sheet metal. These are easily installed plastic clip inserts.
- 33. Dead front panel not properly aligned or secured. Repair.

Branch Circuits, Connected Devices, and Fixtures

- 34. An exterior outlet(s) with a missing cover was observed. Missing or damaged covers on exterior outlets/switches render them no longer wet location rated. Repair or replace receptacle cover to maintain wet location rating required by current standards.
- 35. Exterior light switches were not wet location/exterior rated as required. Have an electrician replace these with properly rated devices.
- 36. There are no bedroom or hallway smoke detectors installed. Today's standards now require smoke detectors in and directly outside of (hallways) all sleeping areas and on each level for multiple story structures. Additionally today's modern detectors are interconnected, so if one sounds they all sound.
- 37. There were exposed connections, open boxes observed in the attic and in the kitchen closet. Secure, enclose in rated enclosures to prevent hazards.
- 38. Kitchen counter top and bathroom outlets are not Ground Fault Circuit Interrupt (GFCI) protected as called for by today's standards.
- 39. There was a circuit with an open neutral observed in the kitchen (above dishwasher) and in the garage to left of door. The cause should be diagnosed and repaired by a licensed electrician.
- 40. Dishwasher does not have an electrical service disconnect means located within site of the unit as now called for by today's standards. Note: Dishwasher are allowed to be corded and plugged in behind the unit. Inspection not possible without removal and is beyond the scope of this inspection.
- 41. There was a circuit with reversed polarity (hot/neutral reversed) observed in the garage (near ground next to door to house) and in rear corner guest bedroom to right of hall bath. (outlet on wall to right of door). The cause should be diagnosed and repaired by a licensed electrician.
- 42. Some lights were not functioning. These are usually just a case of burned out bulbs. Recommend replacing bulbs before closing as needed. If fixtures are still not functioning, then a licensed electrician should diagnose for deficiencies.

Heating, Ventilation and Air Conditioning Systems

Cooling Equipment

- 43. The secondary condensate drain lines are producing water, indicating the primary drains are obstructed. A licensed HVAC technician should clean and repair the lines as needed.
- 44. The exterior condenser coil is soiled with debris buildup. I recommend the unit to be cleaned by a licensed HVAC technician.
- 45. The A/C condenser(s) should be elevated 4" above grade to avoid lower cabinet (rust) damage.

Duct Systems, Chases, and Vents

- 46. Duct seals are deficient or not present in various areas. Recommend repair by HVAC technician as needed.
- 47. Recommend cleaning return air chase of debris.

Plumbing System

Plumbing Supply, Distribution Systems and Fixtures

Action / Consideration Items

- ✘ 48. Toilet tank was loose on bowl in the master bath. Tanks should be secured, and not have movement on bowl assembly to prevent damage to seals and/or leaks.
- ☑ 49. The bathtub fill spouts and/or controls need to be reseated and sealed (caulked) to prevent moisture seepage into tub surround.
- ☑ 50. Home has original galvanized supply lines. Lines of this age are known to develop leaks and clogs overtime. Supply problems may not be detectable until they actually fail. Consider updating these supply lines. Consult with licensed plumber for options and pricing.
- ☑ 51. Noted low pressure/flow at guest bathroom shower. May be due to lack of hot water service at time of inspection. Monitor and repair as needed.

Drains, Wastes, and Vents

- ☑ 52. Waste lines and fittings dry out while a house is vacant and, in some cases, the operational checks during a building inspection do not reveal leaks that show up only after the house is in full use. Such leaks sometimes self heal, but often repairs are necessary. For example, a drain leak may not become apparent in a wall/ceiling surface until several hours after the inspection. Items solidify in inactive waste lines, and require clean out after use. Expect this possibility. Inspection of the below surface sewer components is beyond the scope of this visual inspection. Scanning of the lines is the only way to assure there are no broken or clogged components. We recommend all sewer lines in place 20 years or more be scanned before closing because finding and correcting these problems can be very expensive.
- ✘ 53. Inspection of the below surface sewer components is beyond the scope of this visual inspection. Scanning of the lines is the only way to assure there are no broken or clogged components. We recommend all sewer lines in place 20 years or more be scanned before closing because finding and correcting these problems can be very expensive.
- ✘ 54. There is no "P" trap under master tub to prevent sewer gasses from entering into living space. Plumber to repair/install as needed.
- ✘ 55. Home has a combination of original galvanized cast iron and some new PVC drains and vents. Iron lines of this age are known to develop leaks and clogs overtime. Drain problems may not be detectable until the home is placed back into normal occupancy use
- ✘ 56. The p-trap on waste line is leaking at the master bath sink. I recommend a qualified licensed plumber repair or correct as needed.

Water Heating Equipment

- ☑ 57. No gas service to unit at time of inspection. Unit could not be operated for inspection. Return inspection recommended after service has resumed.
- ✘ 58. The water heater flue is not secured (sheet metal screwed) to the combustible draft hood.
- ✘ 59. T&P valve does not drain to exterior as required, is currently not plumbed. Injury may occur in the event of a high temperature/pressure discharge. Drains are required to discharge directly to exterior, directed downward to within 6-12" of grade. Drain lines must be high temperature rated (copper, CPVC etc).
- ☑ 60. The water heater abuts to an interior wall and there is no emergency leak catch pan installed. Today's standards now require a catch pan that is plumbed to the exterior in locations where tank leaks could cause interior water penetration. For interior installations there are retrofits available, with water leak detectors that shut of the water supply. Consult with a licensed plumber for viable solutions.
- ☑ 61. The combustion air supply is deficient. For interior installation of furnace type appliances, adequate combustion air should be supplied from exterior or attic spaces. Recommend retrofit with solid core appliance door and installing combustion air supply vents to exterior or attic space. Air vents from attic (2) should extend 12" from ceiling and 12" above base of closet floor for proper air circulation and supply.

Gas Distribution Systems and Gas Appliances

Action / Consideration Items

- 62. Gas supply to the furnace(s) is missing a sediment trap, or drip leg as called for by current standards.
- 63. Gas supply to the water heater(s) is missing a sediment trap, or drip leg as called for by current standards (2008).
- 64. Older "grease pack" gas valves are out of code, and are known to leak over time. These should be replaced.

Appliances**Food Waste Disposers**

- 65. The food disposer would not operate or non functional. I recommend repair as needed.

Garage Door Operators

- 66. The garage door openers are in place but are not operational. Recommend trades specialist further evaluate and repair or replace as needed.

Optional Systems**Swimming Pools, Spas, Hot Tubs, and Equipment**

- 67. The pump motor and/or furnace does not have a visible bond/ground wire present as called for by today's standards. All pool electrical equipment should be grounded, bonded to pool structure.
- 68. Conduit is loose at motors or electrical equipment. Make secure to prevent damage to conductors.
- 69. Pool surface is rough, pitted in several areas and will require resurfacing.
- 70. Current safety standards (12/07) require that pool drains be placed at minimum 3ft apart, or on two different planes to prevent a suction hazard (small children). The drains must also have an anti-vortex cover to further prevent injury. This pool did not appear to comply with current standards. More information is available at: <https://www.poolsafely.gov/blog/simple-safety-steps-series-ensure-all-pools-and-spas-have-vgb-compliant-drain-covers-and-teach-your-children-to-stay-away-from-drains/> and https://www.youtube.com/watch?v=CULPxBSa_10
- 71. There was no weir door present at the skimmer entry. These devices prevent debris from floating out of the skimmers and back into the pool.
- 72. The pool equipment is not secured to the cement slab as recommended by manufacturers. Movement of equipment could cause damage to pipe connections, causing leaks.
- 73. There are no depth markers present.
- 74. Rear door and windows that face the pool area do not have an audible alarm system installed as called for by today's child safety standards.
- 75. Noted drain, light and jet nozzle covers are missing at pool. Repair

Legend No Action Items Found Action Item Consideration Item

Structural Systems			
A.	Foundations		<input checked="" type="checkbox"/>
B.	Grading and Drainage		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
C.	Roof Covering Materials		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
D.	Roof Structures and Attics		<input checked="" type="checkbox"/>
E.	Walls (Interior and Exterior)		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
F.	Ceilings and Floors	X	
G.	Doors (Interior and Exterior)		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
H.	Windows	X	<input checked="" type="checkbox"/>
I.	Stairways (Interior and Exterior)	X	
J.	Fireplaces and Chimneys	X	
K.	Porches, Balconies, Decks, and Carports	X	
L.	Other	X	<input checked="" type="checkbox"/>
Electrical Systems			
A.	Service Entrance and Panels		<input checked="" type="checkbox"/>
B.	Branch Circuits, Connected Devices, and Fixtures		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
C.	Other	X	
Heating, Ventilation and Air Conditioning Systems			
A.	Heating Equipment	X	
B.	Cooling Equipment		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
C.	Duct Systems, Chases, and Vents		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
D.	Other	X	
Plumbing System			
A.	Plumbing Supply, Distribution Systems and Fixtures		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>

B.	Drains, Wastes, and Vents		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
C.	Water Heating Equipment		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
D.	Hydro-Massage Therapy Equipment	X	
E.	Gas Distribution Systems and Gas Appliances	X	<input checked="" type="checkbox"/>
F.	Other	X	
Appliances			
A.	Dishwashers	X	
B.	Food Waste Disposers		<input checked="" type="checkbox"/>
C.	Range Hood and Exhaust Systems	X	
D.	Ranges, Cooktops, and Ovens	X	
E.	Microwave Ovens	X	
F.	Mechanical Exhaust Vents and Bathroom Heaters	X	
G.	Garage Door Operators		<input checked="" type="checkbox"/>
H.	Dryer Exhaust Systems	X	
I.	Other	X	
Optional Systems			
A.	Landscape Irrigation (Sprinkler) Systems	X	
B.	Swimming Pools, Spas, Hot Tubs, and Equipment		<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
C.	Outbuildings	X	
D.	Private Water Wells (A coliform analysis is recommended)	X	
E.	Private Sewage Disposal Systems	X	
F.	Other Built-in Appliances	X	
G.	Other	X	

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I. Structural Systems

The foundation inspection is limited. The inspector does not pull up floor coverings, move furniture, measure elevations or propose major repairs. The inspector does not enter crawl space areas less than 18". The client should understand that inspectors are not professional engineers. This inspection is neither an engineering report or evaluation, nor should it be considered one. Our inspection is based on general observation of the foundation, the inspector's personal experience with similar structures, and is performed without the use of specialized tools or procedures. If any cause for concern is noted on this report, or if you want further evaluation, you should consider contracting a structural engineer of your choice.

Expansive clay soils are common in central Texas. The soil can expand in volume (swell) when wet and can decrease in volume (shrink) when dry. This change in volume in the supporting soil can cause a corresponding reaction to a house foundation. Ensuring a consistent moisture level in the soil should help in maintaining stability of the foundation.

A. Foundations

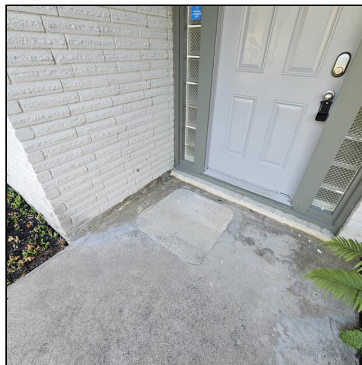
Type of Foundation(s): Slab

Foundation method of inspection: No access, (Limited access), (Areas of Limited/Blocked Access), Visual inspection of interior and exterior

Foundation performance: Previous repairs were observed

Comments:

Previous repairs to the foundation have been disclosed and/or were observed. Refer to the seller for any documentation and possible warranties for further information.



B. Grading and Drainage

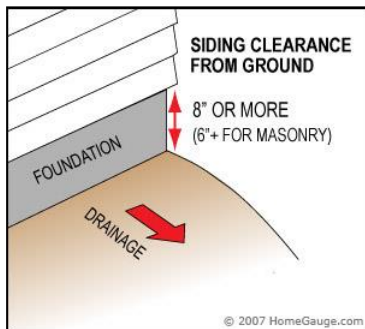
Comments:

It is advisable to maintain at least 6 inches minimum of clear area between the ground and siding. Proper drainage is critical to the performance of the foundation. All grades should drop away from the structure at a rate of 6 inches for every 10 feet.

Often times a property owner will add dirt or landscaping materials against the siding and cover the exposed foundation. Maybe the owner was doing some landscape work, or the original grading was simply poorly done. Whatever the reason current building standards require at least four inches of foundation visible below masonry veneer and six inches of foundation below wood siding. Present condition is considered conducive to possible moisture and insect related issues. The grade should be lowered to appropriate levels at the front, rear and sides of the structure.

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☒ Gutters are recommended where not installed. Water cascading off the roof where gutters are not installed could result in excessive erosion and possibly undermine the foundation.

☒ Maintenance Recommendation: Noted home is equipped with below grade drainage system. Recommend as regular maintenance that drain covers are clear of debris, rocks, overgrown grass to ensure covers are not obstructed from proper drainage. Current condition reveals drains are clogged with debris; clear for proper drainage.



Noted there are areas at parameter of home where grading is pulling away from foundation. This is a sign of area potentially experiencing drought conditions. When soil pulls away exposing a cap the home has a chance of more than normal movement. Recommend having areas affected filled and packed as needed. During drought periods it is recommend foundation areas are properly watered to reduce soil pull-away conditions.

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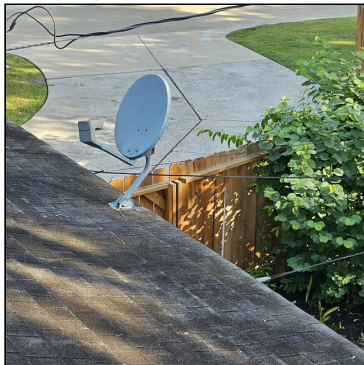
C. Roof Covering Materials

Types of Roof Covering: Dimensional
Approximate Age of Roof: 16-20 Years Old
Roof Viewed From: Walked roof

Comments:

The inspector does not speculate on the remaining life expectancy of the roof covering. Inspection of fastening system at shingle tabs are not inspected as lifting shingles or tiles could damage the covering. Inspection of the roof surface, attic, and interior spaces should not be interpreted as a certification that this roof is or will be free of leaks, or of its insurability.

Mounting a satellite dish directly through the roof deck is not recommended. The preferred installation is on side of wall or eaves. In it's current installation, extra sealant is recommended on the fastening bolts.



Some worn shingles with granular loss/damage in various areas throughout the roof. A roofer should perform a maintenance check on the covering for needed repairs, patching or replacement of worn shingles. Most notably at front left where shingles are damaged down to the sheathing from previous tree damage.



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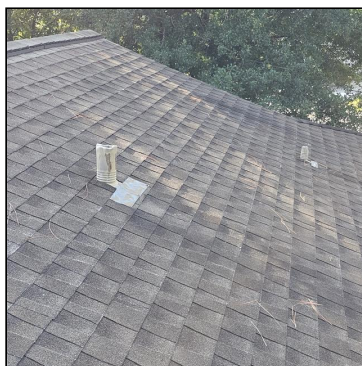
The roof covering is old, and the life of covering has or is near expired. Significant & readily apparent deterioration and/or damage to shingles, tiles, flashing or other roof covering was observed. The covering does need to be replaced. While it could last a year or so, some areas may need patching with tar as leaks develop. Buyer is strongly encouraged to have a properly certified / licensed roofing contractor to physically inspect the roof prior to expiration of any time limitations, such as option or warranty periods, to fully evaluate the condition of the roofing material.



There were vent, counter or step flashings observed to be raised and improperly sealed. A qualified roofer should reseal and seal these roofing components as needed to prevent any future water penetration.



Paint is needed on bare metal flashing, vents or PVC pipes. This will prevent rust and also UV damage to the pipes.



Remove all debris from roof slopes and valleys. Leaf debris may hide possible defects and damage to roofing materials. Debris may also cause water to dam up under shingle tabs.

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The original gas flue vents for the hot water heater and heating system are "dated". (Insufficient height, not screened, inappropriate cap, etc.). Current standards require flue "B" vents to extend minimum 36 inches above roof.



Plumbing vent pipes are improperly flashed (no jack boot, outdated flashing, flanges improperly covered, etc). Proper flashing detail should be installed by a qualified roofer.



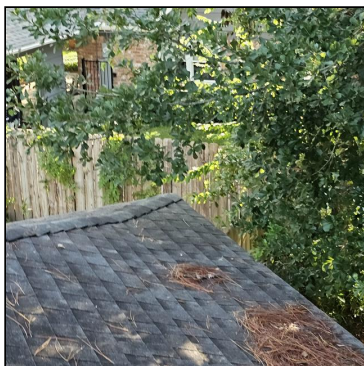
There is evidence of vermin trying to enter roof/attic structure (damaged siding, soffit, eaves etc). Recommend repairing these areas and having pest prevention barriers installed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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Tree limbs that are in contact with roof or hanging near roof should be trimmed back 3-5' to prevent any damage to the roof covering.



D. Roof Structures and Attics

Method used to observe attic: Entered attic and performed a visual inspection, Viewed attic from access hatch, Inaccessible, Limited Access, Limited access (some attic areas were not crawled to avoid insulation compaction), No access

Attic Access Info: Pull Down stairs

Extra Info: Attic access in garage inaccessible. Would not open.

Roof Structure: 2 X 4 Rafters, 2 X 6 Rafters

Roof Ventilation: Ridge vents

Attic Insulation: Vermiculite

Comments:

Only areas of the attic determined accessible by the inspector are inspected.

Roof covering at pool area does not appear to have the proper structural support, notable damage and shifting of support members is evident. Evaluate by structural engineer for needed changes and repair to prevent further damage.

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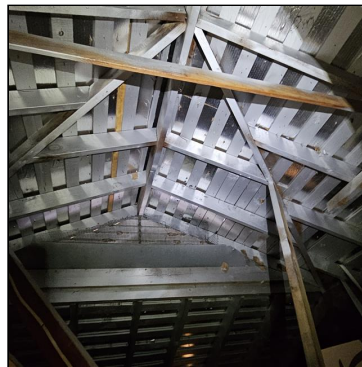
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The attic pull down ladder is not insulated completely, nor does it have weather stripping installed at edge of door that meets ceiling framing. Recommend fully insulating the attic stairway to keep the house more energy efficient. On average the insulation R-value for the entire attic area will drop approx. 27% when the attic stairs/hatch is not fully and properly insulated. The reason for this is that, although the attic stairs/hatch account for only 1% of the total attic area, the rate that heat flows through them by conduction (per square foot) is 38 times higher than in the insulated part of the attic.



Noted attic are of home has spray on radiant barrier applied. This spray can reflect up to 75% of the sun's radiant heat from entering your home through the attic. NASA actually developed the metalized film that was used to protect spacecraft, equipment, and astronauts from thermal radiation or to retain heat in the extreme temperature fluctuations of space.



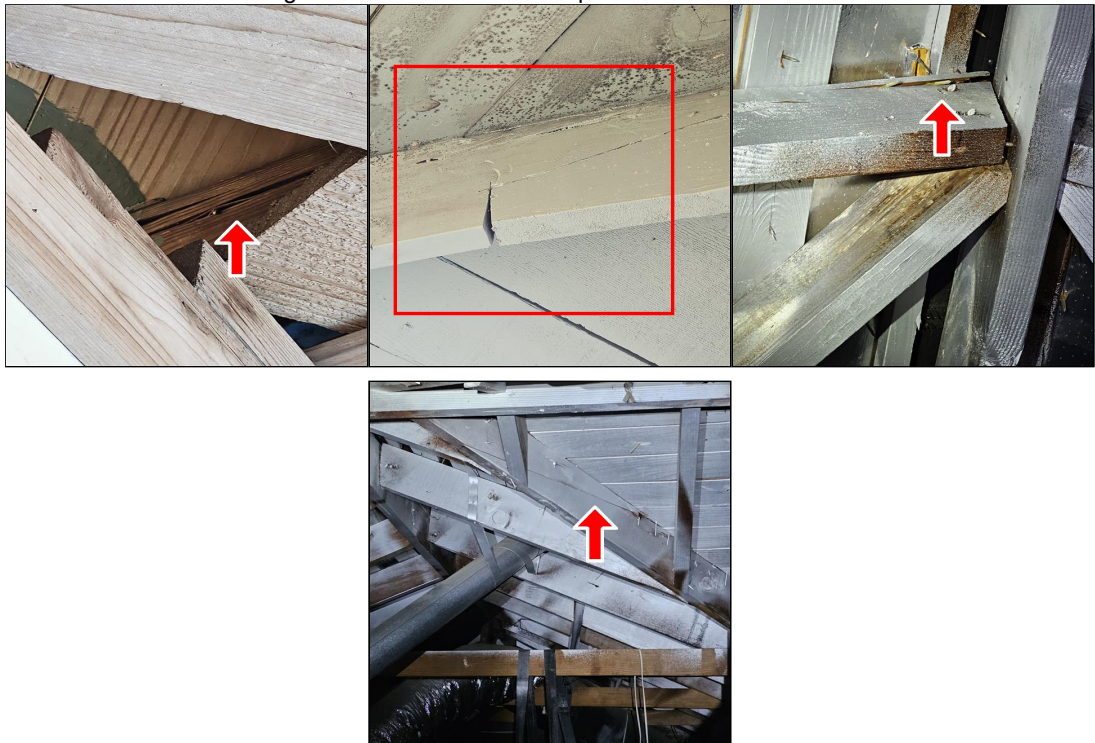
Rafters have separated from the ridge beam in areas. At least one vertical support for purlins has become detached. This is typical with settling on older homes, but should be addressed and repaired within near future.

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Structural members damaged in various locations. Repair as needed.



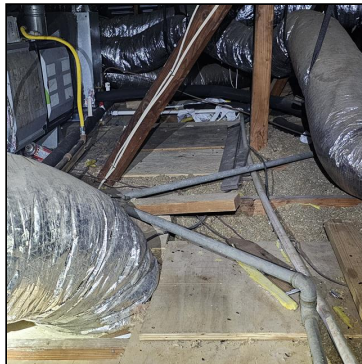
Attic access over garage inaccessible- pull down ladder did not open when operated with normal force.



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There is no walkway access to the appliances installed in the attic. The passageway should have continuous, solid flooring not less than 24 inches wide. There should be a work space that is level and at least 30 inches deep and 30 inches wide in front of the water heater.



E. Walls (Interior and Exterior)

Exterior Wall Covering/Siding: Brick, Wood

Interior Walls: Drywall

Comments:

Only readily accessible areas clear of furniture and occupant belongings are inspected. Observations are related to structural performance and water penetration only. The inspection does not include obvious damage. It is recommended that all surfaces be kept well sealed. If the home has stucco cladding the siding should be monitored for cracks or separation in transitional joints and repaired. A home inspectors visual inspection of stucco clad homes may not reveal the presence of water infiltration and structural deterioration. It is recommended that EIFS stucco clad homes be further evaluated by a qualified EIFS or stucco repair contractor. This inspection does not cover any issues that are considered to be environmental. Such as, but not limited too, lead based paint, asbestos, radon, mold, mildew, fungus, etc.

Noted areas of siding trim and edges that have missing or deteriorated caulking. These areas can be a point of water infiltration if not addressed. Noted no evidence at interior sides of home areas with previous water infiltration at time of inspection. Recommend fully and properly sealing all areas affected.

All exterior siding butt & transitional joints that are separated more than 1/8" should be re-sealed (caulk and paint) to prevent moisture incursion.

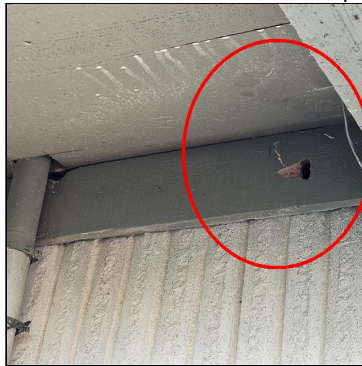


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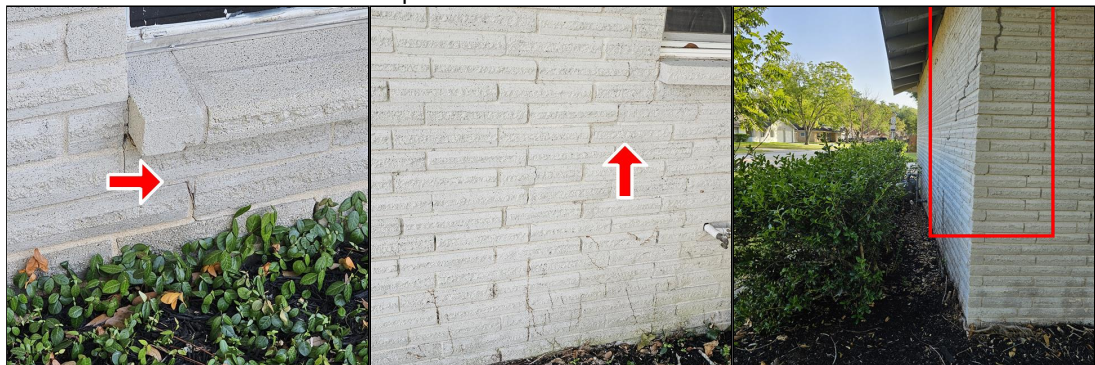
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It is recommended that all protrusions through the exterior siding and fixtures mounted on the exterior be sealed in order to prevent moisture incursion. Using a quality exterior caulk type sealant around pipes, wires, light fixtures etc. can prevent moisture related failure of electrical components and siding materials.



Set cracks in brick, stone and mortar observed in various locations. These cracks should be repaired to prevent moisture intrusion and further expansion.



There are areas of the rear of exterior that have sustained varying levels of water (rot) damage and is in need of repair.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



Control joints require added joint compound to prevent water incursion into wall space.



Seal (paint) all exposed wood surfaces around the exterior of the home to include any bare wood, joints in siding and trim, etc.

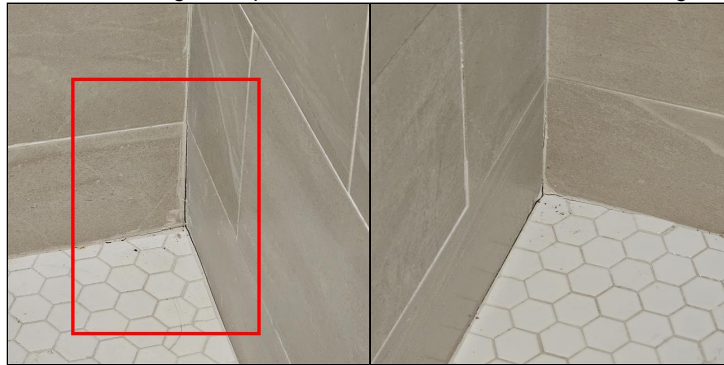
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Top of garage door frame.

Noted that wall seams and/or fixtures in tub/shower area are not well sealed. Recommend all affected areas are sealed with approved sealant to ensure water spray from enclosure does not infiltrate behind walls over time which could cause future damage and possible health concerns with microbial growth.



Cracks on walls and/or caulking separation at baseboards or crown molding in various areas, consistent with structural settling. Repair as needed.

Noted rear wall at pool area does not appear to be properly rated for exterior wall covering with necessary vapor barrier etc.. Repair.



There are areas of the interior walls that have sustained varying levels of water damage and is in need of repair. Most notably at bedroom to right of hall bath under window, wall behind toilet in hallway bath, and master bath next to tub.

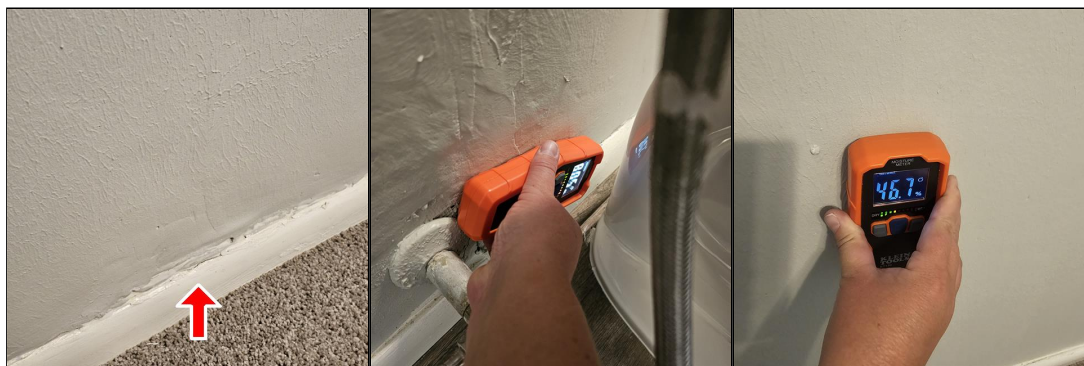
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I NI NP D



Near rear bathroom exterior door.

Master bath tub



☒☐☐☒ F. Ceilings and Floors

Ceiling Structure: Not visible

Comments:

Observation of floors are related to structural performance and water penetration only. The inspection does not include obvious damage to carpets, tiles, wood, laminate or vinyl flooring.

There is evidence of previous repairs on the ceiling in the garage. There was no prior disclosure of this repair, and no evidence of damage in the attic. I recommend you query the owner for the history on this area.



Cracks were observed on the ceiling in various areas of the interior, and appear to be consistent with structural settling. Repair as needed.

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I NI NP D

G. Doors (Interior and Exterior)

Comments:

Cosmetic items and obvious holes are not included in this report. It is common in the course of climate changes that some doors may bind mildly or the latches may need adjustment.

The door(s) and frame are damaged from water intrusion at the rear door. Repair is recommended by a qualified contractor. An entry cover or storm door may be recommended to reduce incidence of water intrusion.

The rear sliding glass door does not operate properly, indicating the hardware requires replacing.



The occupant door leading from the attached garage into the house is not self closing. I recommend installing/adjusting self closing hinges on the door leading from the garage to the living space as a safety feature to prevent exhaust gases (car, appliance) from entering the house.

The rear door opens outward, with the hinges and pins accessible from the exterior. This is a security risk as the hinges can be removed from the exterior, providing easy access to the residence. Correction will entail replacing the hinges with safety devices, or reversing the door action.

The wood garage door jambs were not undercut at a 45 degree angle. Wood to slab joints should be sealed (caulked) to prevent lower jamb water damage.



Noted multiple doors that are not aligned to operate as designed, loose hardware, missing hardware, etc. Recommend repairing as needed.

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H. Windows

Window Type: Aluminum Frame, Vinyl/Fiberglass Frame, Double Pane, Single Pane

Comments:

All accessible windows are operated normally to determine functionality. Windows that are blocked by occupant storage/furnishings are not lifted. Double pane window seals may be broken without having a visible amount of condensation built up between the panes. Obviously fogged windows are noted when observed but complete inspection is not possible due to light conditions, installed screens, dirt on surfaces and rain at time of inspection.

All accessible windows were opened and found to be in operable condition.

Fresh sealant/caulk applications recommended on exterior window frames at walls. This is an ongoing maintenance item that should be performed on a regular basis to prevent the entry and subsequent damage from water/moisture.



I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Operable Fireplaces: None

Comments:

The inspection does not include the adequacy of draft or condition of flue tiles. Fireplaces are only operated if there is an electronic ignition source, with no open flame being applied to the gas source.

Safe practices for fireplace use are as follows:

- The fireplace damper must be fully open before starting a fire, and left open until the fire is completely out.

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- Fireplaces should not be overloaded with fire wood.
- Green or wet wood should never be used.
- Screens should be closed during the fireplace's operation to prevent sparks from flying out into the room.
- Annual chimney inspections and sweeping are recommended.

K. Porches, Balconies, Decks, and Carports

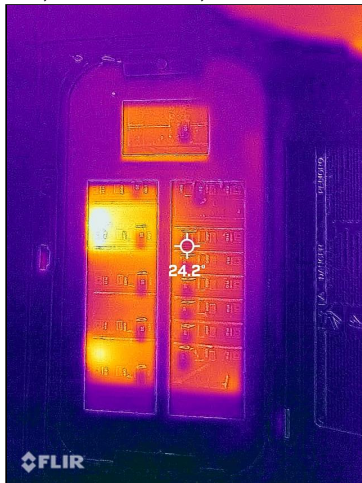
Comments:

The inspector does not determine the existence or adequacy of flashing at the attachment to the house. Monitor the condition of all deck railings and ensure they remain safe and secure. Verification or determination of load carrying capability of the deck is not included with this inspection.

L. Other

Comments:

We have utilized an infrared camera during the course of this inspection. This camera allows the inspector to analyze surface temperature differentials which would not ordinarily be visible to the inspector. Prior to using the camera, the inspector will ensure the HVAC system is operational to increase the temperature differential between the interior and the exterior of the home. The camera can aid in the inspector's identification of moisture intrusion, electrical system defects and other anomalies in the home. This camera does not change the scope of the inspection as defined by the above cited standard of practice nor does it allow the inspector to definitively identify any conditions behind finished surfaces. The camera is a tool, much like an outlet tester or flashlight, that allows the inspector to make better recommendations to the client regarding current conditions in the home. Any number of factors can negatively affect the inspectors ability to identify thermal anomalies including; atmospheric conditions (wind, humidity, cloud cover, etc.), surface moisture and debris. The presence or absence of infrared camera photographs does not indicate the presence or absence of concealed defects. Sample photos added to show examples of areas of concentration during the full home infrared scan (walls/Ceilings, under sinks, around toilets, around windows, other water source areas).



- Recommend general pest control for interior/exterior for current/possible future activity.

II. Electrical Systems

Ancillary wiring items not inspected include but are not limited to: telephone, cable, speaker, computer, photocells, low voltage, hard wiring on smoke detectors, electric gates and doors, yard and tree lighting. Intercom systems are not inspected.

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The inspector does not check 220-volt outlets if they are obstructed by an appliance. Random testing of electrical outlets only; not all outlets are tested. In the event aluminum wiring is reported it should be reviewed by a licensed electrician. We do not report copper clad aluminum wiring unless clearly labeled so at the electrical panel. Only light fixtures that appear to have been improperly installed are tested for proper operation. Burnt bulbs are not reported. Light fixtures with daylight sensors or that are on timers can not be tested for proper operation.

A. Service Entrance and Panels

Electrical Service: Overhead service
Main Breaker: 100 AMP
Sub-Panel Breaker: No Sub-Panel
Panel Type: Circuit breakers
Ground System: Driven Ground Rod
Electric Panel Manufacturer: SQUARE D

Comments:
All breakers should be properly labeled to identify branch circuits controlled



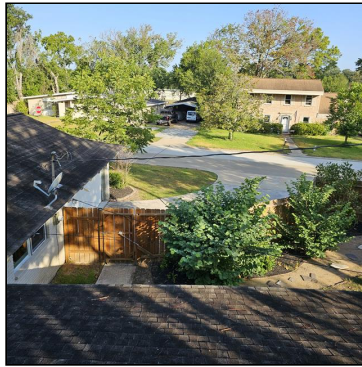
Knockout covers are missing in the main panel. These should be replaced to prevent access to live electrical components, preventing injury. These are easily installed plastic inserts.



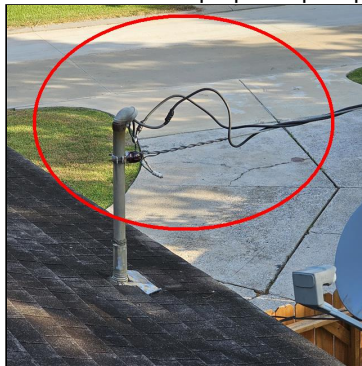
The electrical service conductors clearance (outside) from the ground is less than 10 feet. Line should be raised by a licensed electrician.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

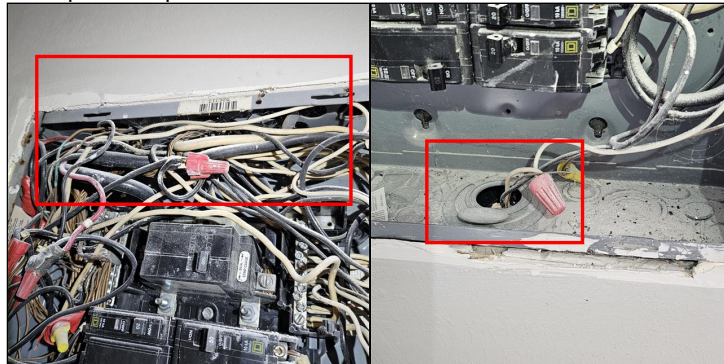
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Main service wires at the weather head do not have proper drip loop.



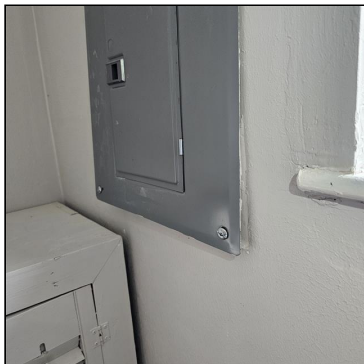
Conductors should enter panels through conduit bushings, and not make contact with panel sheet metal. These are easily installed plastic clip inserts.



Dead front panel not properly aligned or secured. Repair.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: NM (non-metallic sheathed), Metallic sheathed

Type of Branch Circuit Wiring: Copper

Comments:

An exterior outlet(s) with a missing cover was observed. Missing or damaged covers on exterior outlets/ switches render them no longer wet location rated. Repair or replace receptacle cover to maintain wet location rating required by current standards.

Exterior light switches were not wet location/exterior rated as required. Have an electrician replace these with properly rated devices.



There are no bedroom or hallway smoke detectors installed. Today's standards now require smoke detectors in and directly outside of (hallways) all sleeping areas and on each level for multiple story structures. Additionally today's modern detectors are interconnected, so if one sounds they all sound.



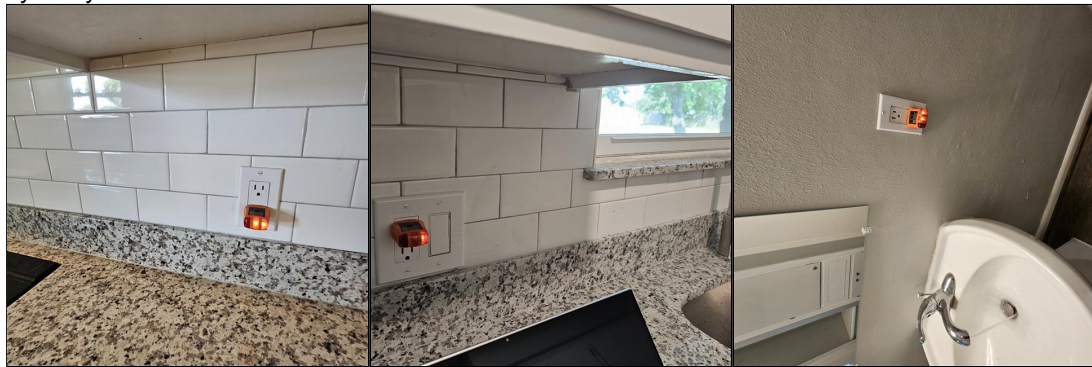
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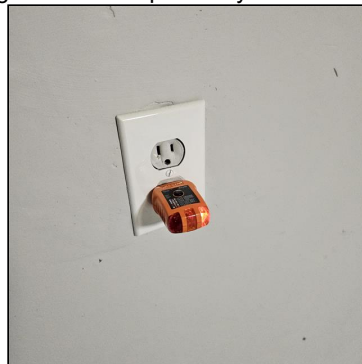
There were exposed connections, open boxes observed in the attic and in the kitchen closet. Secure, enclose in rated enclosures to prevent hazards.



Kitchen counter top and bathroom outlets are not Ground Fault Circuit Interrupt (GFCI) protected as called for by today's standards.



There was a circuit with an open neutral observed in the kitchen (above dishwasher) and in the garage to left of door. The cause should be diagnosed and repaired by a licensed electrician.

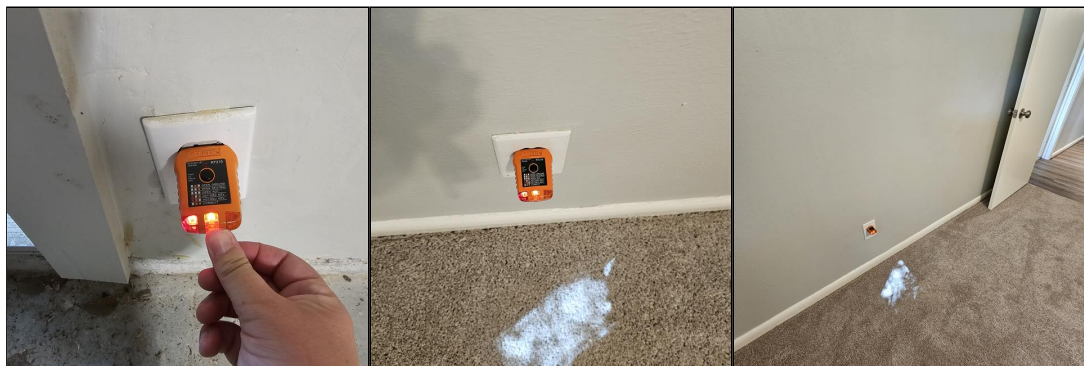


Dishwasher does not have an electrical service disconnect means located within site of the unit as now called for by today's standards. Note: Dishwasher are allowed to be corded and plugged in behind the unit. Inspection not possible without removal and is beyond the scope of this inspection.

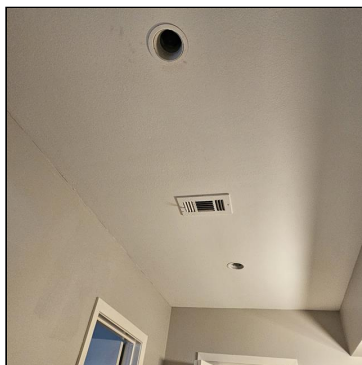
There was a circuit with reversed polarity (hot/neutral reversed) observed in the garage (near ground next to door to house) and in rear corner guest bedroom to right of hall bath. (outlet on wall to right of door). The cause should be diagnosed and repaired by a licensed electrician.

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Some lights were not functioning. These are usually just a case of burned out bulbs. Recommend replacing bulbs before closing as needed. If fixtures are still not functioning, then a licensed electrician should diagnose for deficiencies.



C. Other
 Comments:

III. Heating, Ventilation and Air Conditioning Systems

Our inspection of the heating and cooling system included a visual examination of the system's major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for appropriate temperature response. Our inspection does not include disassembly of the furnace; therefore heat exchangers are not included in the scope of this inspection. Heat pump systems are not tested in heat mode when ambient temperatures are above 80 degrees Fahrenheit, or in cooling mode when below 60 degrees to avoid damage to system.

The inspector does not determine the adequacy (tonnage/manual load calculation) or efficiency of the system. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected. Window air conditioning and possible mismatched central units are not checked. An accurate central air conditioning cooling differential test is not possible when the ambient temperature is below 55 degrees Fahrenheit.

Semi-annual scheduled maintenance of a home's HVAC system is an important part of the overall care of your home, and is required by most home warranty companies in order for repairs to be covered under a home warranty program. Some defects may be found during this service that are not evident in the scope of our home inspection. We recommend that you have the home seller provide you with a record that the HVAC system has been serviced in the past six months. If the system has not been serviced, it should be done during the inspection period. To prevent blockages in the condensation drain line, pour 1-2 cups of vinegar into the condensate drain

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

every 3-4 weeks during the hot months when the A/C is in use to reduce bio-growth in the drain lines and prevent blockages.

A. Heating Equipment

Type of Systems: Forced Air
Energy Sources: Gas
Number of Heat Systems (excluding wood): One
Furnace/Air Handler Age: UNKOWN
Heat System Manufacturer: UNKNOWN
Filter Location: Ceiling, Wall

Comments:

The unit(s) functioned at the time of inspection. Proper heating operation is determined by at minimum of 100 degrees being supplied from all home supply grills.



B. Cooling Equipment

Type of Systems: Central air conditioner unit
Coolant Type: R-407C
A/C Age: 2019
Temperature Differential: 17 Degrees
Number of Cooling Systems: One
Central Air Manufacturer: GUARDIAN

Comments:

It is recommended prior to closing that a licensed HVAC technician perform a full service tune-up on HVAC system to ensure system is in peak performance state. Thereafter it is recommended homeowners perform a bi-annual inspection on system to ensure you get the most life out of system and protect this major system of the home.



To prevent blockages in the condensation drain line, pour mixture of 1c. warm water and 2 capfuls of bleach

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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into condensate drain every 8 weeks during the hot months when the A/C is in use to prevent bio-growth in drain lines and prevent blockages.



The secondary condensate drain lines are producing water, indicating the primary drains are obstructed. A licensed HVAC technician should clean and repair the lines as needed.



The exterior condenser coil is soiled with debris buildup. I recommend the unit to be cleaned by a licensed HVAC technician.



The A/C condenser(s) should be elevated 4" above grade to avoid lower cabinet (rust) damage.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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The main unit(s) functioned at the time of inspection. Target temperature drops between 15-22 degrees were obtained. Thermal imaging of the condenser coil did show possible evidence of constricted coolant lines at time of inspection.



☒☐☐☒ C. Duct Systems, Chases, and Vents

Ductwork: Insulated Flex Duct

Filter Type: Disposable

Filter Size: Adequate

Comments:

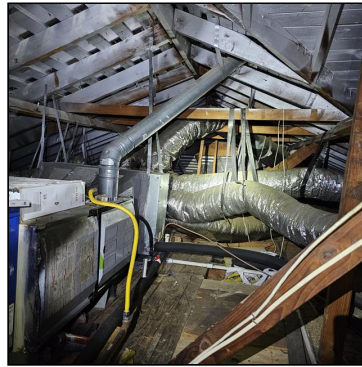
Inspecting the interior condition of the HVAC supply and return ducts would require vent removal and/or dismantling the equipment plenums and is beyond the scope of this inspection.

In general, there should be a supply and return duct for each bedroom and each common living area. Duct runs should be as short and straight as possible. The correct-size duct is necessary to minimize pressure drops in the system and thus improve performance. Insulate ducts located in unheated spaces, and seal all joints with duct mastic. Despite its name, never use ordinary duct tape on ducts.

Ducts and ventilation system appeared serviceable. Note: we are only able to evaluate visible and accessible ducts.

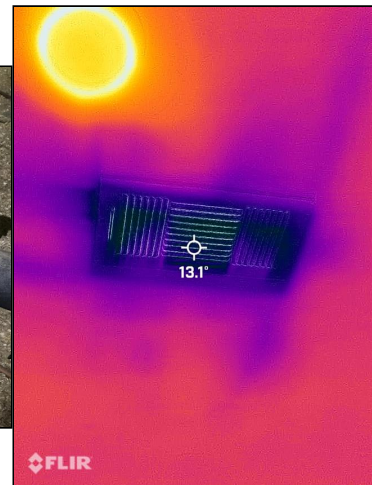
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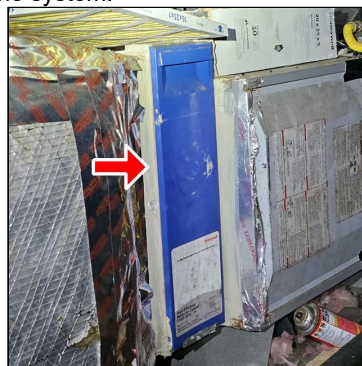


The temperature differentials were off by 5 or more degrees when measured at random vents. This may be corrected by balancing ducts and will provide a more even temperature distribution throughout the house.

Duct seals are deficient or not present in various areas. Recommend repair by HVAC technician as needed.



Note your home is equipped with 4 inch high efficiency box filters located in attic at furnace. Recommend checking for cleanliness to replace at least every 3 to 6 months. Due to your system design air filters are not intended to be placed in return grills even though the return grills are designed to hold a 1 inch filter. Doubling filter media at the return grill and with current 4 inch filter in the attic could starve the system of required air flow needed and affect operation of the system.



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Recommend cleaning return air chase of debris.



D. Other
Comments:

IV. Plumbing System

The inspection does not include condition of gas or plumbing lines concealed in walls, floors, attic, ground or foundation. Water wells, water-conditioning systems, solar water heating systems, freestanding appliances, and the potability of any water supply are excluded from inspection, unless otherwise noted. Clothes washing machine and icemaker hose bibs are not tested.

A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: Front

Location of main water supply valve: Front

Static water pressure reading: 65 PSI

Meter activity: Meter was monitored for 2-3 minutes

Water Source: Public

Plumbing Water Supply (into home): Galvanized

Plumbing Water Distribution (inside home): Galvanized, CPVC

Type of gas distribution piping material: Black Steel, CSST/Flex, Galvanized

Comments:

House was vacant. Water was run for minimum 5-6 minutes to try and have leaks present themselves. Not all leaks may be detected until house is under normal usage.

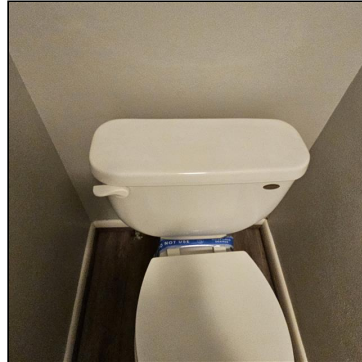
Fixtures functional. Flow/Volume acceptable. The toilets flushed properly. Water pressure into home from city 65 PSI. Recommended satisfactory range 40 PSI – 80 PSI. Meter tested with no leaks or bypass concerns noted.



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Toilet tank was loose on bowl in the master bath. Tanks should be secured, and not have movement on bowl assembly to prevent damage to seals and/or leaks.

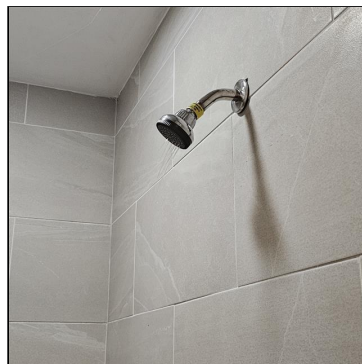


The bathtub fill spouts and/or controls need to be reseated and sealed (caulked) to prevent moisture seepage into tub surround.



Home has original galvanized supply lines. Lines of this age are known to develop leaks and clogs overtime. Supply problems may not be detectable until they actually fail. Consider updating these supply lines. Consult with licensed plumber for options and pricing.

Noted low pressure/flow at guest bathroom shower. May be due to lack of hot water service at time of inspection. Monitor and repair as needed.



B. Drains, Wastes, and Vents

Location of drain cleanout: Front, Right side (facing front)

Plumbing Waste: PVC, Cast iron, Galvanized

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Washer Drain Size: 2" Diameter

Comments:

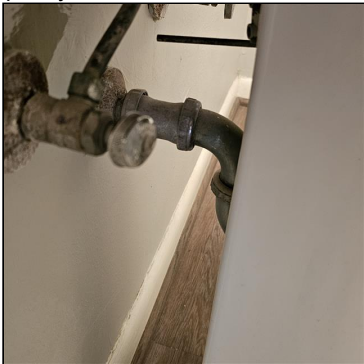
☒ Waste lines and fittings dry out while a house is vacant and, in some cases, the operational checks during a building inspection do not reveal leaks that show up only after the house is in full use. Such leaks sometimes self heal, but often repairs are necessary. For example, a drain leak may not become apparent in a wall/ceiling surface until several hours after the inspection. Items solidify in inactive waste lines, and require clean out after use. Expect this possibility. Inspection of the below surface sewer components is beyond the scope of this visual inspection. Scanning of the lines is the only way to assure there are no broken or clogged components. We recommend all sewer lines in place 20 years or more be scanned before closing because finding and correcting these problems can be very expensive.

☒ Inspection of the below surface sewer components is beyond the scope of this visual inspection. Scanning of the lines is the only way to assure there are no broken or clogged components. We recommend all sewer lines in place 20 years or more be scanned before closing because finding and correcting these problems can be very expensive.

☒ There is no "P" trap under master tub to prevent sewer gasses from entering into living space. Plumber to repair/install as needed.



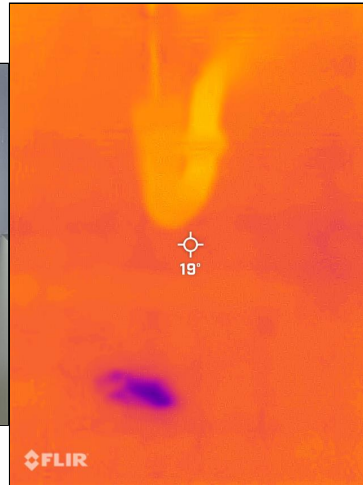
☒ Home has a combination of original galvanized cast iron and some new PVC drains and vents. Iron lines of this age are known to develop leaks and clogs overtime. Drain problems may not be detectable until the home is placed back into normal occupancy use



☒ The p-trap on waste line is leaking at the master bath sink. I recommend a qualified licensed plumber repair or correct as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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Have all missing/non-functional drain stops repaired/replaced.



☒☒☐☒ C. Water Heating Equipment

Water Heater Age: 2019

Capacity: 50 Gallon

Energy Sources: Gas

Water Heater Location: Utility Room

Temperature/Pressure Relief Termination Location:

Extra Info: Not plumbed

Comments:

Water recirculation pumps and electric timers are not tested as they are not part of a standard home system.

T&P valves on older units are not tested due to high occurrence of leaks.

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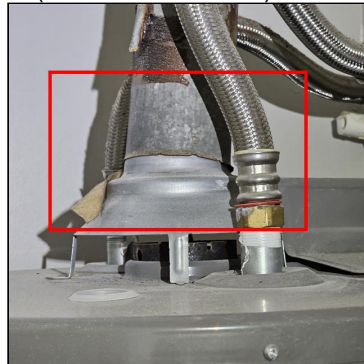
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No gas service to unit at time of inspection. Unit could not be operated for inspection. Return inspection recommended after service has resumed.



The water heater flue is not secured (sheet metal screwed) to the combustible draft hood.



T&P valve does not drain to exterior as required, is currently not plumbed. Injury may occur in the event of a high temperature/pressure discharge. Drains are required to discharge directly to exterior, directed downward to within 6-12" of grade. Drain lines must be high temperature rated (copper, CPVC etc).

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The water heater abuts to an interior wall and there is no emergency leak catch pan installed. Today's standards now require a catch pan that is plumbed to the exterior in locations where tank leaks could cause interior water penetration. For interior installations there are retrofits available, with water leak detectors that shut of the water supply. Consult with a licensed plumber for viable solutions.



The combustion air supply is deficient. For interior installation of furnace type appliances, adequate combustion air should be supplied from exterior or attic spaces. Recommend retrofit with solid core appliance door and installing combustion air supply vents to exterior or attic space. Air vents from attic (2) should extend 12" from ceiling and 12" above base of closet floor for proper air circulation and supply.

D. Hydro-Massage Therapy Equipment

Comments:
In-Line water heaters are not tested.

E. Gas Distribution Systems and Gas Appliances

Comments:
 Gas supply to the furnace(s) is missing a sediment trap, or drip leg as called for by current standards.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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Gas supply to the water heater(s) is missing a sediment trap, or drip leg as called for by current standards (2008).



Older "grease pack" gas valves are out of code, and are known to leak over time. These should be replaced.



F. Other
Location of Gas Meter and Main Shut-Off: Left Side
 Comments:

V. Appliances

We tested basic, major built-in appliances using normal operating controls. Accuracy and/or function of clocks, timers, temperature controls and self cleaning functions on ovens is beyond the scope of our testing procedure. Refrigerators or other appliances were not tested or inspected unless specifically noted. The inspector is not

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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required to determine recalls, product lawsuits, manufacturer or regulatory requirements. To search for recalls, one may visit www.recalls.gov as a resource for federal recalls.

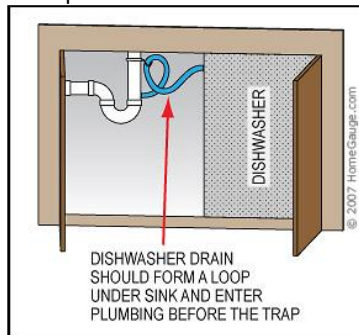
A. Dishwashers

Comments:

The appliance was functional when tested in short/normal cycle. The spray bars activated, as well as the detergent dispenser.



Dishwasher drain line does not have a sanitary anti-siphon line loop installed properly as called for by today's standards. An anti-siphon device prevents the wastewater from the dishwasher from being siphoned back into the dishwasher and contaminating its contents. A drain loop should be attached to highest possible point in the cabinet, or above the sink water line to prevent drain back from the sink and disposal.



B. Food Waste Disposers

Comments:

The food disposer would not operate or non functional. I recommend repair as needed.



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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C. Range Hood and Exhaust Systems
Exhaust/Range hood: RE-CIRCULATE

Comments:
The vent fan is functional, but does not ventilate directly to exterior.



D. Ranges, Cooktops, and Ovens

Comments:
The inspector does not test self-cleaning, self-bake or broiler functions on ovens.

Breaker was off to the unit at time of inspection. Inspectors do not reset breakers. Unable to test unit for functionality.



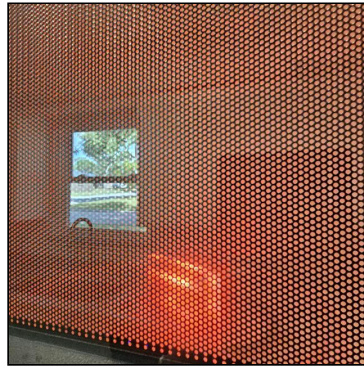
E. Microwave Ovens

Comments:
Tests for leaks of microwaves from the appliance door or housing is not included in this inspection. When we tested the appliance, it was to simply determine if it will heat water/moisture placed into the unit. We cannot determine if the various cycles of the device function as designed. Because of the potential for microwave leakage, client is advised to have the appliance periodically tested and serviced by a qualified appliance service technician.

Appliance was functional at time of inspection.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Ventilation systems should be present in all bathrooms. This includes bathrooms with windows, since windows will not be opened during the winter in cold climates.

The fans were functional, and vented to the exterior as required.

Ventilation systems should be present in all bathrooms. This includes bathrooms with windows, since windows will not be opened during the winter in cold climates.

At time of inspection hallway exhaust fan was not operational. Recommend having exhaust fan replaced.



G. Garage Door Operators

Comments:

The garage door openers are in place but are not operational. Recommend trades specialist further evaluate and repair or replace as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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H. **Dryer Exhaust Systems**

Comments:

Dryer vents should be cleaned every 6 months to prevent lint buildup, improve efficiency and to reduce possible fire hazards.

I. **Other**

Comments:

Outdoor cooking equipment/grills are not included in this inspection.

VI. Optional Systems

A. **Landscape Irrigation (Sprinkler) Systems**

Comments:

If the sprinkler system is inspected as part of this inspection, it is tested in manual mode only. Unless obvious, underground water leaks are not inspected for.

B. **Swimming Pools, Spas, Hot Tubs, and Equipment**

Comments:

If the swimming pool is inspected as part of this inspection only components readily accessible are inspected. Timers, freeze guards, automatic chlorinators or ozonator's if present are not inspected. Underground leaks or seepage (unless obvious) can not be detected.

The pump motor and/or furnace does not have a visible bond/ground wire present as called for by today's standards. All pool electrical equipment should be grounded, bonded to pool structure.

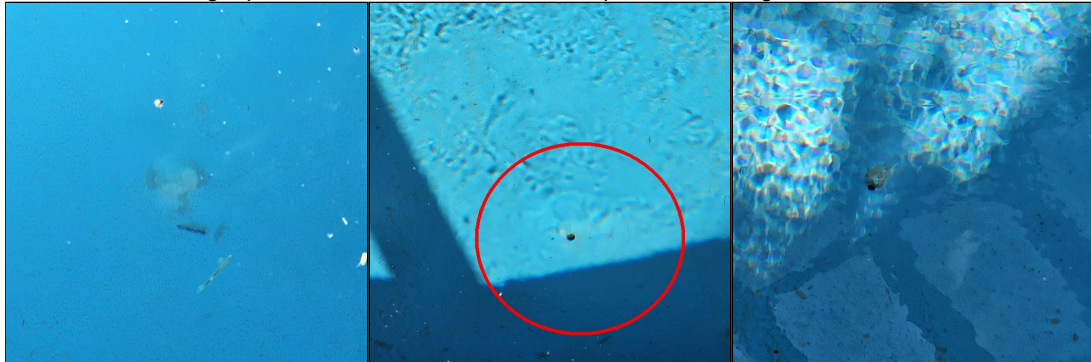
Conduit is loose at motors or electrical equipment. Make secure to prevent damage to conductors.



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Pool surface is rough, pitted in several areas and will require resurfacing.



Current safety standards (12/07) require that pool drains be placed at minimum 3ft apart, or on two different planes to prevent a suction hazard (small children). The drains must also have an anti-vortex cover to further prevent injury. This pool did not appear to comply with current standards. More information is available at: <https://www.poolsafely.gov/blog/simple-safety-steps-series-ensure-all-pools-and-spas-have-vgb-compliant-drain-covers-and-teach-your-children-to-stay-away-from-drains/>

and https://www.youtube.com/watch?v=CULPxBSa_10

There was no weir door present at the skimmer entry. These devices prevent debris from floating out of the skimmers and back into the pool.



The pool equipment is not secured to the cement slab as recommended by manufacturers. Movement of equipment could cause damage to pipe connections, causing leaks.



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There are no depth markers present.

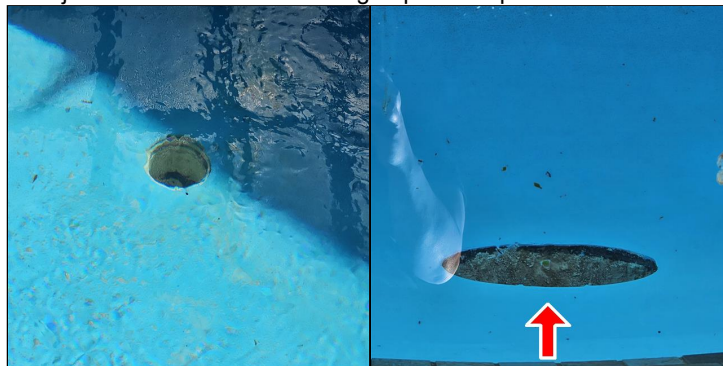


Rear door and windows that face the pool area do not have an audible alarm system installed as called for by today's child safety standards.

Noted some cracking, movement or missing or aged sealant around areas of walking deck. Recommend having area repaired and sealed as needed to properly protect.



Noted drain, light and jet nozzle covers are missing at pool. Repair



c. Outbuildings
Comments:

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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D. Private Water Wells (A coliform analysis is recommended)

Comments:

E. Private Sewage Disposal Systems

Comments:

Inspections, when performed, are limited scope only. Complete inspection of the underground tank system would require excavation and is beyond the scope of this inspection. Only accessible areas are visually observed.

F. Other Built-in Appliances

Comments:

G. Other

Comments:

TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Rule §7.176 Requires this department prescribed form to be used for real estate transactions in Texas regarding the visible presence or absence of wood destroying insects and conditions conducive to infestations of wood destroying insects.

909 Riverside Ct

Inspected Address

Friendwood

City

77546

Zip Code

SCOPE OF INSPECTION

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). **Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.**
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. **The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment; has rendered the pest(s) inactive.**
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.**
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). The warranty should specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Service of the Texas Department of Agriculture.

909 Riverside Ct

Friendwood

77546

Inspected Address

City

Zip Code

1A. Knightly Solutions 1B. 796739
Name of Inspection Company SPCS Business License Number

1C. PO BOX 1405 Sealy Texas 77474 832-468-4541
Address of Inspection Company City State Zip Telephone No.

1D. Katherine O'Sullivan Cupitt 1.E Certified Applicator
Name of Inspector (Please Print) Technician (check one)

1F. 07/30/2023
Inspection Date

2. Name of Person Purchasing Inspection
Seller Agent Buyer Management Co. Other

3. Unknown
Owner/Seller

4.REPORT FORWARDED TO: Title Company or Mortgagee Purchaser of Service Seller Agent Buyer
(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Department of Agriculture Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

5A. Residential - 1 Story Only

List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection)

5B. Type of Construction:

Foundation: Slab Pier & Beam Pier Type Basement Other:
Siding: Wood Fiber Cement Board Brick Stone Stucco Other:
Roof: Composition Wood Shingle Metal Tile Other:

6A. This company has treated or is treating the structure for the following wood destroying insects:
If treating for subterranean termites, the treatment was: Partial Spot Bait Other
If treating for drywood termites or related insects, the treatment was: Full Limited

6B. Date of Treatment by Inspecting Company Common Name of Insect Name of Pesticide, Bait or Other Method

This company has a contract or warranty in effect for control of the following wood destroying insects:

Yes No List Insects:
If "Yes", copy(ies) of warranty and treatment diagram must be attached.

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the purchase or sale of this property. I do further state that neither I nor the company for which I am acting is associated in any way with any party to this real estate transaction.

Signatures: Katie O'Sullivan Cupitt # 873117
7A. Inspector (Technician or Certified Applicator Name and License Number)

Others Present:

7B. Apprentices, Technicians, or Certified Applicators Name(s) and Registration/License Number(s)

Notice of Inspection Was Posted At or Near:

8A. Electric Breaker Box Water Heater Closet Beneath the Kitchen Sink
8B. Date Posted: 07/30/2023

9A. Were any areas of the property obstructed or inaccessible? Yes No
(Refer to Part B & C, Scope of Inspection) If "Yes" specify in 9B.

9B. The obstructed or inaccessible areas include but are not limited to the following:

Attic Insulated area of attic Plumbing Areas Planter box abutting structure
Deck Sub Floors Slab Joints Crawl Space
Soil Grade Too High Heavy Foliage Eaves Weepholes
Other Specify: Corner Crack(s)

10A. Conditions conducive to wood destroying insect infestation: Yes No
(Refer to Part J, Scope of Inspection) If "Yes" specify in 10B.

10B. Conducive Conditions include but are not limited to:

Debris under or around structure (K) Wood to Ground Contact (G) Formboards left in place (I) Excessive Moisture (J)
Planter box abutting structure (O) Footing too low or soil line too high (L) Wood Rot (M) Heavy Foliage (N)
Insufficient ventilation (T) Wood Pile in Contact with Structure (Q) Wooden Fence in Contact with the Structure (R)
Other (C) Specify: N/A

909 Riverside Ct

Friendwood

77546

Inspected Address

City

Zip Code

- 11. Inspection Reveals Visible Evidence in or on the structure:
- 11A. Subterranean Termites
- 11B. Drywood Termites
- 11C. Formosan Termites
- 11D. Carpenter Ants
- 11E. Other Wood Destroying Insects

Active Infestation

Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>

Previous Infestation

Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>

Previous Treatment

Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>

Specify: N/A

11F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified:

N/A

11G. Visible evidence of: N/A has been observed in the following areas: N/A

If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed in the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

12A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment as identified in Section 11. (Refer to Part G, H, and I, Scope of Inspection)

Yes No

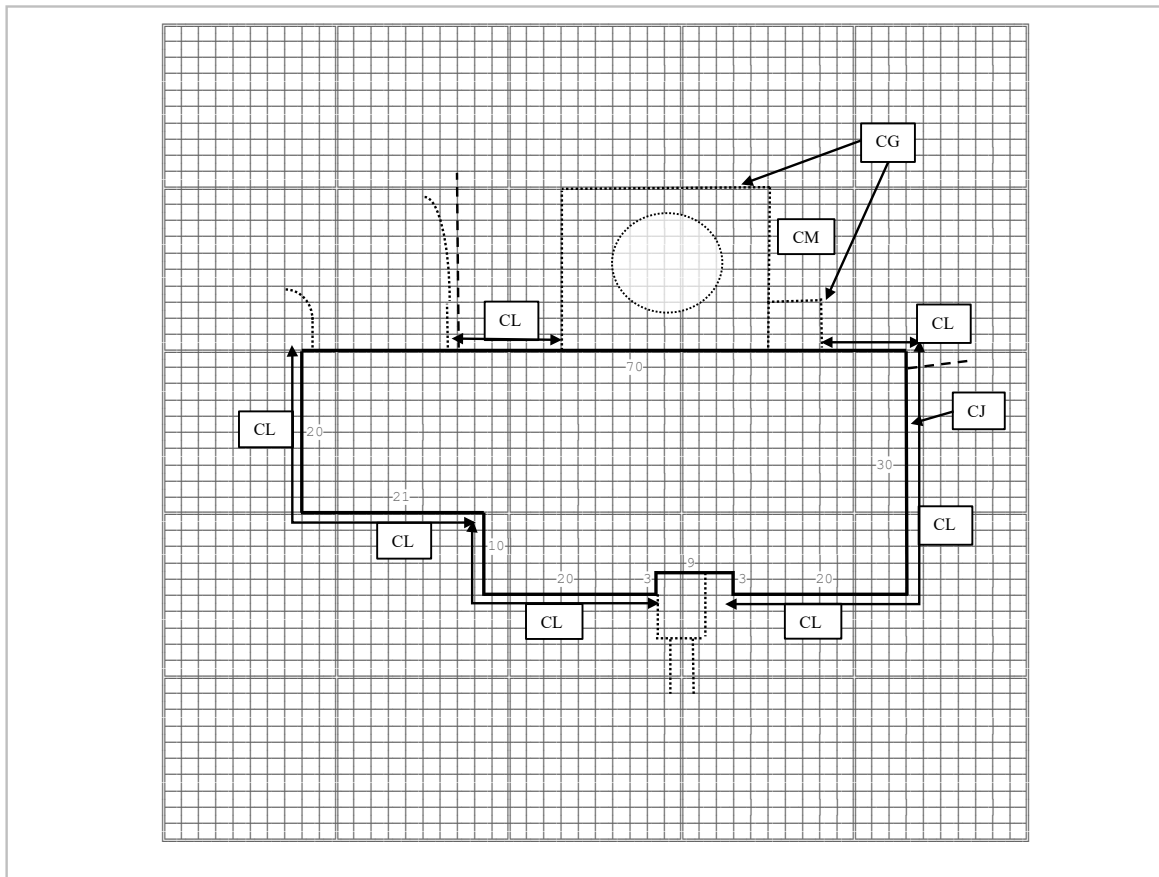
12B. A preventive treatment and/or correction of conducive conditions as identified in 10A & 10B is recommended as follows: Yes No

Specify reason: (J) Excessive Moisture (L) Low footing (M) Wood Rot (G) Wood to Ground

Refer to Scope of Inspection Part J

Diagram of Structure(s) Inspected

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E- Evidence of Infestation, A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conducive Conditions; B-Wood Boring Beetles; H-Carpenter Ants; Other(s) - Specify N/A



Additional Comments Any Questions or Need a Free Treatment Quote --- Email us at KnightlySolutions@gmail.com or call 832-468-4541

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Statement of Purchaser

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: _____

Signature of Purchaser of Property or their Designee _____

Date _____

Customer or Designee Not Present

Buyer's Initials _____

