

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT  
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: 9/28/22

GF No. \_\_\_\_\_

Name of Affiant(s): Chad Alvey Henderson, Jacqueline Alvey Henderson

Address of Affiant: 2508 Lexington Ct, League City, TX 77573-6309

Description of Property: BRITTANY LAKES SEC 7 (2003) ABST 3 & 9, BLOCK 1, LOT 23, ACRES 0.161

County GALVESTON, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners."):

\_\_\_\_\_

2. We are familiar with the property and the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.

4. To the best of our actual knowledge and belief, since \_\_\_\_\_ there have been no:  
a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;  
b. changes in the location of boundary fences or boundary walls;  
c. construction projects on immediately adjoining property(ies) which encroach on the Property;  
d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below): None

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

[Signature]  
Chad Alvey Henderson

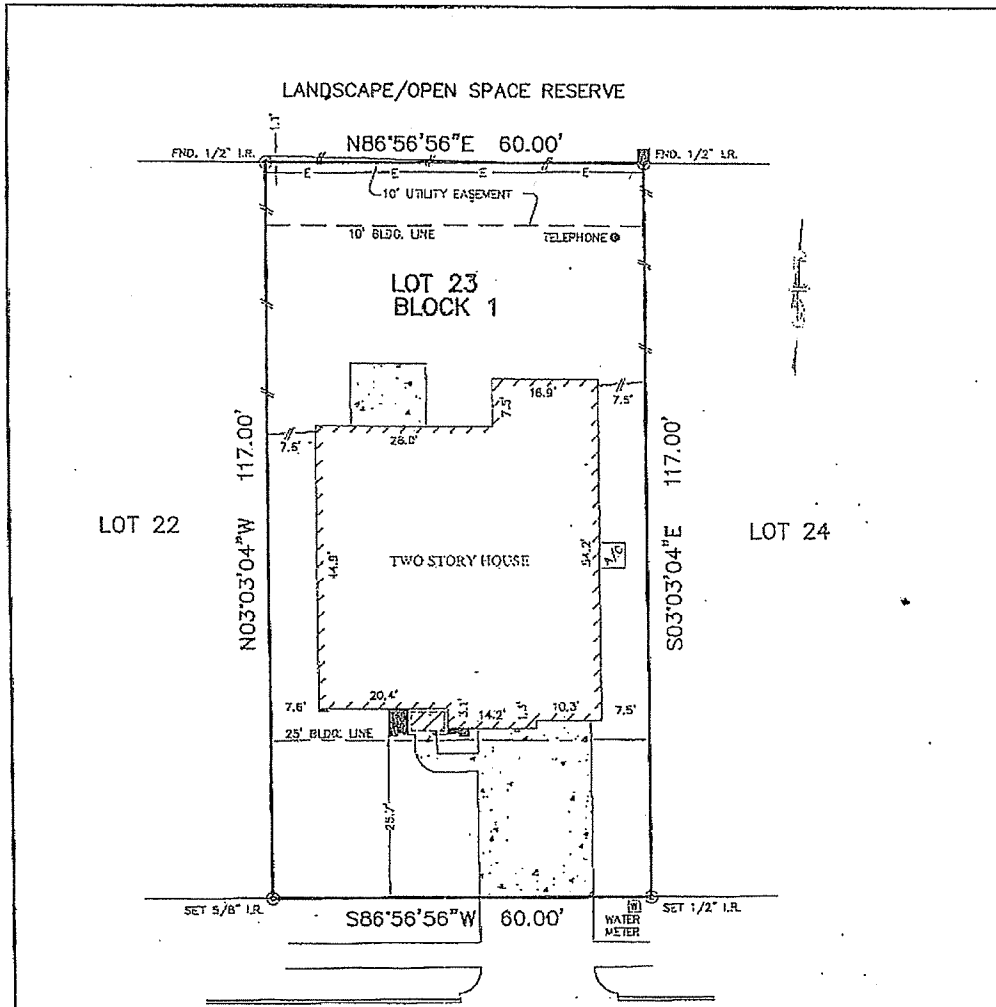
[Signature]  
Jacqueline Alvey Henderson



SWORN AND SUBSCRIBED this 28th day of September, 22

[Signature]  
Notary Public  
Kaitlin Williams

(TXR-1907) 02-01-2010



LEXINGTON COURT (60' R.O.W.)

NOTES:

1. THIS SURVEY WAS PREPARED BASED ON A TITLE REPORT ISSUED BY NORTH AMERICAN TITLE INSURANCE CORP. UNDER G.F. No. TX046230849. EFFECTIVE DATE: NOVEMBER 01, 2004.
2. ALL BEARINGS SHOWN HEREON ARE BASED ON THE RECORDED PLAT.
3. SUBJECT TO RESTRICTIVE COVENANTS AS SET FORTH IN VOL. 18, PG. 1399, C.C.M.D. AND UNDER G.C.C.F. Nos. 9710497, 9748543, 9740228, 9907100, 2003041741, 2002324289 & 2003034837.

PLAT OF SURVEY  
SCALE: 1" = 20'

FLOOD MAP:  
THIS PROPERTY LIES IN ZONE "X"  
AS DEPICTED ON COMMUNITY PANEL  
No. 485438 0030 E, DATED: 09-23-99

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FOR: MIANYOULI  
ADDRESS: 2818 LEXINGTON  
COURT  
ALLPOINTS JOB No. 110376CS  
G.F. No. TX046330949

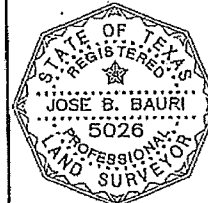


ALLPOINTS  
SERVICES CORP  
PHONE: 713-468-7707  
FAX: 713-817-1861

BEING LOT 23, BLOCK 1,  
BRITTANY LAKES, SECTION 7,  
VOL. 18, PG. 1399, MAP RECORDS,  
GALVESTON COUNTY, TEXAS.

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS THE  
RESULTS OF A SURVEY MADE ON THE GROUND, ON THE 9th  
DAY OF JULY, 2004.

*Jose B. Bauri*



ALLPOINTS SERVICES CORP. COMMERCIAL/BUILDER DIVISION 9610 LONGPOINT ROAD, SUITE 160-HOUSTON, TEXAS 77055

*Handwritten signature: Jose B. Bauri*