



**NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

*In Attendance:* Buyer, Owner, Buyer Agent  
*Occupancy:* Furnished, Occupied  
*Temperature (approximate):* 85 Fahrenheit (F)  
*Type of Building:* Single Family  
*Weather Conditions:* Clear

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I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I   NI   NP   D

### I. STRUCTURAL SYSTEMS

**A. Foundations**

Type of Foundation(s): Slab on Grade

Comments:



Repaired  
11/3/22

Crack in the foundation discovered on the right side of the home.

**Limitations for Structure:**

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Enter under floor crawl spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons. All directional cues in this report are from the street facing the front of the home, unless a point of reference is used in the report image. All beginning sentences with "Note:" are not necessarily a deficiency, but a point of interest for the buyer to be aware of. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**1: Good Cracked Slab**

Recommendation

Although cracks were noted in the foundation of the home at the time of the inspection, there were no other indications that the foundation was failing. The foundation appears to be functioning as intended. It's recommended that home's foundation be watered during times of drought and that the cracks be monitored annually. If the cracks begin to separate, then a structural engineer should be contacted for further inspection.

Recommendation: Recommend monitoring.

**2: Corner Cracks**

Maintenance Item

Corner cracks in foundations are not a structural issue. However corner cracks are an excellent entry point for wood destroying insects. It's recommended that the cracks be sealed.

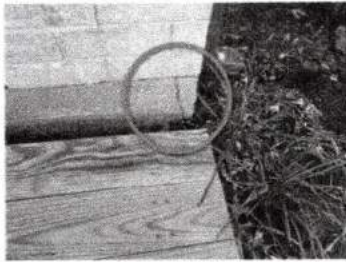
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Front Left Corner Of The Foundation.

Repaired  
11/3/22

**B. Grading and Drainage**

*Comments:*

Note: Aerial view of the property.



Note: Aerial view of the property.

**Grading:**

The Home Inspector shall observe structural components including will inspect the grading of the property directly around the home. Limitations to this inspection may include but are not limited to over grown lawn, locked access, kept animals etc. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons. All directional cues in this report are from the street facing the front of the home, unless a point of reference is used in the report image. All beginning sentences with "Note:" are not necessarily a deficiency, but a point of interest for the buyer to be aware of. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**1: Negative Grading**

⊖ Recommendation

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

Here is a helpful article discussing negative grading.

Recommendation: Contact a qualified landscaping contractor



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Right side of the home.

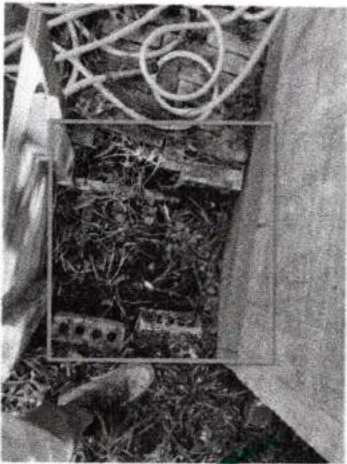
**2: Hole Near foundation discovered**

☉ Recommendation

Standing water observed, which could indicate poor drainage and/or grading. Recommend monitor and/or have landscaper correct.

Here is a resource on dealing with standing water in your yard.

Recommendation: Contact a qualified landscaping contractor



Left side of the home.

Cleared  
11/3/22

**3: Missing Splash Blocks**

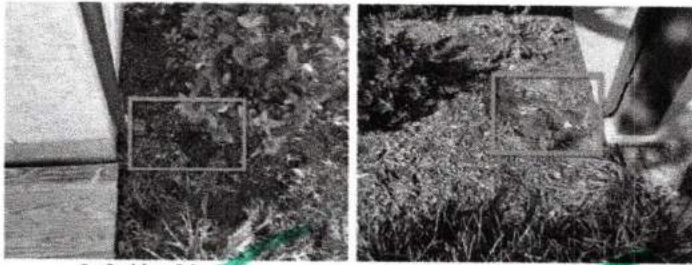
☉ Recommendation

In order to prevent erosion around the homes foundation, it's recommended that all missing splash blocks on the home be replaced.

Recommendation: Contact a qualified gutter contractor

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Left side of the home.

Multiple areas around the home.

installed  
11/3/22

**C. Roof Covering Materials**

*Types of Roof Covering:* Architectural Asphalt Shingle

*Viewed From:* Ground, Roof, Drone

*Comments:*

*Roof Limitations:*

The Home Inspector shall observe components of the roofing system. The home inspector shall report the material the roof is made of. The inspector will get on the roof for inspection only if the conditions are safe to do so. Unsafe conditions include but are not limited to weather, loose granules, steep roof slope, possible damage to the roof or inspector if walked on etc... The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons. All directional cues in this report are from the street facing the front of the home, unless a point of reference is used in the report image. All beginning sentences with "Note:" are not necessarily a deficiency, but a point of interest for the buyer to be aware of. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**I: Delam Ridge Shingles**

Recommendation

Because the ridge shingles used on this roof and all roofs are 20 years shingles and are delaminated and damaged it's recommended that all ridge shingles be replaced to prevent water intrusion into the home.

Recommendation: Contact a qualified roofing professional.



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I NI NP D

Throughout the roof of the home.

### 2: Blistering Shingles

▲Safety Hazard

Blistering is caused when the roof shingle gets hot enough to cause a bubble in the shingle tar that holds the granules in place on the shingle. When the temperature is hot enough these bubbles pop, leaving a small crater exposing the fiberglass underlayment that is no longer protected by the tar or the granules. This incident usually happens because the attic is not receiving the proper attic ventilation needed to keep the shingles cooler. It's recommended that a professional roof inspect the roof and make any necessary repairs or replacements.

Recommendation: Contact a qualified roofing professional.



Throughout the roof of the home.



Throughout the roof of the home.



Throughout the roof of the home.

### 3: Damaged Shingle Repair

▲Safety Hazard

In order to avoid the potential for water damage the home's frame and interior, it's recommended that all damaged shingles be repaired or replaced by a professional roofer.

Recommendation: Contact a qualified roofing professional.



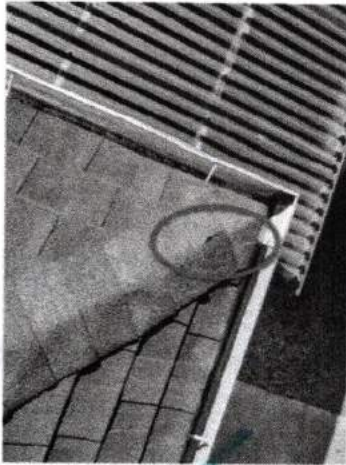
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Detached garage.

Repaired  
11/22/22

**4: Exposed Nails**

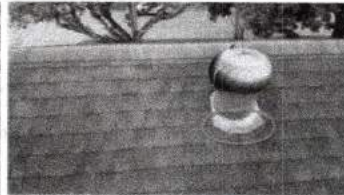
Recommendation

Under-driven or exposed nails were found in one or more roof coverings. Recommend a qualified roofer evaluate and correct.

Recommendation: Contact a qualified roofing professional.



Throughout the roof system of the home.



Throughout the roof system of the home.

Repaired  
11/22/22

**5: Paint Flashing**

Maintenance Item

In order to ensure that the flashing does not prematurely deteriorate, it's recommended that all flashing fully painted throughout the roof system.

Recommendation: Contact a qualified roofing professional.



Sky light flashing and chimney flashing need to be painted.

Repaired  
11/22/22



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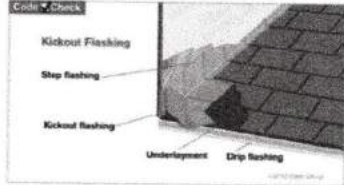
I	NI	NP	D
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**6: Missing Kickout Flashing**

Recommendation

In order to prevent water from getting behind the siding, it's recommended that kick out flashing be installed in the area listed in this section of the report.

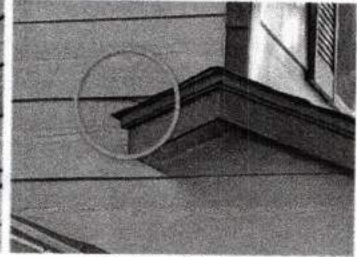
Recommendation: Contact a qualified roofing professional.



Example of Proper Kickout Flashing



Right side of the home.



Left side of the home.

**7: Lifted Flashing**

Safety Hazard

In order to prevent uplift during wind storm events, all lifted flashing should be set flush to the roof line and sealed.

Recommendation: Contact a qualified roofing professional.



Rear 1st Floor roof slope of the home.

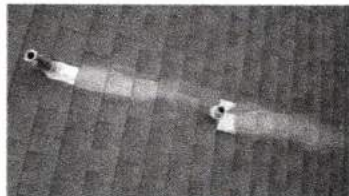
Repaired  
11/22/22

**8: Damaged Roof Jack**

Recommendation

In order to prevent potential water intrusion into the home, it's recommended that the damaged roof jack listed in this section of the report be replaced by a professional roofer.

Recommendation: Contact a qualified roofing professional.



Front roof slope of the home.



Front roof slope of the home.

Repaired  
11/22/22

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**D. Roof Structures and Attics**

*Viewed From: Attic*

*Approximate Average Depth of Insulation: 6 Inches*

*Comments:*

**Attic Inspection Limitations:**

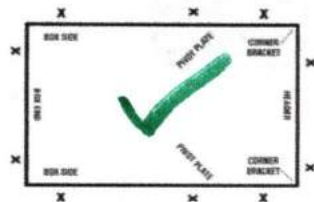
Inspection of the attic area is limited to the areas that can be safely reached without doing damage to the attic insulation, ductwork, wiring, plumbing, structural components etc.. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons. All directional cues in this report are from the street facing the front of the home, unless a point of reference is used in the report image. All beginning sentences with "Note:" are not necessarily a deficiency, but a point of interest for the buyer to be aware of. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**1: Nails For Attic Pull Down Stairs**

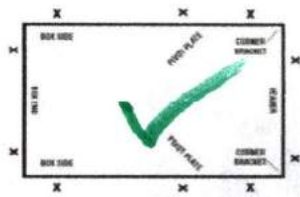
▲Safety Hazard

In order for the attic pull down stairs to be properly secured and prevent failure of the system in the near future, the pull down stair jamb needs to have 3-16d nails or 3" lag screws on the long sides (one nail installed at each pivot hinge) and 2-16d nails or 3" lag screws on the short sides. It's recommended that a professional carpenter install the proper amount of fasteners.

Recommendation: Contact a qualified general contractor.



X INDICATES RECOMMENDED LOCATION OF 16D NAILS OR 3" LAG SCREWS



X INDICATES RECOMMENDED LOCATION OF 16D NAILS OR 3" LAG SCREWS

Example of Proper Attic Hatch Fasteners

Secured 11/3/22



Second floor attic access.



Garage Attic Access.

**2: Missing Joist Hangers @ Rough Opening**

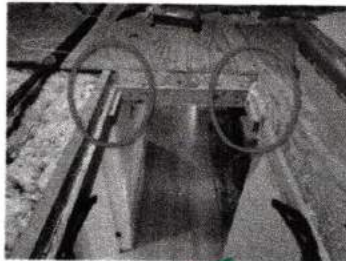
▲Safety Hazard

In order to prevent catastrophic failure during use, it's recommended that a professional carpenter install the missing joist hangers at the attic rough opening.

Recommendation: Contact a qualified general contractor.

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I NI NP D



Attic access above the 2nd Floor.



Garage Attic Access.

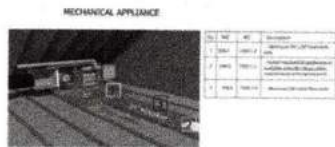
Secured  
11/3/22

**3: Attic Work Space too Small**

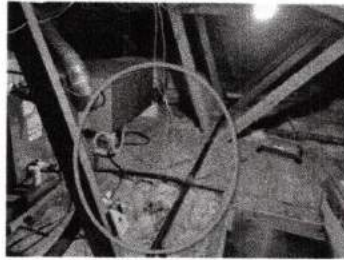
Recommendation

In order to safely service the water heater and/or HVAC unit in the attic, it's recommended that a professional carpenter install a minimum 30 inch by 30 inch work space for the water heater and/or HVAC unit.

Recommendation: Contact a qualified general contractor.



Example of Proper Workspace Decking



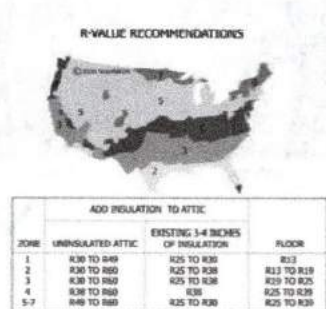
Attic above the 2nd Floor.

**4: Less 8 Inches of Insulation**

Recommendation

The minimum insulation required in an attic in the Southern United States needs to equal an R-value of 30. Fiberglass and cellulose insulation has an R-value of 3.5 per inch. Any depth less than 8.5 inches is considered deficient and more insulation should be added.

Recommendation: Contact a qualified general contractor.



Both attics of the home.

Example of the amount of attic insulation needed by region of the United States.



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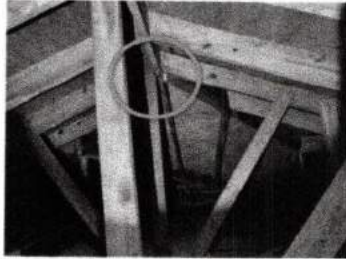
I NI NP D

**5: Missing Palm Support**

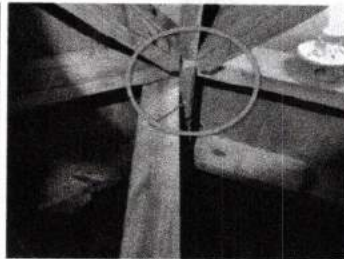
Recommendation

In order to properly support the roof framing, it's recommended that a professional carpenter install the missing palm supports.

Recommendation: Contact a qualified general contractor.



Above the Garage.



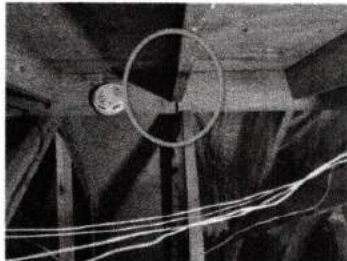
Attic above the Garage.

**6: Support Ridge Splice**

Recommendation

In order to prevent sagging of the ridge over time, it's recommended that the ridge splice be supported from below.

Recommendation: Contact a qualified general contractor.



Attic above the 2nd Floor.

**E. Walls (Interior and Exterior)**

*Comments:*

*Wall Inspection Limitations:*

Wall surfaces at both the interior and exterior will be inspected for all visible structural defects but will be limited to reporting cosmetic items that may not necessarily be cosmetic like cracks in the surfaces but may be noted. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons. All directional cues in this report are from the street facing the front of the home, unless a point of reference is used in the report image. All beginning sentences with "Note:" are not necessarily a deficiency, but a point of interest for the buyer to be aware of. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**1: Missing Expansion Joints**

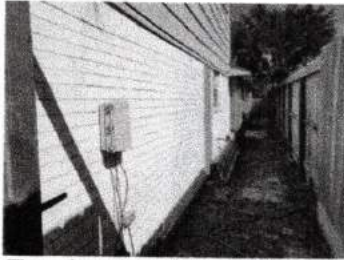
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I NI NP D

**Recommendation**

In order to prevent cracks in the brick it's recommended that expansion joints be installed every 25 feet for brick walls without openings (windows, doors etc) in them and every 20 feet for brick walls with openings.

Recommendation: Contact a qualified masonry professional.



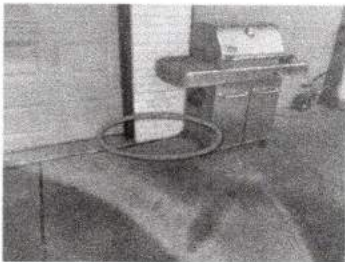
Throughout the perimeter of the home.

**2: Weep Holes Brick Lintels**

✍ Maintenance Item

In order to prevent premature deterioration to the brick lintels above the windows, doors and bricked openings, it's recommended that a professional mason install the missing weep holes.

Recommendation: Contact a qualified masonry professional.



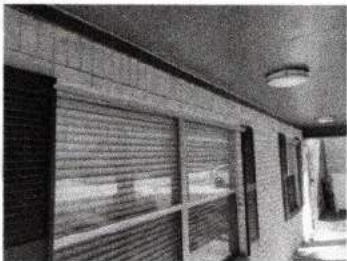
Detached garage of the home.

**3: Missing Weep Holes Window/Door Openings**

✍ Maintenance Item

In order to prevent further deterioration to the brick lintels above bricked openings (Ex. doors and windows), it's recommended that a professional mason install the missing weep holes.

Recommendation: Contact a qualified masonry professional.



Front of the home.

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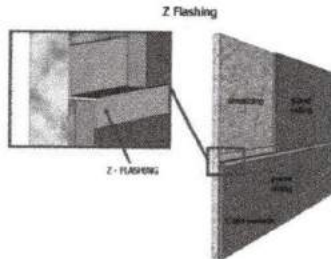
I   NI   NP   D

**4: Missing Base Z Flashing**

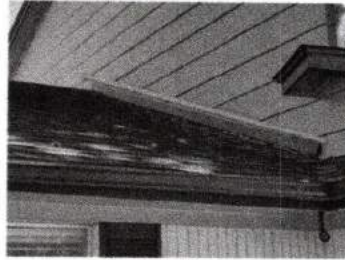
Recommendation

In order to prevent water intrusion between the base siding and the home's siding which could lead to rot, it's recommended that Z flashing be installed at the area indicated in this section of the report.

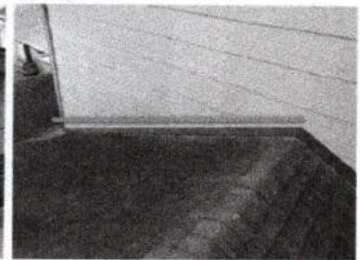
Recommendation: Contact a qualified general contractor.



Example of Proper Z Flashing



Left side of the home.



Left side of the home.



Rear of the home.

**5: Hot Walls**

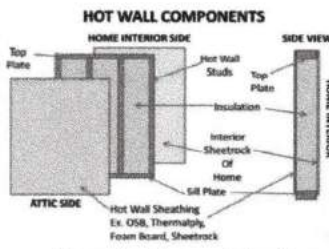
Recommendation

A hot wall is where one side of the wall faces the interior of the home and the other side faces the attic of the home. In order for the insulation at the hot walls to be effective, it's recommended that the attic and exterior hot wall insulation of the home be encased on all six sides. Material for encasing hot walls can range from sheet rock to foam board as long as the area with insulation is fully covered and secured in place.

Recommendation: Contact a qualified general contractor.



Attic above the Master Bedroom.



Example of proper hot wall construction.

**6: Vegetation**

Recommendation

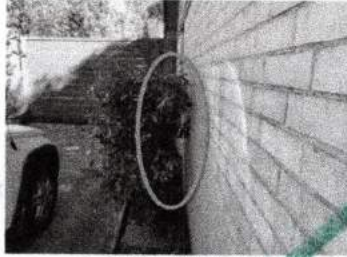


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I	NI	NP	D
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In order to prevent damage to the exterior siding on the home, it's recommended that all vegetation be removed from the walls and all other vegetation be cut at least a foot away from the walls.

Recommendation: Contact a qualified general contractor.



*Trimmed*

Left side of the home.

**7: Seal Boxes to the Wall**

✦ Maintenance Item

In order to prevent water penetration into the home and/or the electric panel service box, it's recommended that the electric panel service box and electric meter can be sealed to the wall.

Recommendation: Contact a qualified general contractor.



*Sealed  
11/3/22*

Electric meter can on the right side of the home.

**8: Seal Penetrations**

✦ Maintenance Item

In order to prevent water intrusion into the home, it's recommended that all holes, penetrations and escutcheons be sealed on the exterior of the home.

Recommendation: Contact a qualified general contractor.



*Sealed  
11/3/22*

Dryer vent escutcheons on right side of the home.

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I NI NP D

**9: Seal Light Fixtures to the Wall**

✍ Maintenance Item

In order to prevent water penetration into the home and/or the electrical wiring of the fixture, it's recommended that all exterior light fixtures be sealed to the wall they are installed on.

Recommendation: Contact a qualified general contractor.



Detached garage of the home.

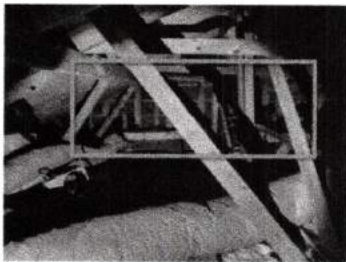
Sealed  
11/3/22

**10: Vapor Barrier missing in Attic**

⊖ Recommendation

In order to help prevent moisture from entering the attic area, it's recommended that damaged vapor barrier be repair.

Recommendation: Contact a qualified general contractor.



Vapor barrier missing behind the siding in the attic of the home.

**11: Wall insulation facing the wrong direction.**

⊖ Recommendation

In order to prevent moisture build-up which will damage the insulation, the paper side of the insulation needs to be facing towards the exterior of the home.

Recommendation: Contact a qualified professional.

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Rear of the home.

Repaired  
11/3/22

**F. Ceilings and Floors**  
*Comments:*

**G. Doors (Interior and Exterior)**  
*Comments:*

**1: Missing Weather Strip**

☉ Recommendation

In order to prevent conditioned air from leaking out and potential water from entering into the home, it's recommended that a professional carpenter install the missing weather stripping at the door listed in this section of the report.

Recommendation: Contact a qualified general contractor.



Exterior right side door.

**2: Door Stops**

☉ Recommendation

In order to prevent damage to the walls and/or doors, it's recommended that a professional carpenter replace all missing or damaged door and/or hinge stops in the home.

Recommendation: Contact a qualified general contractor.



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I NI NP D



Throughout the home.

Installed  
11/3/22

### 3: Non Latching Doors

Recommendation

It's recommended that a professional carpenter adjust the non latching door in this section of the report, so it closes and latches fully to the striker plate.

Recommendation: Contact a qualified general contractor.



Upstairs rear left bedroom closet door.



Upstairs rear left bedroom entry door.

Repaired  
11/3/22

### 4: Missing Striker Plate

Recommendation

In order to prevent damage to the door jamb, it's recommended that the missing striker plate be installed.

Recommendation: Contact a qualified general contractor.

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Rear exterior door of the home.

*installed  
11/3/22*

**5: Missing Striker Plate Screw**

✘ Maintenance Item

For security purposes and to ensure proper function, it's recommended that the missing striker plate screw(s) be installed.

Recommendation: Contact a qualified general contractor.



Rear exterior door of the home.

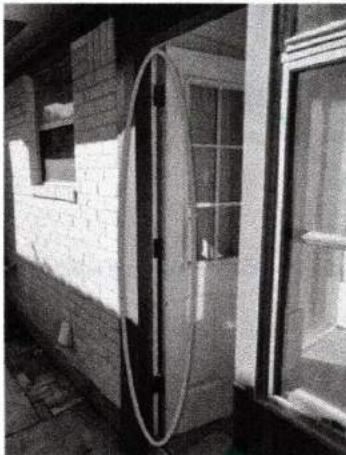
*installed  
11/3/22*

**6: Missing Screws**

✘ Maintenance Item

In order to prevent damage to the door jamb, it's recommended that a professional carpenter install the missing hinge screws at the areas indicated in this section of the report.

Recommendation: Contact a qualified general contractor.



*installed  
11/3/22*

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I   NI   NP   D

Right exterior door of the home.

**H. Windows**

*Comments:*

**1: Double Pane Seal Broken**

 Recommendation

In order to maintain the home's energy efficiency and comfort level, it's recommended that a professional window glazer inspect all the window panes on the home and replace any window panes with a broken seal.

Recommendation: Contact a qualified window repair/installation contractor.



Throughout the perimeter of the home.



Throughout the perimeter of the home.



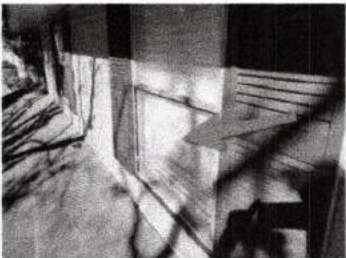
Throughout the perimeter of the home.

**2: Window Screens**

 Maintenance Item

In order to prevent the intrusion of flying insect into the home when the windows are open, it's recommended that the missing window screens be replaced.

Recommendation: Contact a qualified window repair/installation contractor.




Front of the home.



Rear of the home.

**3: Broken Window Locks**

 Safety Hazard

For security purposes, it's recommended that all broken window locks in the home be replaced.



I=Inspected

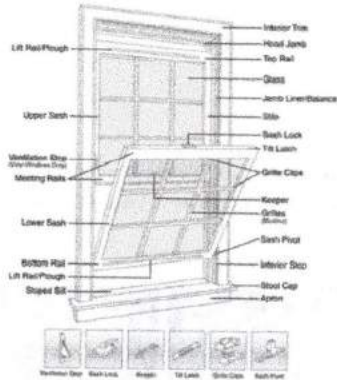
NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Recommendation: Contact a qualified window repair/installation contractor.



Outdoor kitchen of the home.



Broken Window Locks

**4: Window is difficult to open.**

▲Safety Hazard

In order for anyone in the home to be able to safely open a window in a bedroom, there needs to be no more than 14 pounds per square inch needed to open and close the window.

Recommendation: Contact a qualified professional.



To the left of the fireplace.



**5: Window does not stay up when opened.**

●Recommendation

In order to ensure the safe operation of the window listed in the section of the report, it's recommended that a professional window reglazer inspect the window and make any necessary repairs or replacements to ensure the window stays up when opened.

Recommendation: Contact a qualified professional.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I   NI   NP   D



Window to the right of the fireplace.

**I. Stairways (Interior and Exterior)**

*Comments:*

**1: Baluster Gap Too Wide**

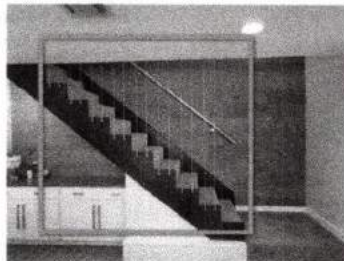
⊕ Recommendation

The baluster space is not up to modern safety standards. The space between balusters should not allow passage of a 4 3/8-inch sphere for child safety. Recommend a qualified handyman or original installer repair and bring up to code.

Recommendation: Contact a qualified handyman.



Example of Proper Railing Construction



Stair parts are spaced too far apart.

**2: Handrail Does Not Turn to Wall**

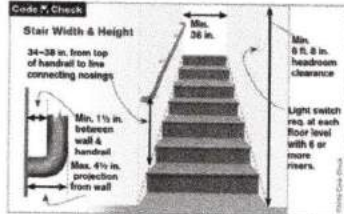
⚠ Safety Hazard

For safety purposes, it is recommended to have a professional carpenter turn the handrail ends back toward the wall.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

Recommendation: Contact a qualified carpenter.



Example of Proper Handrail Construction



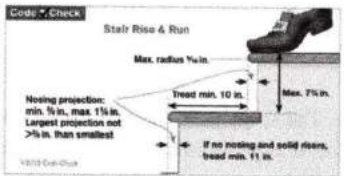
Stairway of the home.

3: Stair Riser Heights are Not Proper

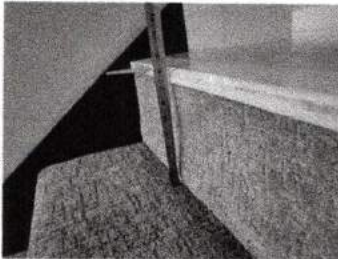
Recommendation

In order to safely transverse the stairs, it is recommended to have a professional carpenter make the riser heights listed in this section the proper heights.

Recommendation: Contact a qualified cabinet contractor.



Example of Proper Stair Construction



Final riser before the second floor landing.

J. Fireplaces and Chimneys

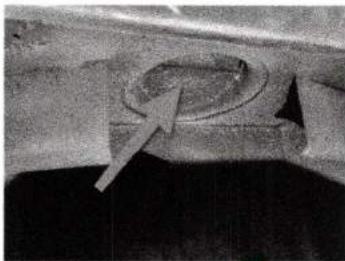
Comments:

1: Chimney Sweep Catch All

Recommendation

In order to ensure the safe function of the fireplace during use, it's recommended that a professional chimney sweep, inspect the item(s) listed in this section of the report and make any necessary repairs or replacements.

Recommendation: Contact a qualified chimney contractor.



Fireplace damper does not open.

Already Opens Properly





I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

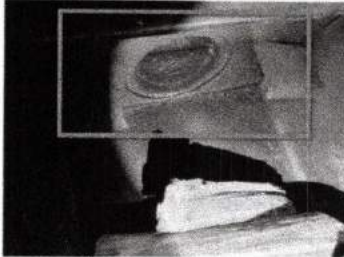
I NI NP D

**2: Creosote Build Up**

✍ Maintenance Item

In order to reduce the chance of a fire, it's recommended that a professional chimney sweep remove all creosote build up in the flue of the fireplace.

Recommendation: Contact a qualified chimney contractor.



Fireplace of the home.

**K. Porches, Balconies, Decks, and Carports**

*Comments:*

Note: The content of the home will limit the scope of the inspection.



Note: The personal contents in the home will limit the scope of the inspection.



Note: The personal contents in the home will limit the scope of the inspection.



Note: The personal contents in the home will limit the scope of the inspection.

**1: Covered patio improperly supported by soffit.**

☞ Recommendation

In order to prevent damage to the soffit over time it's recommended that the corners of the chain supported covered patio be supported from below.

Recommendation: Contact a qualified professional.

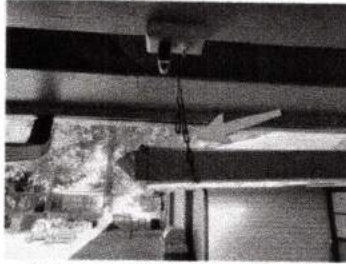
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Rear covered patio is supported by chains that area secured to the soffits of the home.

**2: Rear covered patio header improperly supported from below.**

**Recommendation**

In order to prevent sagging and structural issues in the future, the future, it's recommended that that the rear covered patio header be supported from below and not nailed to the side of the columns.

Recommendation: Contact a qualified professional.



Rear covered patio header not supported from below.



Rear covered patio header splice not supported from below.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I NI NP D

## II. ELECTRICAL SYSTEMS

**A. Service Entrance and Panels**

*Comments:*

*Electrical Home :*

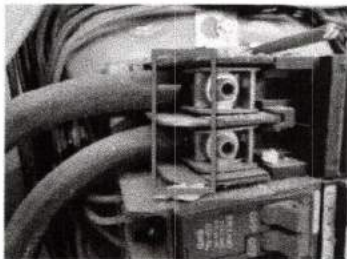
The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. All directional cues in this report are from the street facing the front of the home, unless a point of reference is used in the report image. All beginning sentences with "Note:" are not necessarily a deficiency, but a point of interest for the buyer to be aware of.

**1: Anti Oxidant Paste**

*Maintenance Item*

In order to prevent oxidation of the aluminum electric service line connection at the electric panel service box (which could lead to loose connections in the future), it's recommended that a licensed electrician completely cover the connections points with the anti oxidant paste to the point where the above mentioned oxidation cannot occur.

Recommendation: Contact a qualified electrical contractor.



Electric service panel box in the garage of the home.

**2: Label White Wires Black**

*Recommendation*

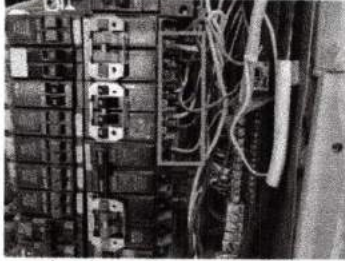
Electrical wiring is color coded to help electrician determine the purpose of a wire and in order to properly label the wire as "Hot" the white wire(s) listed in this report need to be marked with black.



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I   NI   NP   D

Recommendation: Contact a qualified electrical contractor.



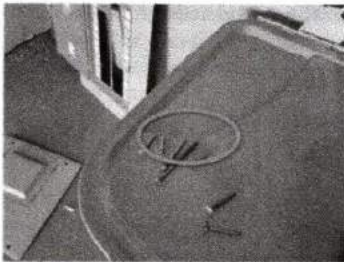
Electric service panel box in the garage.

**3: Sharp Screws**

Recommendation

In order to prevent damage to the internal wiring of the the electric panel service box, it's recommended that screws with sharp points (tips) not be used.

Recommendation: Contact a qualified electrical contractor.



Only tapered screws should be used to secure the electric service panel dead plates.

*Replaced  
11/22/22*

**4: Missing Deadplate Screw**

Recommendation

In order to protect the inner components and the inhabitants of the home, it's recommended that the missing screws be replaced so the dead plate is properly secured.

Recommendation: Contact a qualified electrical contractor.



Garage of the home.

*Added  
11/22/22*

I=Inspected    NI=Not Inspected    NP=Not Present    D=Deficient

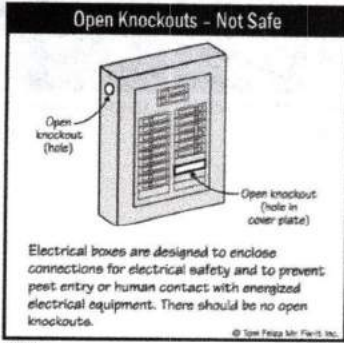
I	NI	NP	D
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**5: Missing Knockouts**

▲Safety Hazard

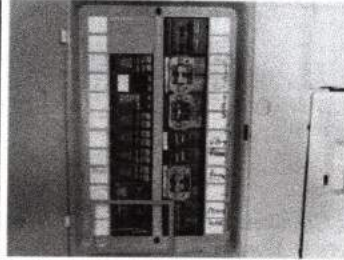
In order to properly seal the electric panel service box and to protect the occupants of the home, it's recommended that all missing knock outs be replaced.

Recommendation: Contact a qualified electrical contractor.

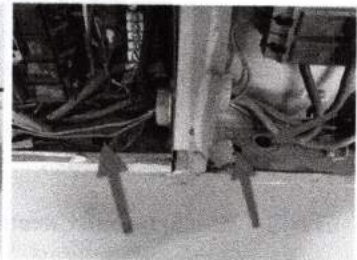


E134

Example of Knockouts



Garage of the home.



Electric service panel boxes in the garage of the home.

*Added 1/22/22*

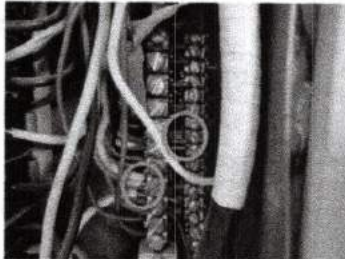


**6: Double Lugged Neutral Wires**

⊕Recommendation

In order to prevent the wires from becoming loose, it is recommended to have a licensed electrician install each neutral on individual lugs.

Recommendation: Contact a qualified electrical contractor.



Electric service panel box at the garage of the home.

**7: Circuit breakers manufactured by a company that is not the same manufacturer of the electric service panel box.**

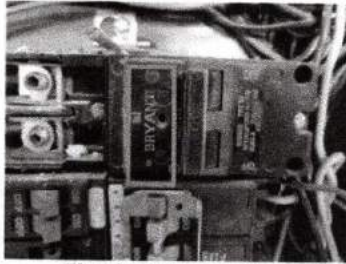
⊕Recommendation

In order to prevent any chance of electrical issues with the electric service panel box and per manufacturers installation instructions, all circuit breakers should it be the same manufacturer as the manufacturer of the electric service panel Box.

Recommendation: Contact a qualified professional.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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Electric service panel box manufacturer.



Circuit breakers not manufactured by Bryant.



Circuit breakers not manufactured by Bryant.

**B. Branch Circuits, Connected Devices, and Fixtures**

Type of Wiring: Copper, Romex

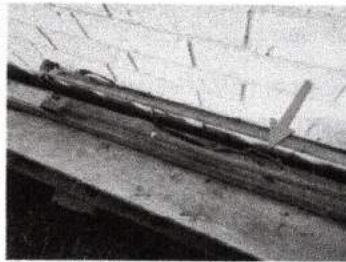
Comments:

**1: Lic Electrician**

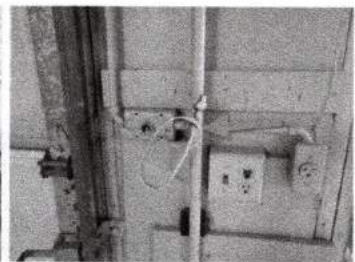
Recommendation

It is recommended that a licensed electrician inspect the item(s) listed in this section of the report and make any necessary repairs and/or replacements.

Recommendation: Contact a qualified electrical contractor.



Branch wiring exposed at the exterior right side of the home. Branch wiring also in contact with gas line.



Loose wiring should be fully installed inside a Junction Box at the garage of the home.

Repaired  
11/22/22



I=Inspected    NI=Not Inspected    NP=Not Present    D=Deficient

I   NI   NP   D



*Already has power cut off box*

Air conditioning condenser unit needs a power cut off box.



Branch wire splices need to be fully encased inside a junction box in the attic above the 2nd Floor of the home

*Repaired 11/22/22*

### 2: Burnt Out Light Bulbs

Maintenance Item

In order to ensure that the light fixtures are fully functional, it's recommended that all burnt out or missing bulbs be replaced in the home and the fixtures tested again.

Recommendation: Contact a qualified electrical contractor.



Right side of the home.



Right side of the home.

*Replaced 11/22/22*

### 3: Label HVAC Cut off Switch

Recommendation

In order to help prevent the chance of the HVAC system being cut off mid cycle and possibly damaging the system, it's recommended that the HVAC cut off switch in the attic be labeled as such.

Recommendation: Contact a qualified electrical contractor.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I   NI   NP   D



Attic above the 2nd Floor.

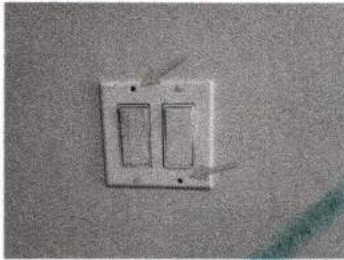
*Replaced  
11/22/22*

**4: Missing Cover Plate Screws**

✘ Maintenance Item

In order to ensure the protection of the electrical components and the inhabitants of the home, it's recommended that all missing screws at the cover plates in the home be installed.

Recommendation: Contact a qualified electrical contractor.



1st Floor stairway switch plate.

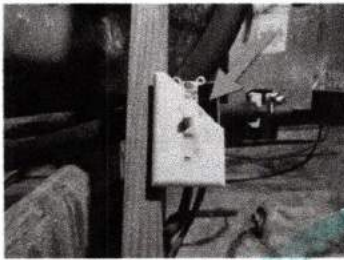
*Repaired  
11/22/22*

**5: Cover Plates Damaged**

⊖ Recommendation

One or more receptacles have a damaged cover plate. Recommend replacement.

Recommendation: Contact a qualified electrical contractor.



Attic above the 2nd Floor.



Attic above the 2nd Floor.

*Replaced  
11/22/22*

**6: Cover Plates Missing**

⊖ Recommendation

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

Recommendation: Contact a qualified electrical contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Rear storage of the home.

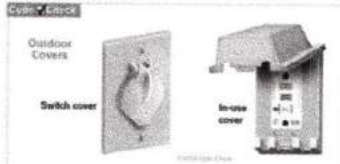
Replaced  
11/22/22

### 7: Missing Exterior Cover Plate

▲Safety Hazard

For safety purposes, it's recommended that the correct electrical cover plate that protects the outlets from the elements be installed at the areas indicated in this section of the report.

Recommendation: Contact a qualified electrical contractor.



Example of Proper Exterior Cover Plate



Right side of the home.

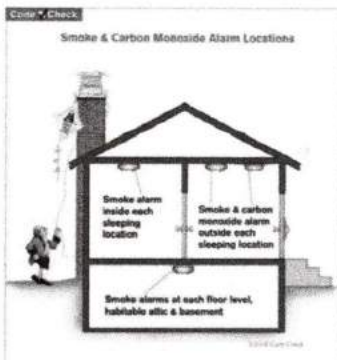
Added  
11/22/22

### 8: Carbon Monoxide Detectors Missing

▲Safety Hazard

In order to be able to detect the presence of Carbon Monoxide gas (potentially deadly odorless gas) It is recommended that carbon monoxide alarms be installed directly outside all bedrooms of the home.

Recommendation: Contact a qualified electrical contractor.



Example of Proper Smoke Alarm Placement



Carbon monoxide alarms missing outside the bedrooms of the home.



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

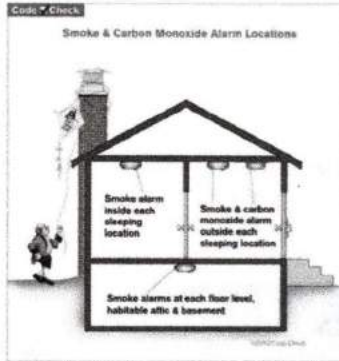
I   NI   NP   D

**9: Missing Smoke Alarms**

▲Safety Hazard

In order to be able to detect the presence of smoke (thus indicating a potential fire in the home) It is recommended that smoke alarms be installed inside and outside all bedrooms and have a smoke alarm on each habitable floor of the home.

Recommendation: Contact a qualified electrical contractor.



Example of Proper Smoke Alarm Placement



Throughout the home.



Throughout the home.

**10: Smoke Detector Too High or Too Low**

▲Safety Hazard

In order to be effective, smoke alarms need to be locating no closer than four inches vertically from the ceiling but no further than 12 inches vertically away from the ceiling.

Recommendation: Contact a qualified electrical contractor.



Both smoke alarms in the home.

**11: No Conduit for Branch Wiring**

●Recommendation

In order to protect the branch wiring from the elements, it's recommended that all branch wiring on the exterior of the home be fully installed inside a proper electric conduit.

Recommendation: Contact a qualified electrical contractor.

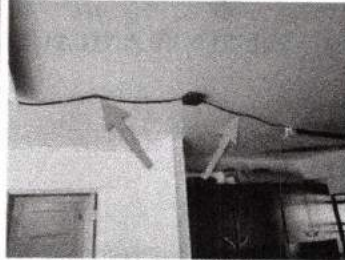
I=Inspected    NI=Not Inspected    NP=Not Present    D=Deficient

I   NI   NP   D

*Repaired  
11/22/22*



Under outdoor kitchen sink.



Outdoor kitchen of the home.



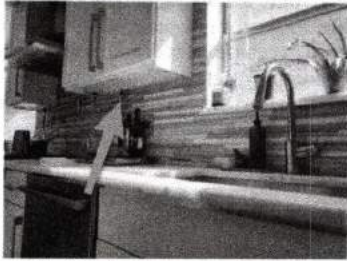
Garage ceiling of the home.

**12: Electrical outlet receptacle(s) are not Ground Fault Circuit Interrupter (GFCI) protected**

**Recommendation**

In order to prevent a short circuit in areas where water may be present, comma the electrical outlet receptacles listed in this section of the report need to be ground fault circuit interrupter or GFCI protected.

Recommendation: Contact a qualified professional.



Electrical outlet receptacles in the kitchen.



Kitchen island not Ground Fault Circuit Interrupter protected.



Upstairs bathroom electrical outlet receptacle is not GFCI protected.



Exterior electrical outlet receptacles on the home.



Throughout the home.

*Replaced  
11/22/22*

C. Other  
Comments:

*Replaced  
11/22/22*



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

**A. Heating Equipment**

*Type of Systems:* Forced Air

*Energy Sources:* Natural Gas

*Comments:*

*HVAC Home:*

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. All directional cues in this report are from the street facing the front of the home, unless a point of reference is used in the report image. All beginning sentences with "Note:" are not necessarily a deficiency, but a point of interest for the buyer to be aware of.

**I: One Inch Clearance**

▲ Safety Hazard

In order to prevent the chance of fire, it's recommended that the furnace vent have a one inch clearance of all combustible materials.

Recommendation: Contact a qualified heating and cooling contractor

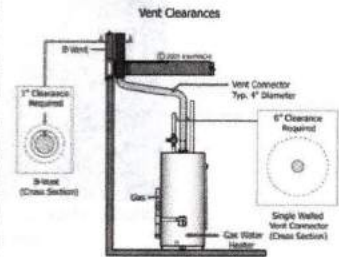
Repaired  
11/3/22



Left furnace above the 2nd Floor of the home



Both furnaces above the 2nd Floor of the home



Example of proper clearances for gas fired appliance exhaust pipes.

**B. Cooling Equipment**

*Type of Systems:* Central Air Conditioner

*Model And Serial:*

Model and serial number listed in the image. This information can be used to register your appliances/units for warranty or to look up possible recalls on the units.



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Comments:

**1: HVAC Catch All**

⊖ Recommendation

It's recommended that a licensed HVAC technician inspect the HVAC system and make any necessary repairs or replacements.

Recommendation: Contact a qualified heating and cooling contractor



First air conditioning condenser unit not functioning at the time of the inspection.

Fully Functional (Breaker was off)

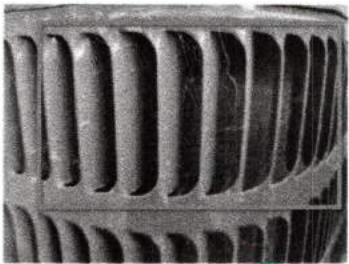


**2: Clean Coils**

⊖ Maintenance Item

In order for the A/C system to run effectively and efficiently, it's recommended that a licensed HVAC Technician clean the exterior A/C condenser coils.

Recommendation: Contact a qualified heating and cooling contractor



Right air conditioning condenser unit at the rear of the home.

Cleaned 11/20/22



**3: Unit Not Level**

⊖ Recommendation

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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Concrete pad supporting the outdoor condensing unit is not level. This can cause accelerated deterioration of components. Recommend licensed HVAC contractor level the unit.

Recommendation: Contact a qualified HVAC professional.



Left air conditioning condenser unit at the rear of the home.

**4: Bushing For Wire**

☉ Recommendation

In order to prevent fraying of the HVAC wires, it's recommended bushing be installed where the wires enter the unit.

Recommendation: Contact a qualified electrical contractor.



Right unit in the attic above the 2nd Floor

Repaired  
11/3/22

**C. Duct Systems, Chases, and Vents**

Comments:

**1: Dirty Air Filters**

✂ Maintenance Item

In order for the HVAC system to run effectively and efficiently it's recommended that the filters be replaced regularly.

Recommendation: Contact a qualified HVAC professional.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I NI NP D



Return Air Outside The Master Bedroom.



2nd Floor return air filter.

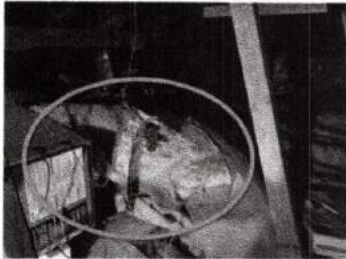
Replaced 11/20/22

**2: Duct Damaged**

Recommendation

Air supply duct was damaged. Recommend a qualified HVAC contractor repair.

Recommendation: Contact a qualified HVAC professional.



Attic above the 2nd Floor of the home.

**3: Duck Tape Ducts**

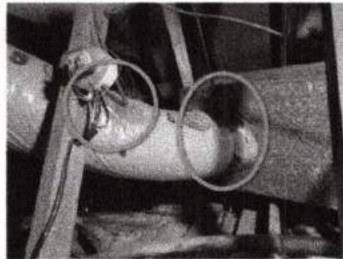
Recommendation

Duck tape is a tape made for water proof/resistant application and is not made to handle the extreme heat that can move through the duct system specific to this section of the report. In order to prevent air from leaking out, it's recommended that the duct tape mentioned in this section of the report be replaced with ASHRAE accepted HVAC tape.

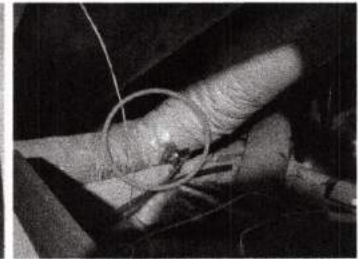
Recommendation: Contact a qualified HVAC professional.



Attic above the master bedroom of the home.



Throughout the attics of the home.



Throughout the attics of the home.

D. Other



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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*Comments:*

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I   NI   NP   D

#### IV. PLUMBING SYSTEMS

**A. Plumbing Supply, Distribution Systems, and Fixtures**

*Location of Water Meter:* Street

*Location of Main Water Supply Valve :* Right of Home

*Static Water Pressure Reading:* 55

*Type of Supply Piping Material:* PEX

*Comments:*

*Plumbing Home:*

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. All directional cues in this report are from the street facing the front of the home, unless a point of reference is used in the report image. All beginning sentences with "Note:" are not necessarily a deficiency, but a point of interest for the buyer to be aware of.

**1: Licensed Plumber**

☉ Recommendation

It's recommended that a licensed plumber inspect the item(s) listed in this section of the report and make any necessary repairs or replacements.

Recommendation: Contact a qualified plumbing contractor.



Right master vanity sink makes a hammering noise when in operation.

**2: Insulate Pipes**

☉ Recommendation

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I   NI   NP   D

In order to help prevent damage during a hard freeze, it's recommended that all exterior and attic water supply lines exposed to the elements be insulated.

Recommendation: Contact a qualified plumbing contractor.



Right side of the home.

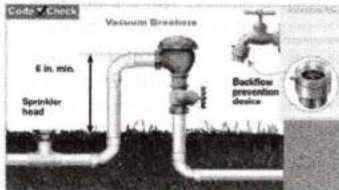
Insulated  
11/3/22

### 3: Backflow Prevention Device

Recommendation

In order to prevent the back flow of water into the home, it's recommended that backflow prevention devices be installed at all hose bibs on the home.

Recommendation: Contact a qualified plumbing contractor.



Example of Proper Backflow Device



Left side of the home.



Right side of the home.

- 
- 
- 
- B. Drains, Wastes, and Vents**  
Type of Drain Piping Material: PVC  
Comments:

#### 1: Improper Sloped Drain Pipe

Recommendation

In order to allow waste & water to drain when needed, it's recommended that a licensed plumber adjust the sewer pipe so it slopes away from the drain, toward and/or into the ground at a slope of no less than a 1/4 of an inch per foot.

Recommendation: Contact a qualified plumbing contractor.



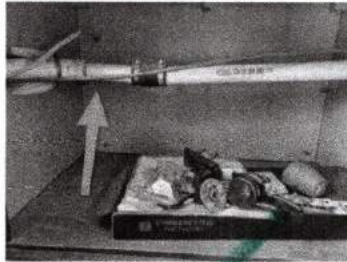
I-Inspected

NI-Not Inspected

NP-Not Present

D-Deficient

I NI NP D



Under outdoor sink.

Repaired  
11/20/22

## 2: Seal Undermount Sinks

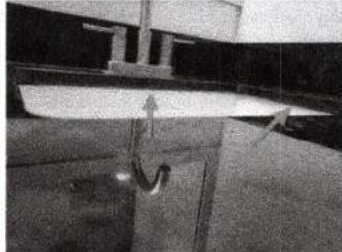
### Recommendation

In order to prevent foul smell and mold from developing between the undermount sink and the countertop, it's recommended the connection be sealed.

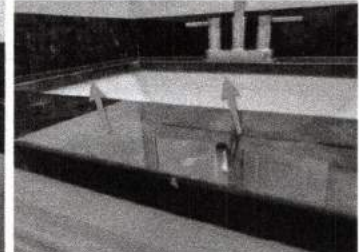
Recommendation: Contact a qualified plumbing contractor.



Example of Area to be Sealed



All vanity under mount sinks.



All vanity under mount sinks.

## 3: No Corrugated Drain Piping

### Recommendation

Plumbing drain lines must have a smooth interior wall in order for it to be allow in a sewer drain line. It's recommended that a licensed plumber replace the corrugated plumbing with the proper drain pipe.

Recommendation: Contact a qualified plumbing contractor.



Left master vanity sink.

## 4: Seal Spout/Eschutcheon

### Recommendation

In order to prevent water intrusion behind the shower surrounds, it's recommended that the spout, shower head eschutcheon and hot/cold faucet eschutcheon be sealed to the shower surround.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I   NI   NP   D

Recommendation: Contact a qualified plumbing contractor.



2nd Floor Hallway Bathroom.

Master bathroom of the home.

**5: Seal Toilet to Floor**

Recommendation

In order to properly installed, secure and seal the toilet, it's recommended that the base of the toilet be fully sealed to the floor it sits on.

Recommendation: Contact a qualified plumbing contractor.



2nd Floor Hallway Bathroom.

Master bathroom toilet.

**C. Water Heating Equipment**

*Energy Sources:* Gas

*Capacity:* 40 Unknown. Unit covered with insulation blanket.

*Comments:*

Could not fully inspect the water heating unit. Water heating unit covered by an insulation blanket.

**D. Hydro-Massage Therapy Equipment**

*Comments:*

**E. Gas Distribution Systems and Gas Appliances**

*Location of Gas Meter:* Right side of home

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NP=Not Present

D=Deficient

I NI NP D

Type of Gas Distribution Piping Material: Steel

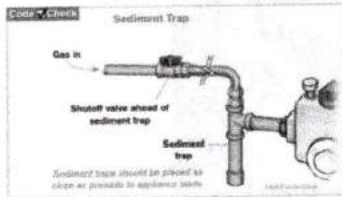
Comments:

**1: Missing Sediment Trap**

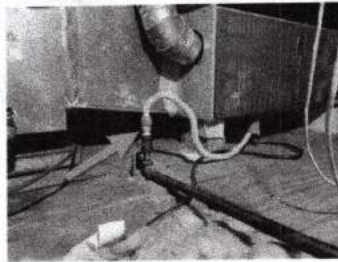
☉ Recommendation

In order to catch debris in the natural gas and prevent clogging of the burners and orifices, it's recommended that sediment trap (drip leg) be installed by a licensed plumber.

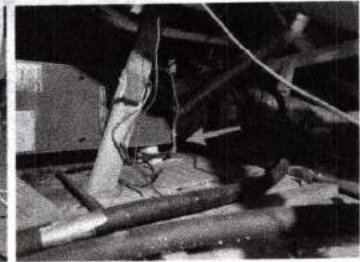
Recommendation: Contact a qualified plumbing contractor.



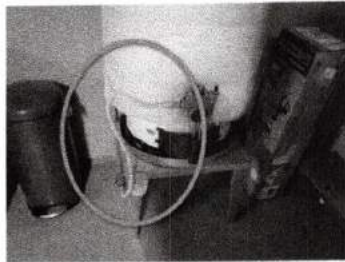
Example of a Proper Sediment Trap



All gas line connections.



Attic above the 2nd Floor.



Water heater in the garage.

**2: Paint Gas Line**

✂ Maintenance Item

In order to prevent deterioration of the gas line where it enters into the home, it's recommended that the line be fully painted.

Recommendation: Contact a qualified general contractor.



Right side of the home.

Repaired  
11/3/22

**3: Flex Line Terminates Inside HVAC Cabinet**

⚠ Safety Hazard



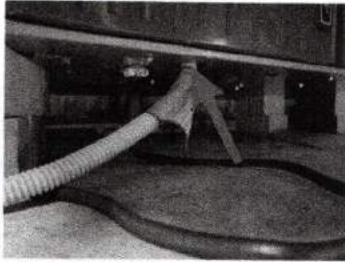


I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

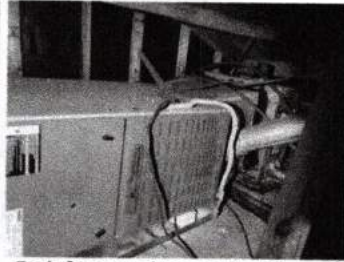
I   NI   NP   D

In order to prevent a potential gas leak at the gas flex line connection from igniting in the HVAC unit, it's recommended a licensed plumber or a licensed HVAC technician extend the gas flex line connection outside the HVAC unit listed in this section of the report.

Recommendation: Contact a qualified plumbing contractor.



Both HVAC units in the Attic above the 2nd Floor



Both furnaces above the 2nd Floor of the home

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I   NI   NP   D

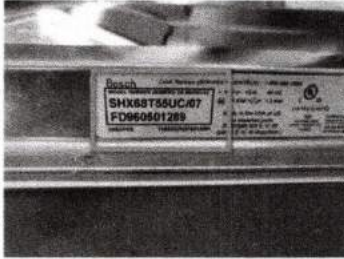
### V. APPLIANCES

**A. Dishwashers**

*Comments:*

*Model And Serial:*

Model and serial number listed in the image. This information can be used to register your appliances/units for warranty or to look up possible recalls on the units.



**1: Secure Dishwasher**

🔧 Recommendation

In order to prevent the dishwasher from tipping over when a full dishwasher basket is pulled out, it's recommended that the unit be fully secured to the underneath of the countertop or the cabinet sides.

Recommendation: Contact a qualified appliance repair professional.



Secure dishwasher to cabinets.

Secured  
11/3/22

**2: High Loop**

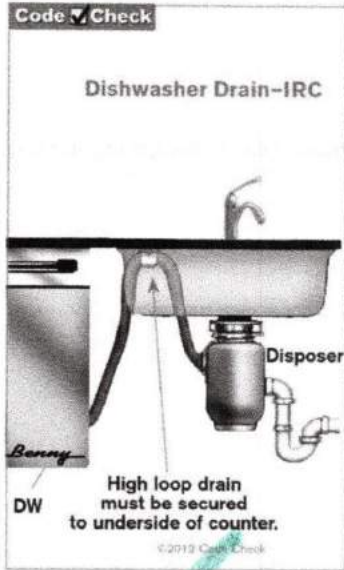
🔧 Recommendation

In order to prevent back flow of dirty water back into the dishwasher tub, it's recommended that a high loop be installed at the dishwasher drain.

Recommendation: Contact a qualified appliance repair professional.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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Under kitchen sink

Secured 11/20/22

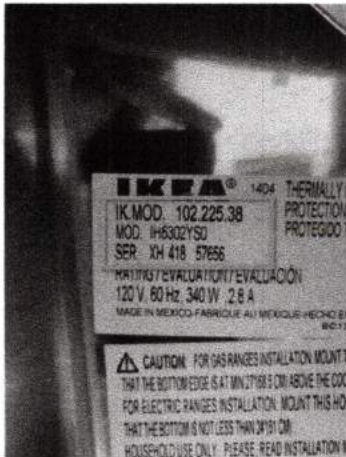
Example of Proper High Loop

**B. Food Waste Disposers**  
Comments:

**C. Range Hood and Exhaust Systems**  
Comments:

Model And Serial:

Model and serial number listed in the image. This information can be used to register your appliances/units for warranty or to look up possible recalls on the units.



**D. Ranges, Cooktops, and Ovens**



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I   NI   NP   D

*Comments:*

*Model And Serial:*

Model and serial number listed in the image. This information can be used to register your appliances/units for warranty or to look up possible recalls on the units.



Oven

- E. Microwave Ovens**

*Comments:*

- F. Mechanical Exhaust Vents and Bathroom Heaters**

*Comments:*

- G. Garage Door Operators**

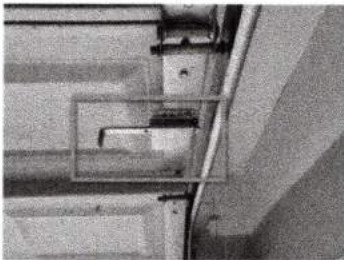
*Comments:*

**1: Disable Garage Lock**

Recommendation

In order to prevent damage to the over head garage door system, it's recommended that the lock be disabled or removed. This will prevent the door from being locked and the automatic garage door opener be activated at the same time.

Recommendation: Contact a qualified garage door contractor.



Double car over head garage door.

**2: Safety lasers are set too high.**

Recommendation

In order to protect the occupants of the home, especially children, safety lasers should be set no higher than 6" off the finished floor.

Recommendation: Contact a qualified professional.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I   NI   NP   D



Two car garage door safety lasers.

**H. Dryer Exhaust Systems**

*Comments:*

**1: Dryer Vent Not Inspected**

✎ Maintenance Item

Note: Dryer vent not inspected. Washer and dryer installed at the time of the inspection.