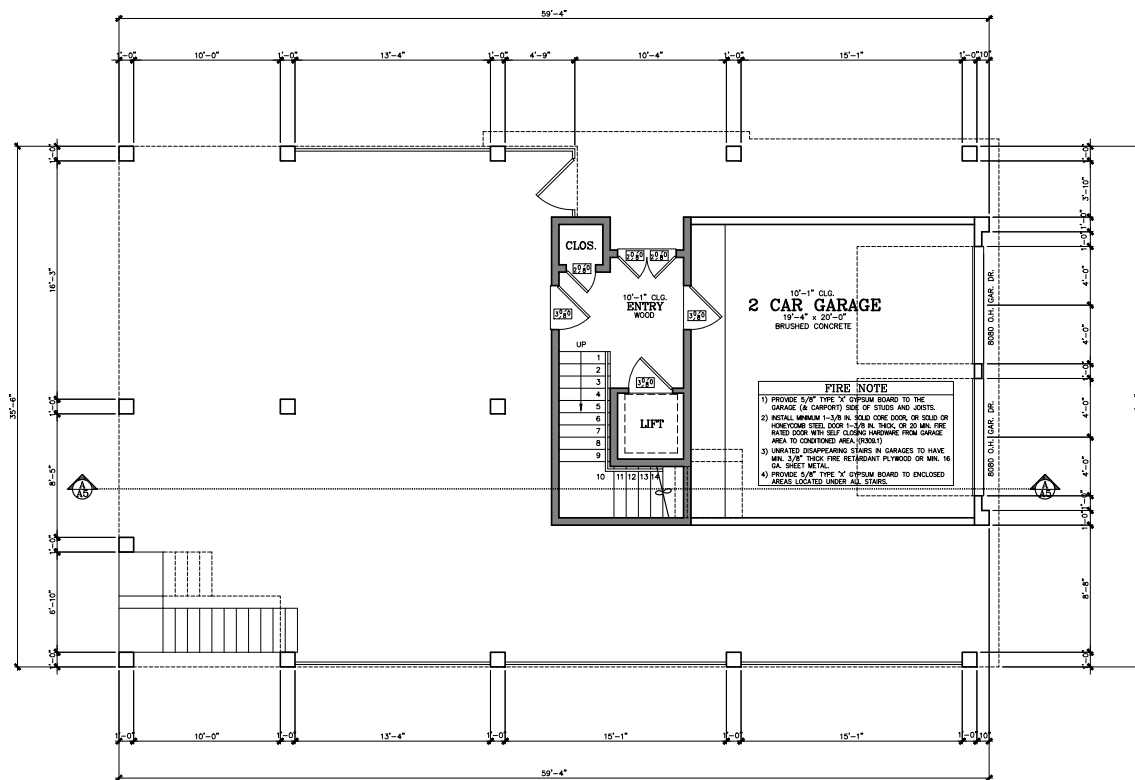


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FIRST FLOOR
 SCALE: 1/4" = 1'-0"
 10'-1" CEILINGS U.N.O.
 PRIMARY FLOOR COVERING: SEE BUILDER U.N.O.
 2 X 6'S @ 16" O.C. TYPICAL U.N.O. (UNLESS NOTED OTHERWISE).
 (SEE LINE LEGEND FOR WALL SIZE)

ANDERSON CANYON, LLC
 DESIGN + PLANNING
 1300 GULF BREEZE BOULEVARD, SUITE 200
 GALVESTON, TEXAS 77554
 TEL: 409.775.7000 FAX: 409.775.2200
 WWW.ANDERSONCANYON.COM

SCHEDULES BUILDER AND/OR OWNER TO FILL OUT THE FOLLOWING:

DOOR SCHEDULE:	SEE SCHEDULES
EXTERIOR DOORS:	SEE SCHEDULES
INTERIOR DOORS:	SEE SCHEDULES
DOOR GLAZING:	SEE SCHEDULES
WINDOW SCHEDULE:	SEE SCHEDULES
FRAME TYPE:	SEE AS NOTED ON PLANS
FINISH:	SEE AS NOTED ON PLANS
GLASS:	SEE AS NOTED ON PLANS
EXTERIOR FINISH:	SEE AS NOTED ON PLANS
EXTERIOR COLOR:	SEE AS NOTED ON PLANS
ROOM FINISH SCHEDULE:	SEE SCHEDULES
THE FLOOR AT ALL NET AREAS, THE WALLS AT THE FULL THE WALLS AND	SEE SCHEDULES
FLOOR IN SHOWER STALL, SYNTHETIC MARBLE OR SOLID CORNER TOPS AND	SEE SCHEDULES
ALL CASES OPENING TO THE SHOWER REINFORCEMENT.	SEE SCHEDULES
REINFORCEMENT FOR USE OF 3000 PSI CONCRETE.	SEE SCHEDULES
RE:	OR - AS NOTED ON PLANS
	OR - AS NOTED IN DETAIL SPEC. WHEN OWNER A BUILDER.

PLAN NOTES REFERENCING THE 2012 IRC BY CITY OF HOUSTON AMENDMENTS:

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAIL ON THE LAST SHEET OF THESE DRAWINGS.
- ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAIL ON THE LAST SHEET OF THESE DRAWINGS.
- CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON THE PLAN.
- ALL FLOOR GRABS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO OUTSIDE OR STORM SEWER (DO NOT CONNECT TO SANITARY SEWER).
- PROVIDE PLUMBING ACCESS PANEL AT ALL BATHUBS PER IRC 2012 SECT. P104.1.
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2012.
- SEE STAR NOTES AND DETAILS - LAST SHEET, CONFORM TO IRC 2012, COR AMENDMENT SECTION 1003.3.1.1, EXCEPTION 4. PROVIDE CONTINUOUS RAILING WHEN THERE ARE 4 OR MORE RISERS.
- PROVIDE ATTIC ACCESS WITH A MINIMUM CLEAR OPENING OF 22"x30". PROVIDE MINIMUM HEAD CLEARANCE OF 30" WHERE SERVING MECHANICAL EQUIPMENT, THE MINIMUM SIZE OF A PULL-DOWN STAIRS IS 30"x54", AND HAVE A MINIMUM LOAD CAPACITY OF 350 LBS.
- LOCATE WATER HEATER(S) IN ATTIC ABOVE A LOAD BEARING PARTITION, IN A PAN WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE. INSTALLATION TO CONFORM WITH IRC 2012.
- LOCATE H.V.A.C. EQUIPMENT IN ATTIC.
- PROVIDE 24" WIDE PLYWOOD WALKWAY TO ACCESS ALL MECHANICAL EQUIPMENT LOCATED IN ATTIC. MAXIMUM DISTANCE FROM ATTIC ACCESS TO EQUIPMENT SHALL NOT EXCEED 20'-0". PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF ALL EQUIPMENT IN ATTIC.
- ALL INSULATION SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY RATING NOT TO EXCEED 450.
- PROVIDE ADEQUATE FURRING SO VENT AND SOIL PIPES DO NOT PENETRATE PLATES. ALL PLUMBING VENTS SHALL EXIT THROUGH A ROOF PLANE THAT SLOPES TO THE BACK.

SYMBOLS

SECTION CUTS	CABINETS & WALL RELATIONS	FIRE WALL TYPES
AB	AB	AB
SHEET LOCATION	SHEET LOCATION	SHEET LOCATION

LINE LEGEND

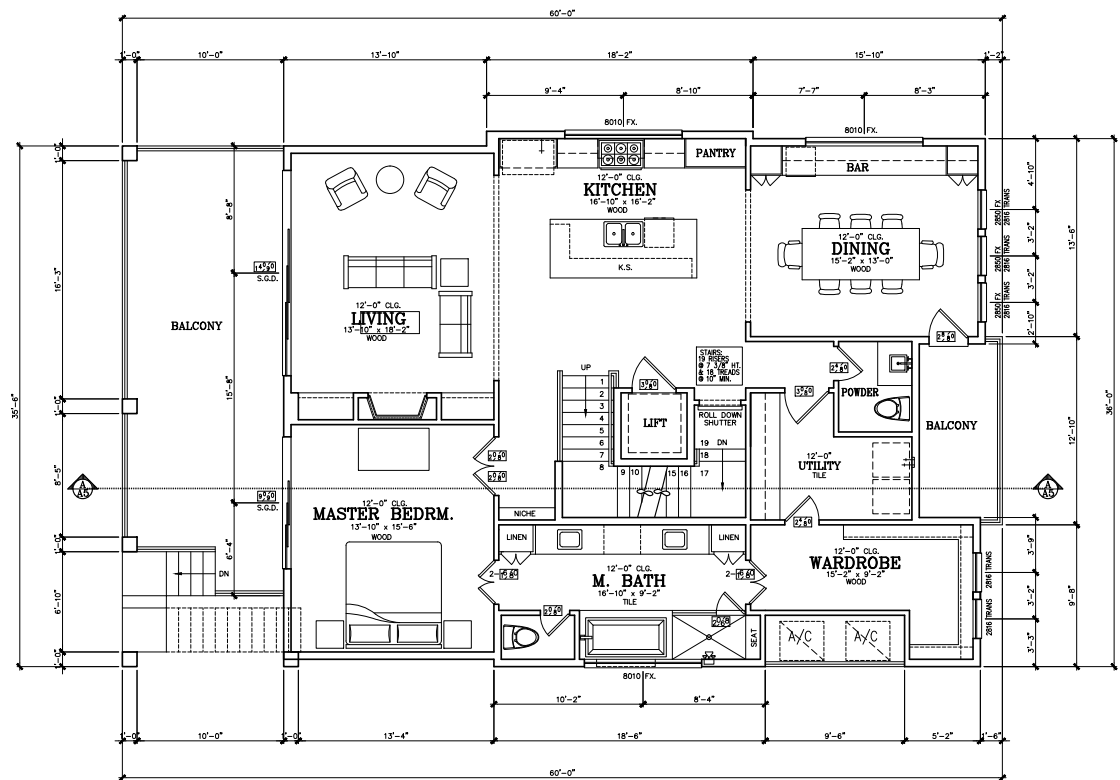
WALLS:	4" STUD WALL	WALL
	6" STUD WALL	WALL
CEILINGS:	DESIGNATION FOR FURRED DOWN CLG.	DOUBLE ROD & SHELF WALL
	DESIGNATION FOR OPEN FRAMING	UPPER CABINETS
	18" ABOVE COUNTERTOP TOP	COUNTERTOP @ 36" HT. TOP
	(RODS & SPRINGS)	

SQUARE FOOTAGES

FIRST FLOOR:	188
SECOND FLOOR:	1631
THIRD FLOOR:	1256
TOTAL LIVING:	3075
GARAGE:	418
PORCH:	25
TOTAL SLAB:	651
COV. BALCONIES:	69+112=181
COVERED TERRACE:	366
UNCOVERED TERRACE:	156
TOTAL AREA:	4221

Corbin Broesche
 13820 Doubloon Avenue
 Galveston, TX 77554
 JOB # D0627-3 A3.1
 BANK SET ISSUE DATE: 10-4-18

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SECOND FLOOR
 SCALE: 1/4" = 1'-0" 12'-0" CEILINGS UNO.
 SUGGESTED FLOOR SYSTEM: 18" TRUSSES

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 DESIGN + PLANNING
 2018 Anderson Canyon, LLC
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 Galveston, TX 77554
 Phone: 775-662-2100
 www.andersoncanyon.com

SCHEDULES BUILDER AND/OR OWNER TO FILL OUT THE FOLLOWING:

DOOR SCHEDULE:	SEE NOTES ON PLAN.
EXTERIOR DOORS:	SEE NOTES ON PLAN.
WINDOW SCHEDULE:	SEE NOTES ON PLAN.
FRAME TYPE:	SEE AS NOTED ON PLAN.
GLASS:	SEE AS NOTED ON PLAN.
EXTERIOR FINISH:	SEE AS NOTED ON PLAN.
EXTERIOR TRIM:	SEE AS NOTED ON PLAN.
ROOM FINISH SCHEDULE:	SEE AS NOTED ON PLAN.
THE FLOOR AT ALL SET AREAS, SEE WALLS AT THE WALL TO THE WALLS AND FLOOR IN ROOMS SHALL BE SYNTHETIC MARBLE OR SIM. GRANITE TIPS AND ALL CASES SHALL HAVE SYNTHETIC MARBLE.	
SEE FINISH SCHEDULE FOR USE OF BRICK CLAYERS.	
OR - AS NOTED ON PLAN.	
OR - AS NOTED IN DETAILS, SPEC. BETWEEN OWNER & BUILDER.	

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 - CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON THE PLAN.
 - ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO OUTSIDE OR STORM SEWER (DO NOT CONNECT TO SANITARY SEWER).
 - PROVIDE PLUMBING ACCESS PANEL AT ALL BATHUBS PER IRC 2012 SECTION 210.4.
 - ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2012.
 - SEE STAR NOTES AND DETAILS - LAST SHEET, CONFORM TO IRC 2012, 2008 AMENDMENT SECTION 1003.3.11, EXCEPTION 4. PROVIDE CONTINUOUS RAILING WHEN THERE ARE 4 OR MORE RISERS.
 - PROVIDE ATTIC ACCESS WITH A MINIMUM CLEAR OPENING OF 22"x30". PROVIDE MINIMUM HEAD CLEARANCE OF 30" WHERE SERVING MECHANICAL EQUIPMENT. THE MINIMUM SIZE OF A PULL-DOWN STAIRS IS 30"x54", AND HAVE A MINIMUM LOAD CAPACITY OF 350 LBS.
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SYMBOLS

SECTION CUTS	CABINETS & WALL ELEVATIONS	FIRE WALL TYPES
1/2" SECTION CUT	1/2" CABINETS & WALL ELEVATIONS	1/2" FIRE WALL TYPES
1/4" SECTION CUT	1/4" CABINETS & WALL ELEVATIONS	1/4" FIRE WALL TYPES
1/8" SECTION CUT	1/8" CABINETS & WALL ELEVATIONS	1/8" FIRE WALL TYPES
1/16" SECTION CUT	1/16" CABINETS & WALL ELEVATIONS	1/16" FIRE WALL TYPES

LINE LEGEND

WALLS:	4" STUD WALL	GLAZINGS:	WALL
	6" STUD WALL		ROD & SHELF
CEILINGS:	DESIGNATION FOR FURRED DOWN CLG.		DOUBLE ROD & SHELF
	DESIGNATION FOR OPEN FINISH ABOVE (STAIR WOODS & OPENINGS).		CABINETS:
			UPPER CABINET
			18" ABOVE COUNTERTOP TOP
			COUNTERTOP @ 36" HT. TYP.

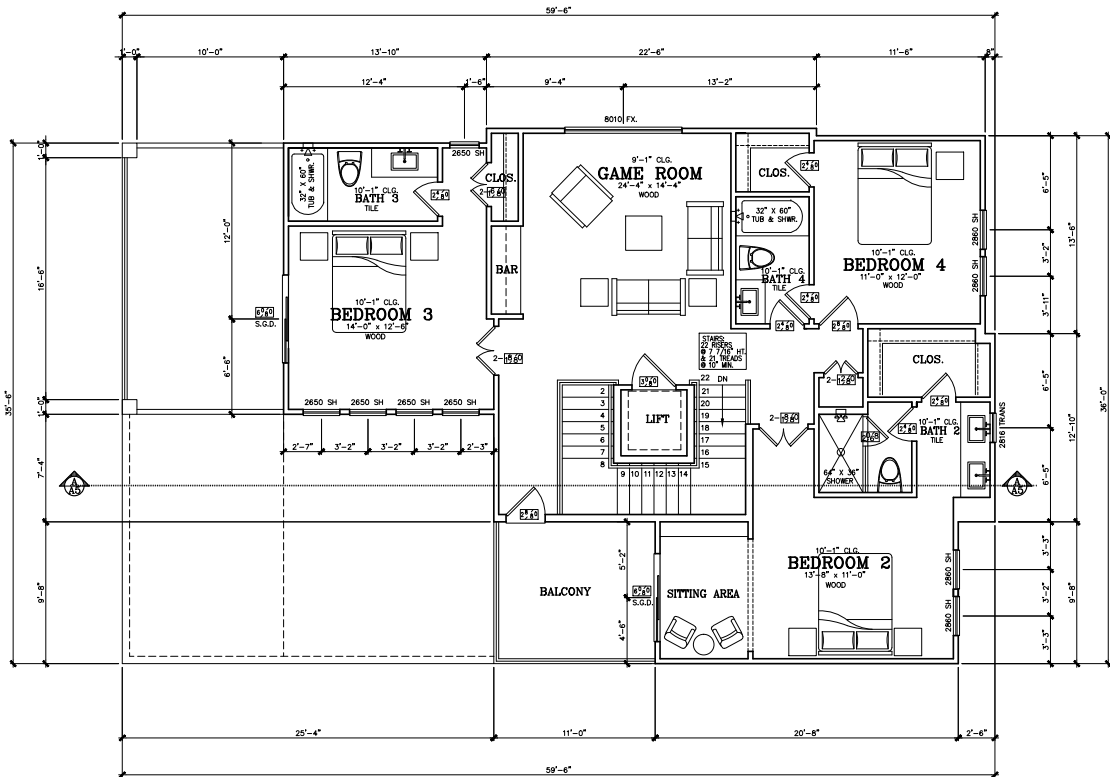
SQUARE FOOTAGES

FIRST FLOOR:	188
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THIRD FLOOR:	1256
TOTAL LIVING:	3075
GARAGE:	418
PORCH:	25
TOTAL SLAB:	631
COV. BALCONIES:	69+112=181
COVERED TERRACE:	366
UNCOVERED TERRACE:	156
TOTAL AREA:	4221

Corbin Broesche
 13820 Doubloon Avenue
 Galveston, TX 77554

JOB #	A3.2
DO627-3	
BANK SET	ISSUE DATE: 10-4-18

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THIRD FLOOR
 SCALE: 1/4" = 1'-0" 10'-11" REVISIONS I.N.O. SUGGESTED FLOOR SYSTEM: 18" TRUSSES

ANDERSON CANYON, LLC
 DESIGN + PLANNING
 201 South Main Street, Suite 200, Galveston, TX 77554
 Phone: 775-622-2224
 Email: info@andersoncanyon.com
 Website: www.andersoncanyon.com

SCHEDULES BUILDER AND/OR OWNER TO FILL OUT THE FOLLOWING:

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GLASS:	SEE AS NOTED ON PLAN
EXTERIOR TRIM:	SEE AS NOTED ON PLAN
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THE SCOPE OF ALL SET AREAS, RE WALLS AT THE WALLS AND FLOOR IN ROOMS SHALL BE SYNTHETIC MARBLE OR SIM. GRANITE TIPS AND ALL CASES SPRINGS TO HAVE SYNTHETIC MARBLE.	
SEE: - OR - AS NOTED ON PLAN	
SEE: - OR - AS NOTED IN DETAILS, SPECIES BETWEEN OWNER & BUILDER.	

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 - PROVIDE PLUMBING ACCESS PANEL AT ALL BATH/TUBS PER IRC 2012 SECTION P2704.
 - ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2012.
 - SEE STAR NOTES AND DETAILS - LAST SHEET, CONFORM TO IRC 2012, 2004 AMENDMENT SECTION 1003.3.1.1, EXCEPTION 4; PROVIDE CONTINUOUS RAILING WHEN THERE ARE 4 OR MORE RISERS.
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SYMBOLS

SECTION CUTS	CABINETS & WALL ELEVATIONS	FIRE WALL TYPES
SHEET LOCATION	SHEET LOCATION	SHEET LOCATION

LINE LEGEND

WALLS:	4" STUD WALL	CLASSETS:	WALL
	6" STUD WALL		ROD & SHELF
			WALL
CEILING:	DESIGNATION FOR FURRED DOWN CLG.	CABINETS:	DOUBLE ROD & SHELF
	DESIGNATION FOR OPEN FRAMING ABOVE (STAIR WALKWAY & OPENINGS)		UPPER CABINET
			COUNTERTOP @ 36" HI. TYP.

SQUARE FOOTAGES

FIRST FLOOR:	188
SECOND FLOOR:	1631
THIRD FLOOR:	1256
TOTAL LIVING:	3075
GARAGE:	418
PORCH:	25
TOTAL SLAB:	651
COV. BALCONIES:	69+112 = 181
COVERED TERRACE:	366
UNCOVERED TERRACE:	156
TOTAL AREA:	4221

Corbin Broesche
 13820 Doubloon Avenue
 Galveston, TX 77554
 JOB # D0627-3 A3.3
 BANK SET ISSUE DATE: 10-4-18

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ANDERSON CANYON, LLC
 DESIGN + PLANNING

800 Lovell Blvd., Suite 200 Houston, Texas 77064 Phone: 713.982.2208 Fax: 713.982.2209

DATE: 11-15-2018
 DRAWN BY: J. BROWN
 CHECKED BY: J. BROWN



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

ELEVATION NOTES REFERENCE 2012 IRC

- 1) ALL DRAWINGS HERE REFERENCE THE 2012 INTERNATIONAL BUILDING CODE.
- 2) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY ANDERSON CANYON, LLC OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.
- 3) ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THIS DOCUMENT.
- 4) ALL EGRESS WINDOW SILLS TO BE A MAXIMUM OF 4" ABOVE FINISHED FLOOR. MINIMUM WINDOW OPENINGS ARE 20" HIGH, 20" WIDE AND MINIMUM 57 SQ. FT. NET CLEAR OPENING. WHERE DOORS ARE USED AS EGRESS, KEY LOCKING HARDWARE MAY BE USED (2018 IRC). ALL OPERABLE WINDOW SILL HEIGHT TO BE A MIN. OF 20" OF FINISHED FLOOR AT SECOND FLOOR & ABOVE.
- 5) ALL WINDOW HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. HEAD HEIGHTS IN STAIRWELLS TAKEN FROM (FIRST) FLOOR LEVEL (AT THE STAIRWELL).
- 6) OPENINGS ON A ONE-HOUR FIRE-RATED EXTERIOR WALL SHALL BE PROTECTED WITH AN ASSEMBLY HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 3/4 HOUR. SEE IRC 2012, SECTIONS 714.3.7 AND 714.3.9 AND TABLE 714.2 EXTERIOR WALLS, PENETRATIONS INTO OR THROUGH FIRE-RATED WALLS SHALL CONFORM WITH IRC 2012, SECTION 717.1. BUILDER TO DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO THE LOCAL AUTHORITY (GLASS BLOCK SELECTION AT YOUR CHOICE).
- 7) ALL RAILING (WOOD, METAL OR PRECAST) TO HAVE >4" MAXIMUM SPACING BETWEEN BALUSTERS (SPINDLES) AND TO CONFORM WITH IRC 2012. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR MINIMUM LIVE LOAD FOUND IN IRC 2012 AND ON THE LAST SHEET OF THIS DOCUMENT.
- 8) EXTERIOR GUARDS TO HAVE RAILING NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 96" DISTANCE FROM TOP OF CHAIR TO BOTTOM OF LOWEST RUNNER. MAXIMUM UNSUPPORTED SPAN OF ONE RUNNER SHALL BE 6'-0".
- 9) ROOF PLATE HEIGHTS TAKEN FROM NOMINAL (FIRST) FLOOR (SLAB) LEVEL, UNLESS NOTED OTHERWISE.
- 10) ALL BRICK OR PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC 2012, CHAPTER 10, AND ALL U.L. AND I.C.B.A. APPROVED CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF LINE WITHIN A 10'-0" RADIUS, OR 3'-0" FROM ANY ROOF LINE (ROCKE) CHIMNEY (PIPCO) SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SEPARATE LINES.
- 11) PROVIDE SPARK ARRESTORS AT CHIMNEY, MESH TO HAVE MAXIMUM GAP OF 1/2" MINIMUM GAP OF 3/8" AND TO CONFORM WITH IRC 2012, SECTION 10.
- 12) ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4'-0" FROM ANY PROPERTY LINE OR COMMON WALL. DISTANCE OF GAS VENT PIPES THROUGH AN EXTERIOR WALL TO PENETRATIONS INTO OR THROUGH EXTERIOR WALL TO BE A MINIMUM OF 4'-0" FROM THE PROPERTY LINE OR COMMON WALL.

PRIMARY EXTERIOR MATERIAL: STUCCO
 SECONDARY EXTERIOR MATERIAL: LIMESTONE WAINSCOT
 ROOF MATERIAL: METAL SEAM ROOF
 ALL DOOR AND WINDOW ASSEMBLIES TO HAVE MATCHING STUCCO MOLD OR EQUAL SURROUNDS.
 MATCH TRANSOMS TO UNITS BELOW.
 HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL.
 SLOPE BALCONIES FOR DRAIN OFF.
 PROVIDE SECURITY HINGES ON ALL OUT-SWINGING EXTERIOR DOORS.
 STUCCO EXPANSION JOINT FREQUENCY AND LOCATION PER MANUF.'S INSTALLATION INSTRUCTIONS.

SQUARE FOOTAGES

FIRST FLOOR:	188
SECOND FLOOR:	1631
THIRD FLOOR:	1256
TOTAL LIVING:	3075
GARAGE:	418
PORCH:	25
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COV. BALCONIES:	69+112 = 181
COVERED TERRACE:	366
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TOTAL AREA:	4221

Corbin Broesche
 13820 Doubloon Avenue
 Galveston, TX 77554

JOB # D0627-3 A41
 BANK SET ISSUE DATE: 10-4-18

IBC - GLAZING IN HAZARDOUS LOCATIONS

- IBC SECTION 2406.3 HAZARDOUS LOCATIONS -- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:
- GLAZING IN SWINGING DOORS EXCEPT ALCOHOLES
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD CLOSET DOOR ASSEMBLIES
 - GLAZING IN STORM DOORS
 - GLAZING IN ALL UNFRAMED SWINGING DOORS
 - GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS
 - GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN IN THE LOCATIONS DESCRIBED IN ITEMS 5 AND 6 ABOVE, THAT MEETS ALL THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANEL LARGER THAN 9 SQUARE FEET
 - BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
 - TOP EDGE MORE THAN 36 INCHES ABOVE THE FLOOR
 - ALL GLAZING IN WALLS PERPENDICULAR TO THE PLANE OR HORIZONTALITY OF THE GLAZING
 - GLAZING IN BALUSTERS AND SPINDS
 - GLAZING IN BALUSTERS AND SPINDS ENCLOSED INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANELS IN MULTIPLE GLAZING
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMP WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE
 - GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD
 - EXCEPTION: THE FOLLOWING PRODUCTS, MATERIALS AND USES ARE EXEMPT FROM THE ABOVE HAZARDOUS LOCATIONS:
 - OPENINGS IN DOORS THROUGH WHICH A 3-INCH SPHERE IS UNABLE TO PASS
 - DECORATIVE GLASS IN ITEMS 1, 6 OR 7
 - GLAZING IN ITEM 8, WHEN THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND THE GLAZING
 - GLAZING IN ITEM 6, IN WALLS PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION OTHER THAN THE WALL-TOWARD WHICH THE DOOR SWINGS WHEN OPENED, OR WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET OR LESS IN DEPTH. GLAZING IN THESE APPLICATIONS SHALL COMPLY WITH ITEM 7
 - GLAZING IN ITEMS 7 AND 10 WHEN A PROTECTIVE BAR IS INSTALLED ON THE ACCESSIBLE SIDE(S) OF THE GLAZING 36 INCHES 1/4" - 2 INCHES ABOVE THE FLOOR. THE BAR SHALL BE CAPABLE OF WITHSTANDING A HORIZONTAL LOAD OF 50 POUNDS PER LINEAR FOOT WITHOUT CONTACTING THE GLASS AND BE A MINIMUM OF 1-1/2 INCHES IN HEIGHT
 - MULTIPLE GLAZED PANELS IN ITEM 7, WHEN THE BOTTOM EDGE OF THE GLASS IS 36 FEET OR MORE ABOVE THE FLOOR
 - WALKING SURFACES, OR OTHER HORIZONTAL (WITHIN 45 DEGREES OF HORIZONTAL) SURFACE ADJACENT TO THE GLASS EXTERIOR
 - COVERED WINDOWS AND ALCOHOLES COMPLYING WITH THE REQUIREMENTS OF SECTION 2406.3
 - WINDOWS AND OTHER GLASS PANELS MOUNTED OR HUNG ON A SURFACE THAT PROVIDES A CONTINUOUS BACKING SUPPORT
 - SAFETY GLAZING IN ITEMS 10 AND 11, IS NOT REQUIRED WHERE:
 - THE SIDE OF A STAIRWAY, LANDING OR RAMP HAS A QUADRANT OR HANDRAIL, INCLUDING BALUSTERS OR IN-FILL PANELS, COMPLYING WITH THE PROVISIONS OF SECTIONS 1013 AND 1017.7 OF THE INTERNATIONAL BUILDING CODE, AND
 - THE PLANE OF THE GLASS IS MORE THAN 18 INCHES FROM THE RAILING; OR
 - WHEN A SOLID WALL OR PANEL EXTENDS FROM THE PLANE OF THE ADJACENT WALKING SURFACE TO 34 INCHES TO 36 INCHES ABOVE THE FLOOR AND THE CONSTRUCTION AT THE TOP OF THAT WALL OR PANEL IS CAPABLE OF WITHSTANDING THE SAME HORIZONTAL LOAD AS THE PROTECTIVE RAIL
 - GLASS BLOCK PANELS COMPLYING WITH SECTION 2101.2.5



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

SQUARE FOOTAGES

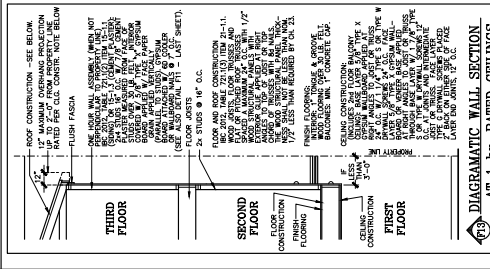
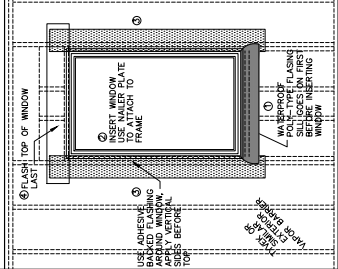
FIRST FLOOR:	188
SECOND FLOOR:	1631
THIRD FLOOR:	1256
TOTAL LIVING:	3075
GARAGE:	
PORCH:	418
TOTAL SLAB:	631
COV. BALCONIES:	69+112=181
COVERED TERRACE:	366
UNCOVERED TERRACE:	156
TOTAL AREA:	4221

Corbin Broesche
 13820 Doubloon Avenue
 Galveston, TX 77554

JOB # D0627-3 A4.2
 BANK SET ISSUE DATE: 10-4-18

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WINDOW FLASHING DETAIL



DIAGRAMMATIC WALL SECTION AT 1 Hr. RATED CEILING.
 SCALE: 1/4"=1'-0"

SQUARE FOOTAGES

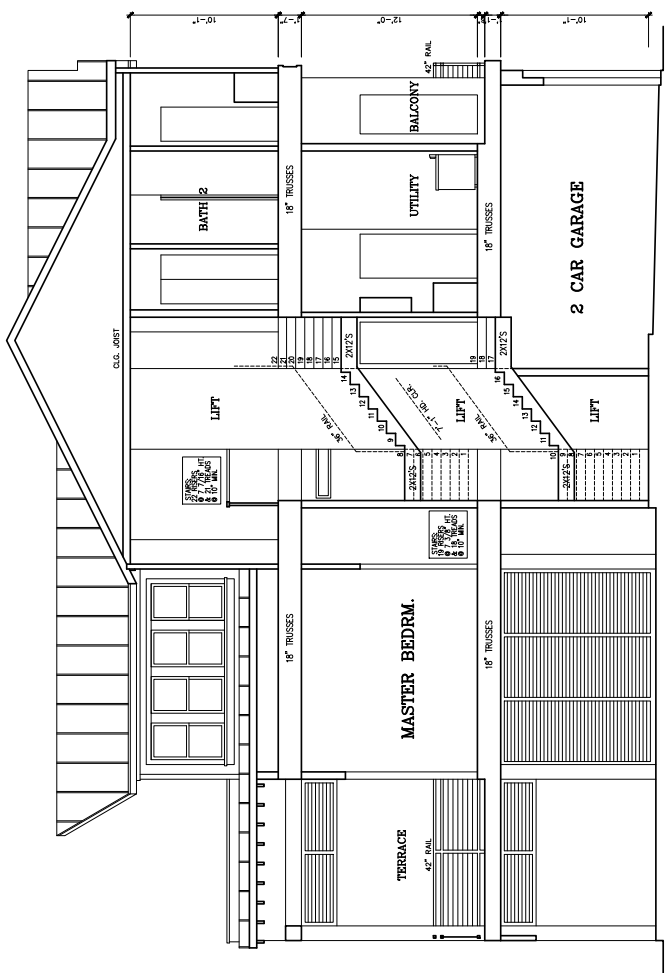
FIRST FLOOR:	188
SECOND FLOOR:	1631
THIRD FLOOR:	1296
TOTAL LIVING:	3075

GARAGE: 418
 PORCH: 625
 TOTAL: 4221

COVERED TERRACE: 366
 UNCOVERED TERRACE: 156
 TOTAL: 522

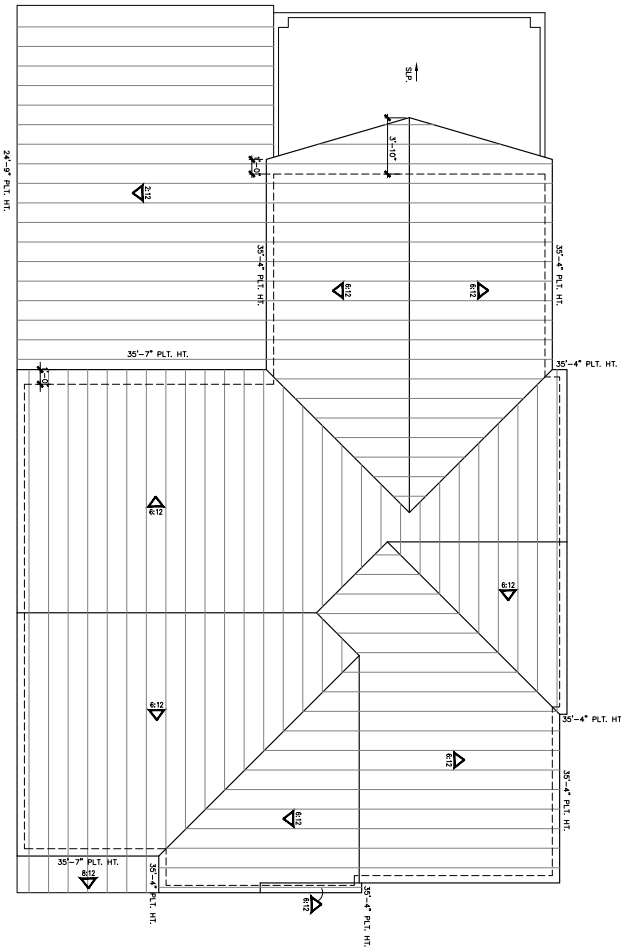
Corbin Broesche
 13829 Joubert Avenue
 Houston, TX 77054

408 # D0627-3 A5
 BANK SET ISSUE DATE: 10-4-18



SECTION A-A
 SCALE: 1/4" = 1'-0"

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ROOF PLAN

SCALE: 1/4" = 1'-0"
 RAISED PLATE DETAIL
 SQUARE FOOTAGES
 FIRST FLOOR: 188
 SECOND FLOOR: 1456
 THIRD FLOOR: 1256
 TOTAL LIVING: 3075
 GARAGE: 418
 PORCH: 23
 TOTAL SLAB: 631
 COV. BALCONIES: 69+112=181
 UNCOVERED TERRACE: 156
 TOTAL AREA: 4221

SQUARE FOOTAGES	
FIRST FLOOR:	188
SECOND FLOOR:	1456
THIRD FLOOR:	1256
TOTAL LIVING:	3075
GARAGE:	418
PORCH:	23
TOTAL SLAB:	631
COV. BALCONIES:	69+112=181
UNCOVERED TERRACE:	156
TOTAL AREA:	4221

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DSB # 1067-3 AB
 DRAWN SET ISSUE DATE: 10-4-18

AC

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RAISED PLATE DETAIL SCALE: 3/4" = 1'-0"

SOFFIT DETAILS SCALE: 1" = 1'-0"