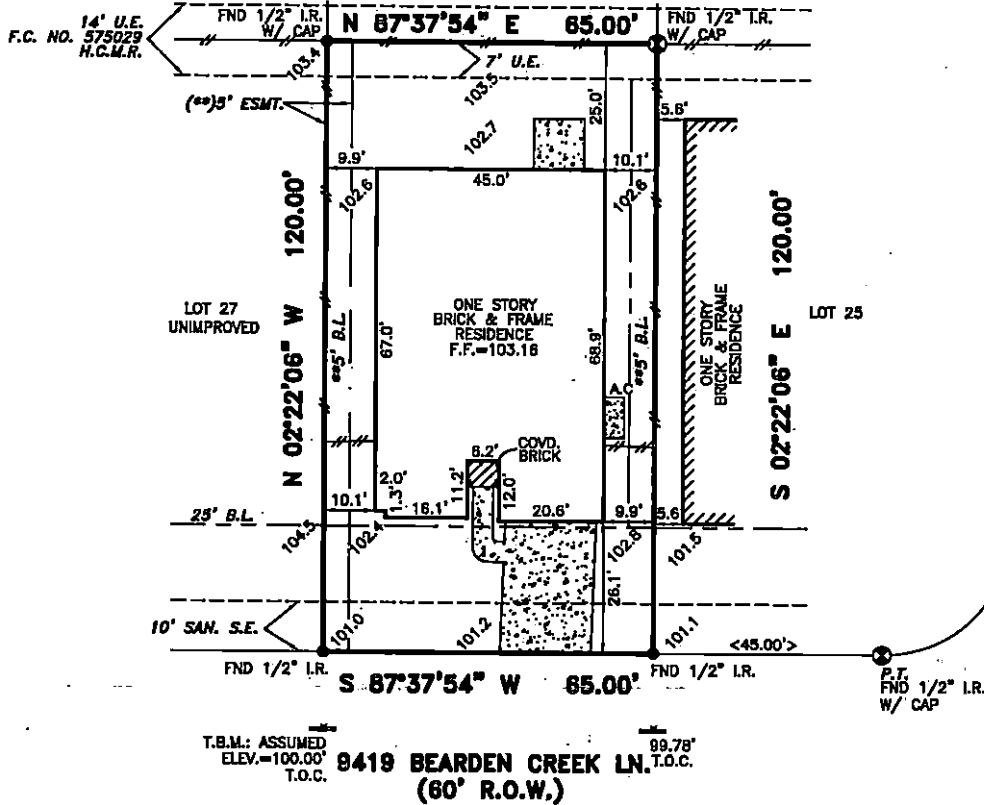




TRI-TECH SURVEYING CO., L.P.

10401 WESTOFFICE DRIVE HOUSTON, TEXAS. 77042
PHONE: (713) 667-0800

FALL CREEK SEC. 15
FILM CODE No. 575029,
H.C.M.R.



BARTON GROVE LN. (60' R.O.W.)

(**) CENTERPOINT ENERGY HOUSTON ELECTRIC ET AL EASEMENT AS DEFINED PER H.C.C.F.# Y739270.

*CITY OF HOUSTON CHAPTER 42 CODE OF ORDINANCES
**DEED RESTRICTIONS PER H.C.C. FILE NOS. U290044, V338181, & Y700591
***BUILDER GUIDELINES PER FALL CREEK

(*) ORIGINAL PLAT RECORDED PER FILM CODE NO. 575029, M.R.H.C.
NOTE: PROPERTY SUBJECT TO RECORDED RESTRICTIONS, REGULATIONS, & ORDINANCES IF ANY.

ALL FOUND ROD CAPS ARE STAMPED "BROWN AND GAY" UNLESS OTHERWISE NOTED.

ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.

A DRAINAGE EASEMENT 15' ON EACH SIDE OF THE CENTERLINE OF ALL NATURAL DRAINAGE COURSES IN THE ADDITION AS SHOWN ON RECORDED PLAT OF SAID ADDITION.

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS (F.I.R.M.'s). THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'s ACCURACY.

RESTRICTIVE COVENANTS AND EASEMENTS AS DEFINED PER FILM CODE NO. 588109, M.R.H.C.TX., H.C.C. FILE NOS. J040968, U290044, V338181, X374475, Y700589, Y700591, Y704056, Y739270, Y795402, Y983085, Y983086,
CITY OF HOUSTON ORDINANCE 85-1878 PER H.C.C.F.# N-253888 AND CITY OF HOUSTON ORDINANCE 88-1312 PER H.C.C.F.# M-337573 AND AMENDED BY CITY OF HOUSTON ORDINANCE 1988-262.

(~) SUBJECT PROPERTY LIES WITHIN ZONE "X500" PER PANEL 0406L REVISED 06-18-07, FLOOD INSURANCE RATE MAPS (F.I.R.M.).
ZONE "X" PER LOMR CASE NO. 04-08-A022A, DATED 10-07-04.

BEARINGS REFERENCED TO: PLAT NORTH.

THIS SURVEY IS VALID ONLY WITH ORIGINAL SIGNATURE AND EMBOSSED SEAL THIS SURVEY IS VALID FOR THIS TRANSACTION ONLY. © 2007 TRI-TECH SURVEYING CO., L.P.

LEGEND

- ☒ CONCRETE
- ☒ COVERED
- ☒ ASPHALT
- < > CALL
- IRON FENCE
- //— WOOD FENCE
- ◆ REVISION
- ⊗ CONTROLLING MONUMENT 09-27-06
- CHAIN LINK FENCE

ABSTRACT INFORMATION PROVIDED HEREON IS BELIEVED TO BE SUFFICIENT AND CORRECT BY THE UNDERSIGNED SURVEYOR, THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THE ENCUMBRANCES OF RECORD, AS REFLECTED ON THIS SURVEY ARE BASED ON THE RECORDED MAP OR PLAT AND TITLE INFORMATION PROVIDED BY CHICAGO TITLE CO./EXECUTIVE TITLE CO., LTD., G.F. No. 002781150, DATED 05-31-07.

I, the undersigned registered professional land surveyor, do hereby state that the plat shown hereon represents a boundary survey made on the ground under my guidance and supervision on the tract or parcel of land, according to the map or plat thereof, indicated below. drawn by: S. GUNAWAN

BOUNDARY SURVEY OF

ADDRESS: 9419 BEARDEN CREEK LN.

LOT: 26 BLOCK: 1 OF: FALL CREEK SEC. 15 PARTIAL REPLAT NO. 1

RECORDED IN FILM CODE NO.: (*) 586109 MAP RECORDS HARRIS COUNTY, TX

BORROWER: CHARLES E. WITCHET AND NANCY L. WITCHET

TITLE COMPANY CHICAGO TITLE/EXECUTIVE TITLE CO., LTD. G.F.# 002781150

SURVEYED FOR: PERRY HOMES, L.L.C.

F.I.R.M. MAP NO. 48201C PANEL# 0495J ZONE **X** (~) REVISED 11-6-96

DATE: 05-10-07 SCALE: 1" = 30' JOB NO. Y12883-06



05-10-07 SURVEYOR REGISTRATION