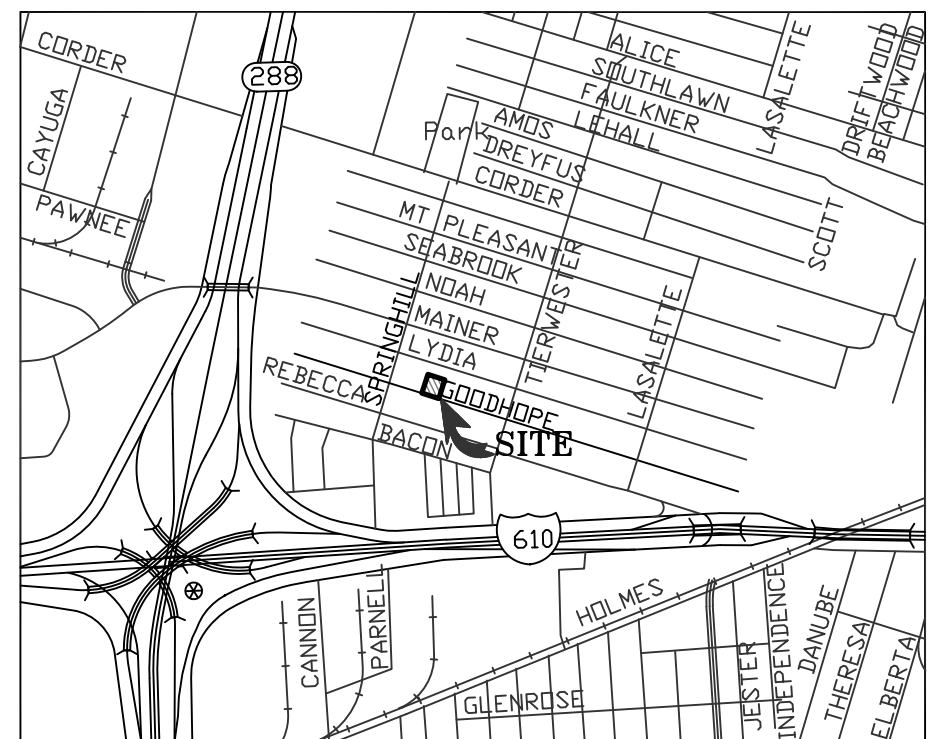
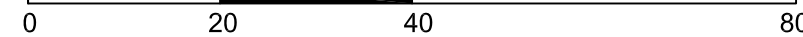
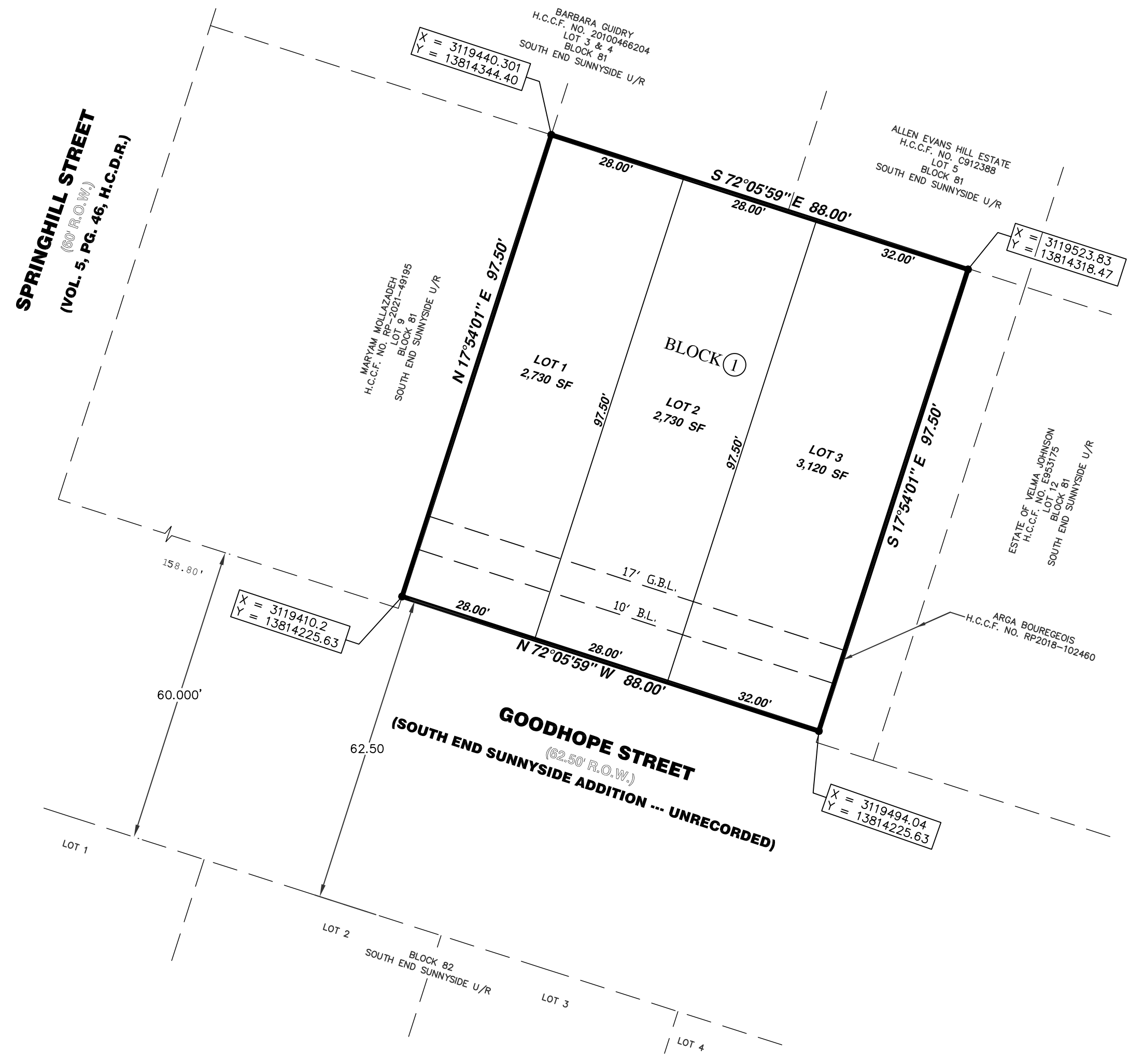


SCALE: 1" = 20'

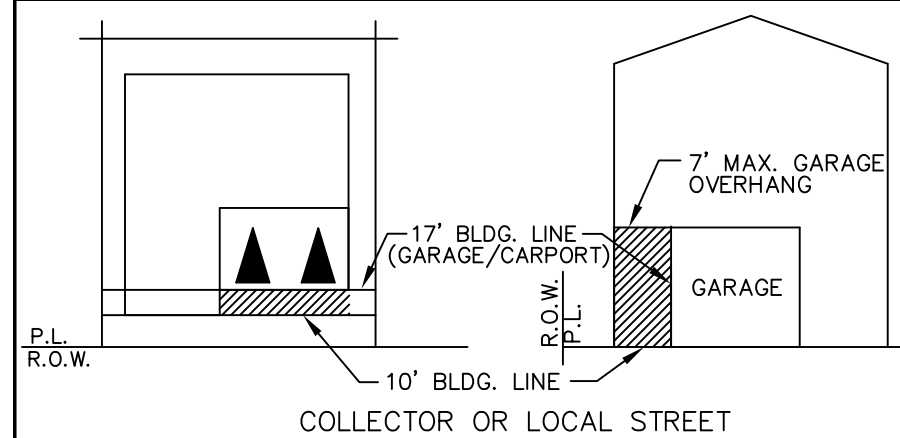


VICINITY MAP (NOT TO SCALE) KEY MAP 533Q



LEGEND:

- 1.) "B.L." INDICATES BUILDING LINE
2.) "U.E." INDICATES UTILITY EASEMENT
3.) "H.C.M.R." INDICATED HARRIS COUNTY MAP RECORDS
4.) "H.C.C.F." INDICATES HARRIS COUNTY CLERKS FILE
5.) "H.C.D.R." INDICATES HARRIS COUNTY DEED RECORDS
6.) "R.O.W." INDICATES RIGHT OF WAY
7.) "ESMT." INDICATES EASEMENT
8.) "H.L.& P." INDICATES HOUSTON LIGHTING & POWER COMPANY
9.) "o" INDICATES IRON ROD FOUND
10.) "•" INDICATES IRON ROD FOUND
11.) "G.B.L." INDICATES GARAGE BUILDING LINE



BUILDING LINE REQUIREMENTS: (SECTION 42-157, CHAPTER 42, CITY OF HOUSTON CODE OF ORDINANCES)

- 1. LOTS 1 AND 3, BLOCK 1 ARE RESTRICTED TO SINGLE FAMILY RESIDENTIAL USE.
2. A 10-FOOT BUILDING LINE IS ESTABLISHED FOR THE PRINCIPAL STRUCTURE ONLY.
3. A 17-FOOT BUILDING LINE IS FOR ANY CARPORT OR GARAGE FACING THE STREET.
4. THE BUILDING ABOVE THE CARPORT OR GARAGE MAY OVERHANG THE BUILDING UP TO 7- FEET.
5. REFERENCE ABOVE TYPICAL LOT LAYOUT.

STATE OF TEXAS COUNTY OF HARRIS WE, AE GEMINI PROPERTIES, LLC, A TEXAS LIMITED LIABILITY COMPANY, ACTING BY AND THROUGH ALIN SUN, MANAGER, BEING OFFICERS OF AE GEMINI PROPERTIES, LLC, A TEXAS LIMITED LIABILITY COMPANY...

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL ELEVEN FEET, SIX INCHES (11' 6") FOR TEN FEET (10' 0") PERIMETER GROUND EASEMENTS OR SEVEN FEET, SIX INCHES (7' 6") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES (5' 6") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS...

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS PLAT IS HEREBY RESTRICTED TO PREVENT THE DRAINAGE OF ANY SEPTIC TANKS INTO ANY PUBLIC OR PRIVATE STREET, PERMANENT ACCESS EASEMENT, ROAD OR ALLEY, OR ANY DRAINAGE DITCH, EITHER DIRECTLY OR INDIRECTLY.

FURTHER, OWNERS DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE ORIGINALLY INTENDED FOR CONSTRUCTION OF SINGLE FAMILY RESIDENTIAL DWELLING UNITS THEREON AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY.

FURTHER, OWNERS DO HEREBY DEDICATE TO THE PUBLIC A STRIP OF LAND FIFTEEN FEET (15'0") WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL BAYOUS, CREEKS, GULLIES, RAVINES, DRAWS, SLOUGHS OR OTHER NATURAL DRAINAGE COURSES LOCATED IN SAID PLAT, AS EASEMENTS FOR DRAINAGE PURPOSES...

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT ALL OF THE PROPERTY WITHIN THE BOUNDARIES OF THIS PLAT AND ADJACENT TO ANY DRAINAGE EASEMENT, DITCH, CULLY, CREEK OR NATURAL DRAINAGE WAY SHALL HEREBY BE RESTRICTED TO KEEP SUCH DRAINAGE WAYS AND EASEMENTS CLEAR OF FENCES, BUILDINGS, PLANTING AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE DRAINAGE FACILITY...

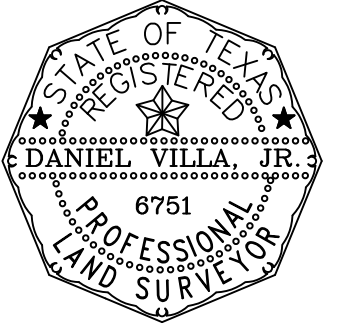
FURTHER, OWNERS HEREBY CERTIFY THAT THIS REPLAT DOES NOT ATTEMPT TO ALTER, AMEND, OR REMOVE ANY COVENANTS OR RESTRICTIONS. IN TESTIMONY WHEREOF, THE AE GEMINI PROPERTIES, LLC, A TEXAS LIMITED LIABILITY COMPANY HAS CAUSED THESE PRESENTS TO BE SIGNED BY ALIN SUN, ITS MANAGER, THIS DAY OF 2022.

AE GEMINI PROPERTIES, LLC, A TEXAS LIMITED LIABILITY COMPANY BY: ALIN SUN, MANAGER

STATE OF TEXAS COUNTY OF HARRIS BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ALIN SUN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS DAY OF 2022. X: NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES:

I, DANIEL VILLA, JR. AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND ACCURATE. THIS IS TO CERTIFY THAT THE PLANNING COMMISSION OF THE CITY OF HOUSTON, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF GOODHOPE TERRACE REPLAT NO 1 IN CONFORMANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE ORDINANCES OF THE CITY OF HOUSTON, AS SHOWN HEREON, AND AUTHORIZED THE RECORDING OF THIS PLAT THIS DAY OF 2022.



DANIEL VILLA, JR. TEXAS REGISTRATION NO. 6751

BY: MARTHA L. STEIN, CHAIR OR BY: M. SONNY GARZA, VICE CHAIRMAN

BY: MARGARET WALLACE BROWN, AICP, CNU-A, SECRETARY

I, TENESHIA HUDSPETH, COUNTY CLERK OF HARRIS COUNTY, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON 2022, AT O'CLOCK M., AND DULY RECORDED ON 2022, AT O'CLOCK M., AND AT FILM CODE NUMBER OF THE MAP RECORDS OF HARRIS COUNTY FOR SAID COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE, AT HOUSTON, THE DAY AND DATE LAST ABOVE WRITTEN.

TENESHIA HUDSPETH COUNTY CLERK OF HARRIS COUNTY, TEXAS

BY: DEPUTY

GOODHOPE TERRACE REPLAT NO 1

A SUBDIVISION OF 0.1969 ACRES (8,580 SQUARE FEET) OF LAND, A REPLAT OF LOTS 1 AND 2, BLOCK 1, OF THE GOODHOPE TERRACE, AN RECORDED SUBDIVISION RECORDED UNDER FILM CODE NO. 591133, HARRIS COUNTY, TEXAS.

REASON FOR REPLAT: TO CREATE THREE (3) SINGLE FAMILY RESIDENTIAL LOTS

LOTS: 3 BLOCK: 1 JUNE, 2022



OWNERS AE GEMINI PROPERTIES, LLC 1215 ANCRUM HILL LN SUGARLAND, TX 77479

TX ENGINEERING FIRM NO. F-22322 TX SURVEYING FIRM NO. 10194609 8118 FRY ROAD, SUITE 402 CYPRESS, TEXAS 77433 281.213.2517

T.B.P.E. FIRM # 19146 INQUIRY@CEENGINEERS.COM www.CEENGINEERS.com (O): 832-491-1458 CE ENGINEERS & DEVELOPMENT CONSULTANTS, INC.

(CEEDC PROJ 22-1013)

PLAT NOTES:

- 1) LOTS 1 THRU 3, BLOCK 1, ARE RESTRICTED TO SINGLE FAMILY RESIDENTIAL USES AS DEFINED BY CHAPTER 42 OF CITY OF HOUSTON CODE OF ORDINANCE.
2) UNLESS OTHERWISE INDICATED, THE BUILDING LINES, WHETHER ONE OR MORE, SHOWN ON THIS SUBDIVISION PLAT ARE ESTABLISHED TO EVIDENCE COMPLIANCE WITH THE APPLICABLE PROVISIONS OF CHAPTER 42, CODE OF ORDINANCES, CITY OF HOUSTON, TEXAS, IN EFFECT AT THE TIME THIS PLAT WAS APPROVED, WHICH MAY BE AMENDED FROM TIME TO TIME.
3) SINGLE FAMILY RESIDENTIAL SHALL MEAN THE USE OF A LOT WITH ONE BUILDING DESIGNED FOR AND CONTAINING NOT MORE THAN TWO SEPARATE UNITS WITH FACILITIES FOR LIVING, SLEEPING, COOKING, AND EATING THEREIN.
4) AT LEAST 150 SQUARE FEET OF PERMEABLE AREA IS REQUIRED PER LOT. 450 S.F. OF PERMEABLE AREA SHALL BE PROVIDED WITHIN THE BOUNDARY OF THIS SUBDIVISION. REFERENCE 42-1 PERMEABLE AREA DEFINITION.
5) THE NUMBER OF SINGLE FAMILY RESIDENTIAL DWELLING UNITS THAT CAN BE CONSTRUCTED SHALL NOT EXCEED AN EQUIVALENT DENSITY OF 27 UNITS TO THE GROSS ACRE OF LAND WITHIN THE BOUNDARIES OF THIS PLAT.
6) EACH LOT SHALL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ON EACH LOT. IN THOSE INSTANCES WHERE A SECONDARY DWELLING UNIT IS PROVIDED ONLY ONE ADDITIONAL OFF-STREET PARKING SPACE SHALL BE PROVIDED.
7) ALL LOTS SHALL HAVE ADEQUATE WASTEWATER COLLECTION SERVICES.
8) NO BUILDING PERMIT OR OTHER PERMIT, EXCEPT PERMITS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS, WILL BE ISSUED BY THE CITY OF HOUSTON, TEXAS, FOR CONSTRUCTION WITHIN THE SUBDIVISION UNTIL SUCH TIME AS THE FUNDS REQUIRED UNDER PROVISIONS OF SECTION 42-25.3 OF THE CODE OF ORDINANCES OF THE CITY OF HOUSTON, TEXAS, HAS BEEN SUBMITTED AND ACCEPTED BY THE CITY.
9) THIS PROPERTY IS LOCATED IN PARK SECTOR NUMBER 15.
10) THIS PERCENTAGE IS 100% SHALL BE APPLIED TO THE THEN-CURRENT FEE IN LIEU OF DEDICATION.
11) THE THEN-CURRENT FEE IN LIEU OF DEDICATION SHALL BE APPLIED TO THIS NUMBER (3 UNIT) OF DWELLING UNITS.

- 12) THE COORDINATES SHOWN HEREON ARE TEXAS SOUTH CENTRAL ZONE, NO. 4204 STATE PLAN GRID COORDINATE (NAD83) AND MAY BE BROUGHT TO SURFACE BY APPLYING THE FOLLOWING COMBINED SCALE 0.9998355.
13) ABSENT WRITTEN AUTHORIZATION BY THE AFFECTED UTILITIES, ALL UTILITY AND AERIAL EASEMENTS MUST BE KEPT UNOBSTRUCTED FROM ANY NON-UTILITY IMPROVEMENTS OR OBSTRUCTIONS BY THE PROPERTY OWNER. ANY UNAUTHORIZED IMPROVEMENTS OR OBSTRUCTIONS MAY BE REMOVED BY ANY PUBLIC UTILITY AT THE PROPERTY OWNER'S EXPENSE. WHILE WOODEN POSTS AND PANELED WOODEN FENCES ALONG THE PERIMETER AND BACK TO BACK EASEMENTS AND ALONGSIDE REAR LOTS LINES ARE PERMITTED, THEY TOO MAY BE REMOVED BY PUBLIC UTILITIES AT THE PROPERTY OWNER'S EXPENSE SHOULD THEY BE AN OBSTRUCTION. PUBLIC UTILITIES MAY PUT SAID WOODEN POSTS AND PANELED WOODEN FENCES BACK UP, BUT GENERALLY WILL NOT REPLACE WITH NEW FENCING.
14) BEARINGS SHOWN HEREON ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983, (NAD83) SOUTH CENTRAL ZONE (FIPS 4204) PER GPS OBSERVATIONS

PARKS AND OPEN SPACE TABLE

Table with 2 columns: Item, Value. A: I HEREBY CERTIFY THAT THE INFORMATION PROVIDED IS TRUE. B: NUMBER OF EXISTING DWELLING UNITS (DU) 0. C: NUMBER OF PROPOSED DU 3. D: INCREMENTAL NUMBER OF DU (C-B) 3.

NO LAND IS BEING ESTABLISHED AS PRIVATE PARK OR DEDICATED TO THE PUBLIC FOR PARK PURPOSES.

DWELLING UNIT DENSITY TABLE

Table with 3 columns: Dwelling Units, Total Gross Acreage, Total Proj. Density (Units per Ac.). Row 1: 3, 0.1969 ACRES, 15.23.

LOT SIZE AND COVERAGE TABLE

Table with 4 columns: Lot No., Lot Size (Square Feet), % Coverage Not to Exceed, Max Building Pad Coverage Not to Exceed (Sq Foot). Rows for Lot 1 (2,730 SF, 60% MAX, 1,638), Lot 2 (2,730 SF, 60% MAX, 1,638), Lot 3 (3,120 SF, 60% MAX, 1,872).