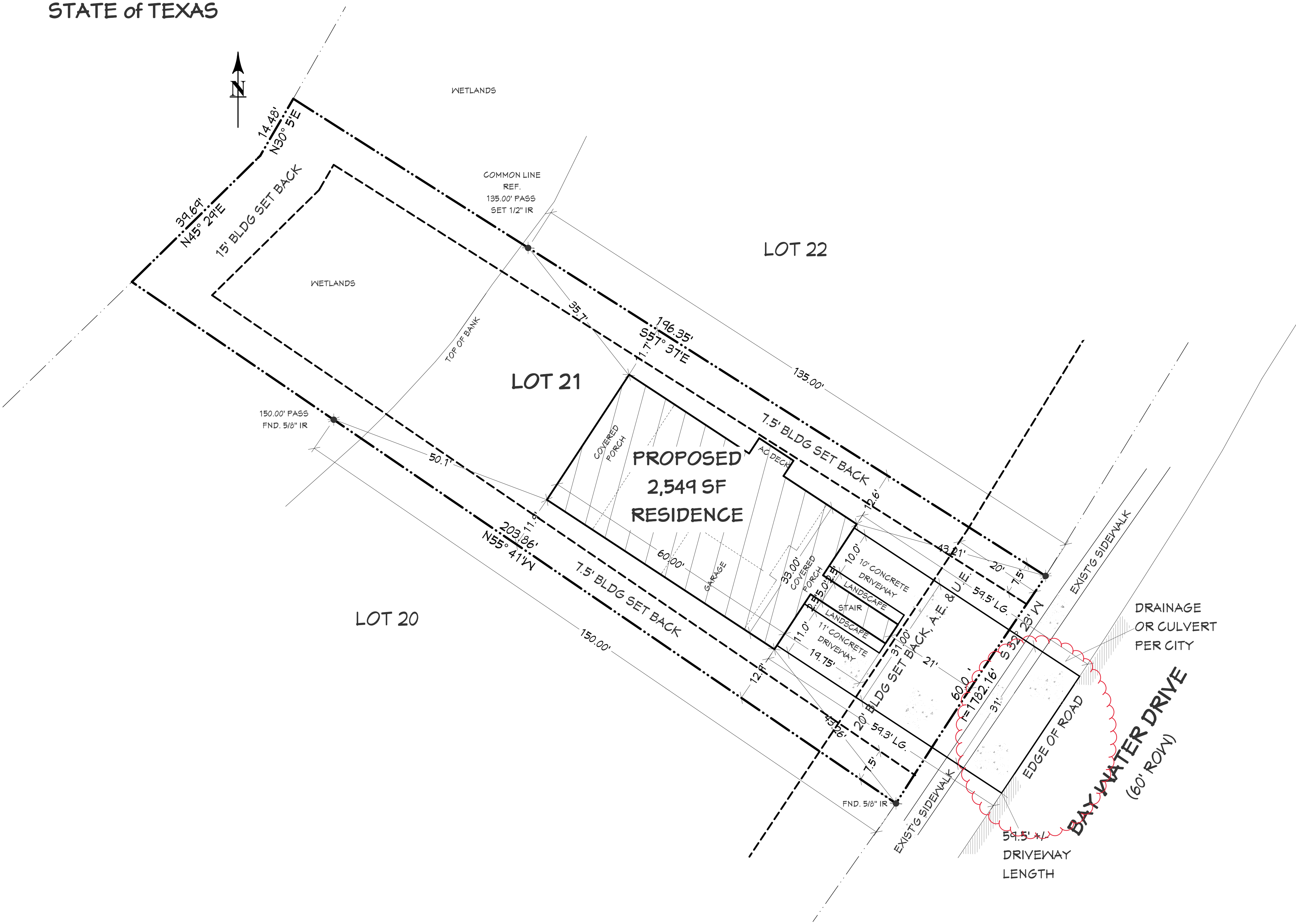


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**WEST GALVESTON BAY
(TIDAL WATER)
STATE OF TEXAS**



REFER TO SURVEY PROVIDED BY
REGISTERED PROFESSIONAL
LAND SURVEYOR

PLOT PLAN
SCALE: 1" = 12'

SITE NOTES:

1. REFER TO LOT SURVEY FOR PROPERTY CORNER LOCATIONS.
2. CONSTRUCTION TO MEET OR EXCEED FEMA F.I.R.M. BASE FLOOD ELEVATION. FOR SITE ELEVATION AND F.I.R.M. B.F.E. REQUIREMENTS, REFER TO ELEVATION CERTIFICATE or NATURAL GROUND LETTER PROVIDED BY REGISTERED PUBLIC LAND SURVEYOR.

FIRM BASE FLOOD ELEVATION 15' PER LAURENCE C. WALL, PLS #4814, COMM. NO. 485469, MAP NO. 48167C, PANEL 05766, ZONE VE, EL. 15' & 16'. REFER ALSO TO SURVEY PLAT.

NEW CONSTRUCTION BOTTOM OF STRINGER (LOWEST HORIZONTAL STRUCTURAL MEMBER) NOT LESS THAN 2' ABOVE BFE, PER FEMA / FIRM RECOMMENDATIONS.
NEW CONSTRUCTION FINISH FLOOR ELEVATION NOT LESS THAN 4' ABOVE BFE. REFER TO ELEVATION VIEWS FOR DETAILS.

3. PILING PLAN PROVIDED FOR BIDDING PURPOSES ONLY. PILING LOCATIONS AND BUILDING STRUCTURE TO BE REVIEWED AND APPROVED BY TDI WINDSTORM CERTIFIED, REGISTERED PROFESSIONAL ENGINEER, NOT PROVIDED HEREIN.

REQ'D FOR HOUSE: 28) 12 X 12 X 26' LG.
(OR LENGTH AS REQ'D BY ENGINEER PER SITE CONDITIONS)

DOUBLE 2 X 12 (STRINGERS) ARE REQUIRED EACH SIDE OF PILING BELOW LIVING AREA, NOTCHED TO FIT. 4) 3/4" DIA. STUD BOLTS AND NUTS ARE REQUIRED AT EACH STRINGER TO PILING CONNECTION. SEE DETAILS. SINGLE STRINGER EA. SIDE IS ACCEPTABLE BELOW PORCH DECK OR PER ENGINEER.

4. NO ENCROACHMENT OF BUILDING SETBACK LINES OR EASEMENT IS PERMITTED BY CITY OR SUBDIVISION COVENANTS AND RESTRICTIONS.

5. EDGE OF STRUCTURE, NOT INCLUDING ROOF OVERHANG, NOT TO EXCEED EDGE OF STRINGER IN EXCESS OF 6", EXCEPT AS NOTED.

6. GARAGE ENCLOSURE SHALL BE BREAKAWAY CONSTRUCTION AND LOUVERED AS NECESSARY TO MEET FEMA & STATE WINDSTORM INSURANCE CODE FOR VE FLOOD ZONE.

7. GROUND FLOOR TOP OF CONCRETE TO BE 1' MIN. ABOVE CROWN OF STREET. CONCRETE SLAB BELOW HOUSE TO MEET FEMA CODE REQMTS (4' X 4' MAX.) IF WITHIN 200' PROXIMITY TO GULF.

8. DRAINAGE (OR CULVERT) AT DRIVEWAY PER MUNICIPALITY REQ'MTS.

9. EXTERIOR SHOWER IS TO BE INSTALLED AS PASSIVE DRAIN; WILL SLOPE TO DRAIN OFF EDGE OF SLAB, AND WILL NOT BE CONNECTED TO THE PUBLIC SEWER SYSTEM.

REV. 03.30.2021, ARB REQUESTS
REV. 12.13.2021, DRIVEWAY

Sht. 1
File: CAYSON_ GRAYE_HERON_ plan

www.SeasideHomeDesign.com
Carolin@SeasideHomeDesign.com
409-632-0381

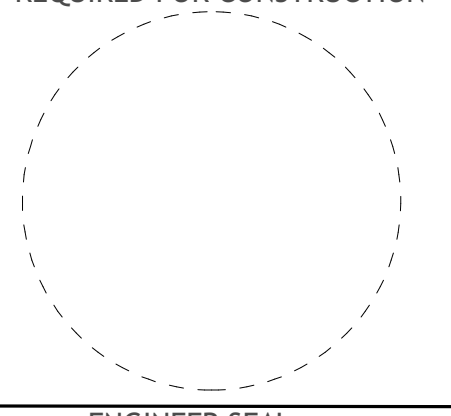
SEASIDE HOME DESIGN, LLC
RR 4 Box 225D3
Galveston, TX 77554

2215 SE 28th Terrace
Cape Coral, FL 33904

CAYSON GRAYE HOMES - 2,549 SF
Lot 21, Block 3, Pointe West Subdv.
26738 Bay Water Dr. Galveston, TX 77554

SITE PLAN & NOTES

APPROVAL BY T.D.I. ENGINEER
REQUIRED FOR CONSTRUCTION



ENGINEER SEAL

DESIGN BY:
Carolin J. Santangelo

DATE: 01.11.2021
REV. 03.30.2021, 12.13.2021
DRIVEWAY, SHT 1&2

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CONCRETE NOTES:

ALL CONCRETE WORK SHALL COMPLY WITH BUILDING CODE REQUIREMENT FOR REINFORCED CONCRETE, AND AS SPECIFIED BY STRUCTURAL ENGINEER. ALL CONCRETE SHALL BE NORMAL WEIGHT AGGREGATE WITH MINIMUM TWENTY EIGHT (28) DAYS COMPRESSIVE STRENGTH @ 3000 PSI AND CONFORM TO ASTM C-94-86, FIVE SACK PER CUBIC YARD, SLUMP BETWEEN THREE AND FOUR INCHES (ADD NO WATER AT JOB SITE). CONCRETE SHALL BE CURED FOR SEVEN (7) DAYS AFTER PLACEMENT. **REINFORCING STEEL:** ALL REINFORCED STEEL SHALL COMPLY WITH ASTM A-615, GRADE 60, EXCEPT #3, OR #4 BARS, WHICH ARE BENT (STIRRUPS, DOWELS, AND TIES) AND MAY BE GRADE FORTY (40).

UNLESS OTHERWISE SHOWN,

CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTING: 3"
GRADE BEAM: 1 1/2" TOP, 2" SIDE, 3" BOTTOM

REINFORCEMENT DETAILS AND PLACEMENT SHALL CONFORM WITH ACI-5P-66, AND ACI-318-83.

ANCHOR BOLTS: LAYOUT AND SIZE BY STRUCTURAL (TDI) ENGINEER.

QUALITY CONTROL: SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, AND TO MEET SPECIFICATIONS OF THE STRUCTURAL ENGINEER.

PERIMETER OF CONCRETE SLAB FOUNDATION TO EXTEND 0" TO 1'-0" BEYOND FACE OF PILING, OR PER ENGINEERING DESIGN PER SITE.

AREA TOTALS:

2nd FLOOR: 1,304 SF
3rd FLOOR: 1,245 SF
TOTAL LIVING: 2,549 SF

COVERED PORCHES 2nd: 687 SF
COVERED PORCH 3rd: 403 SF

GROUND FLOOR SLAB: 1,980 SF

GARAGE & STORAGE: <299 SF> VE FLOOD ZONE

*NOT INCLUDING SLAB PERIMETER OF 0" TO 12" TBD BY ENGINEER, NOT INCLUDING FLATWORK.

SEASIDE HOME DESIGN, LLC DISCLAIMERS (SHD, LLC)

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/ OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE AFTER CONSTRUCTION DRAWINGS ARE DELIVERED WILL BE DONE AT THE OWNER AND / OR BUILDER'S EXPENSE AND RESPONSIBILITY.

IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE SHD, LLC WITH ALL APPLICABLE RESTRICTIONS, COVENANTS, OR GUIDELINES SPECIFIC TO THE UNIQUE SITE PRIOR TO COMMENCEMENT.

CONTRACTOR &/OR HOMEOWNER TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, BUILDING CODES, AND GRADE REQUIREMENTS PRIOR TO CONSTRUCTION, AND BE SOLELY RESPONSIBLE THEREAFTER.

SHD, LLC DISCLAIMERS - Cont'd

SEASIDE HOME DESIGN, LLC, IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR.

THESE DRAWINGS ARE THE PROPRIETARY WORK, PRODUCT, AND PROPERTY OF SEASIDE HOME DESIGN, LLC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF SEASIDE HOME DESIGN, LLC, IS PROHIBITED, AND MAY BE SUBJECT TO A CLAIM FOR DAMAGES.

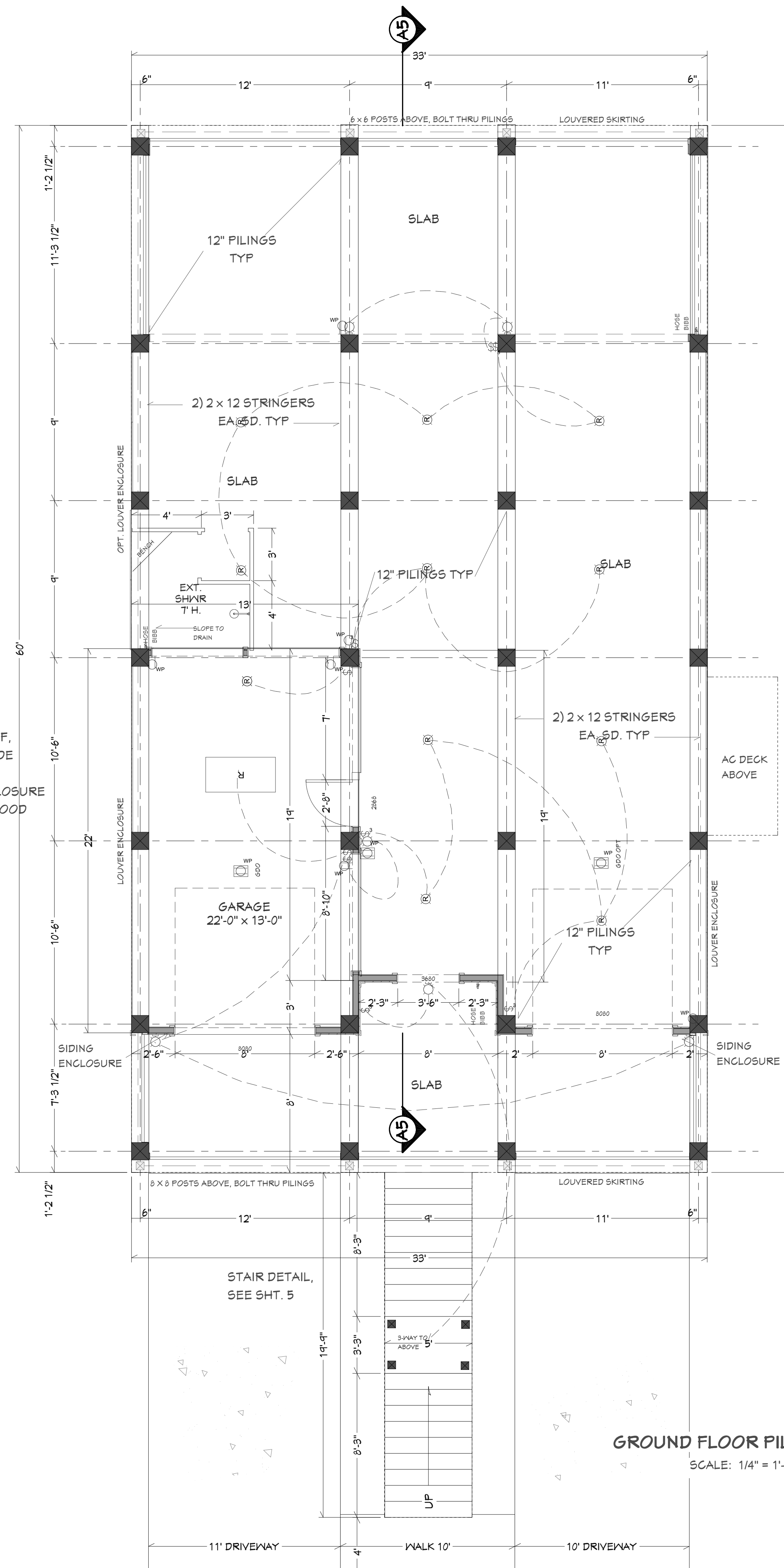
UNDER NO CIRCUMSTANCES WILL SEASIDE HOME DESIGN, LLC, BE LIABLE FOR ANY DAMAGE, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFIT, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR INDIRECT DAMAGE ARISING FROM THE USE OF THE DRAWINGS.

SHD, LLC DISCLAIMERS - Cont'd

LIMITATION OF LIABILITY: SEASIDE HOME DESIGN, LLC, IS NOT LIABLE TO CLIENT FOR INCIDENTAL OR CONSEQUENTIAL DAMAGES. SEASIDE HOME DESIGN, LLC, MAXIMUM LIABILITY IS LIMITED TO TOTAL PRICE OF SIGNED CONTRACT FOR DESIGN SERVICES.

CONTRACTOR / HOMEOWNER AGREES TO COMPLY WITH ALL STATE AND LOCAL CODES AND BUILDING REGULATIONS. THESE VARY FROM REGION TO REGION AND ARE CONSTANTLY CHANGING, THEREFORE ABSOLUTE CONFORMANCE TO CLIENT'S SPECIFIC REQUIREMENTS IS NOT POSSIBLE. SHD, LLC AUTHORIZES THE USE OF THESE PLANS EXPRESSLY CONDITIONED UPON THE CLIENT'S OBLIGATION AND AGREEMENT TO STRICTLY COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS AND REQUIREMENTS.

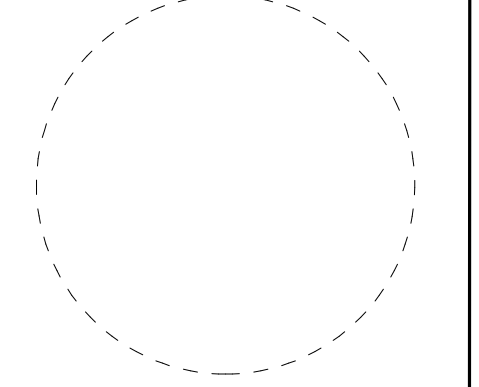
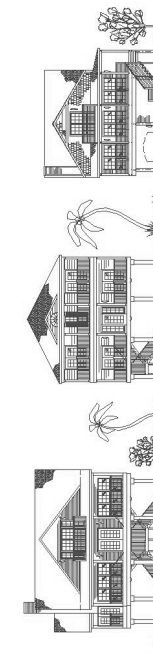
CAUTION:
ENCLOSED AREAS IN FEMA VE ZONE <299 SF, MEASURED TO OUTSIDE
GROUND FLOOR ENCLOSURE LOUVERED PER VE FLOOD ZONE TO CODE



GROUND FLOOR PILING PLAN

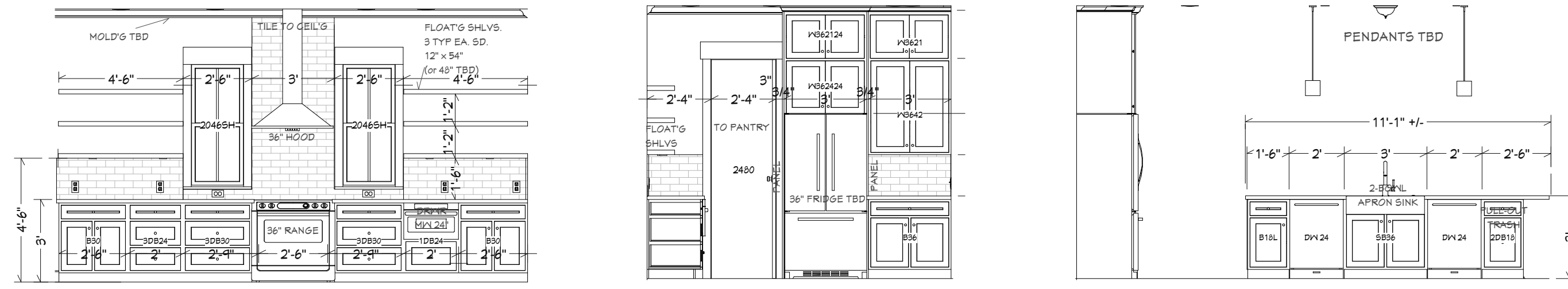
SCALE: 1/4" = 1'-0"

REV. 03.30.2021
ARB REQUESTS



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INTERIOR ELEVATIONS & NOTES, SEE ALSO SHEET 6.



RANGE WALL

FRIDGE & MW WALL

ISLAND SINK / DW

GENERAL NOTES: (CONT'D)

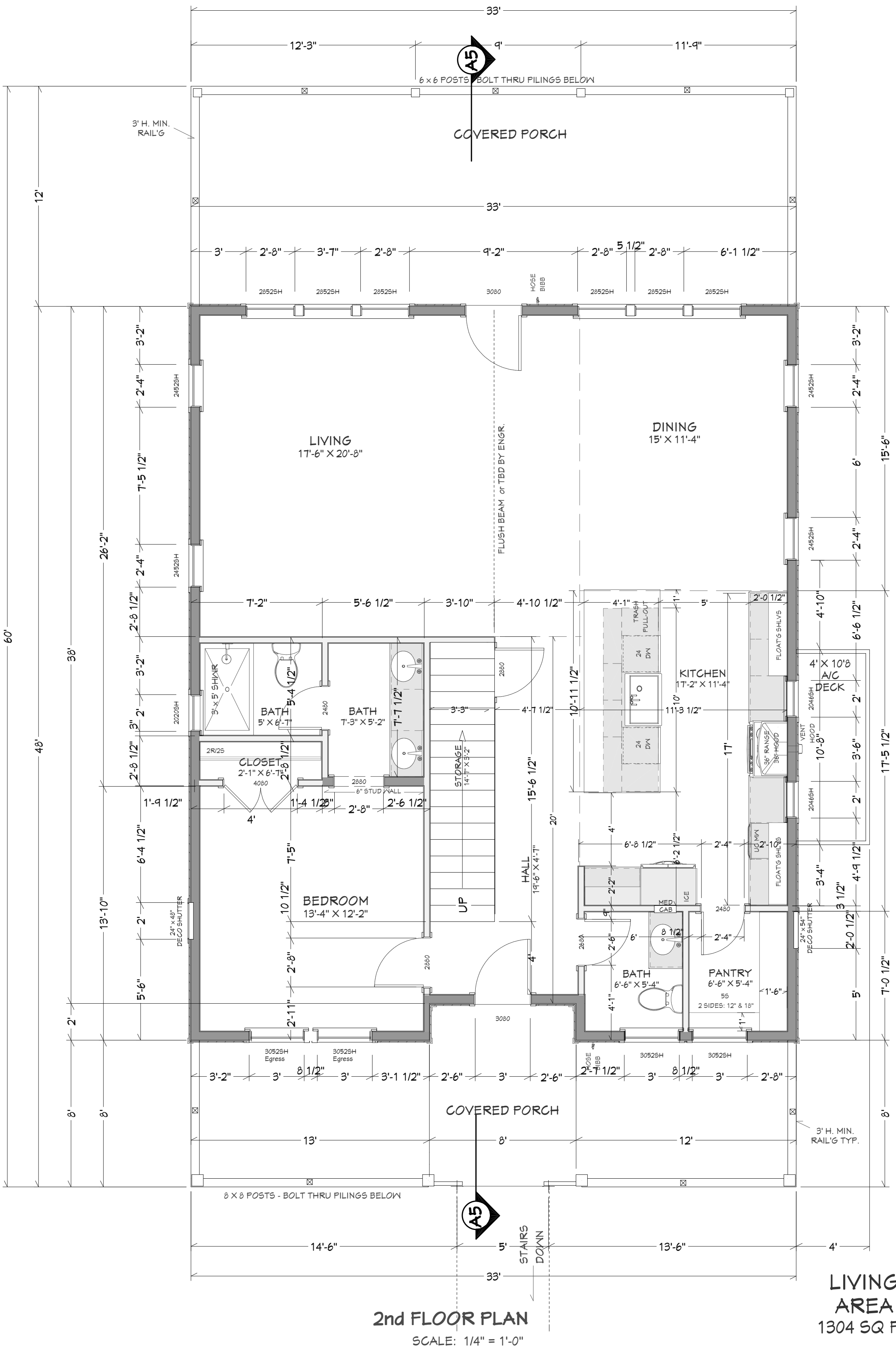
- 14. BUILDING FRAMING AND PILING PLAN TO BE REVIEWED AND APPROVED BY WINDSTORM CERTIFIED REGISTERED STRUCTURAL ENGINEER, NOT PROVIDED HEREIN. FINAL DESIGN SUBJECT TO ENGINEERING. NOT FOR CONSTRUCTION UNTIL APPROVED AND SEALED PER ENGINEER. VALID ONLY WITH SEAL.
- 15. CONSTRUCTION SHALL COMPLY WITH IRC / IBC 2018 AND ASCE 7-05 FOR 150 MPH, 3 SEC GUST.
- 16. DECK CONSTRUCTION SHALL SUPPORT A DISTRIBUTED LIVE LOAD OF 40 PSF. HANDRAILS SHALL SUPPORT A UNIFORM LOAD OF 50 PCF AND CONCENTRATED LOAD OF 200 LBS.

GENERAL NOTES: (CONT'D)

- 17. DECK BOARDS OF 5/4 TREATED WOOD OR COMPOSITION TO BE INSTALLED WITH STAINLESS STEEL SCREWS OR AS ACCEPTABLE TO BOARD MANUFACTURER.
- 18. STAINLESS STEEL FASTENERS OPTIONAL, TBD BY OWNER.
- 19. GROUND FLOOR ENCLOSURE IN AE OR VE FLOOD ZONE TO BE BREAK-AWAY CONSTRUCTION, ENCLOSURE CEILING SHEATHED w/ 5/8" FIRE-RATED SHEETROCK PER CODE REQUIREMENT.

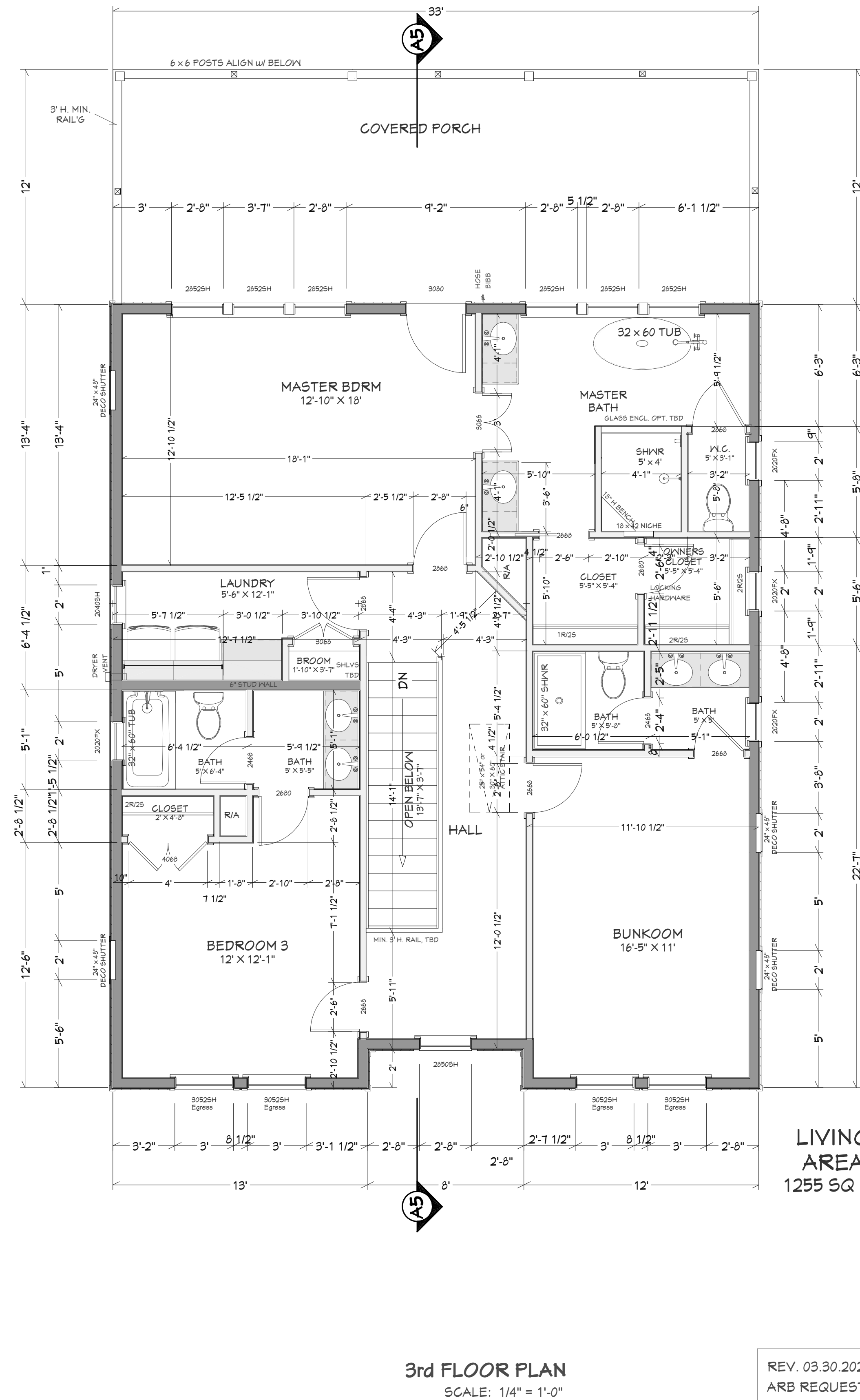
GENERAL NOTES:

- 1. EXTERIOR WALLS TO HAVE 5/8" X 4" X 8" PLYWOOD PANELS, AND STUDS TO BE SPACED AT 8" O.C. TO 4' FROM CORNERS FOR WIND BRACING. ADD SIMPSON STRONG-TIE OR EQUIVALENT, 48" LENGTH, INSTALLED HORIZONTALLY AT TOP & BOTTOM PLATES, ADD TWO MID SPAN OF CORNER HEIGHT. EXTERIOR STUD WALLS TO BE 2 X 6 CONSTRUCTION ABOVE B.F.E.
- 2. ADD 5/8" CD PLYWOOD FOR SHEAR WALL TO SIDE(S) OF STUD WALL IF INDICATED; LOCATIONS AS NOTED. SIMPSON STRONG WALL OR EQUIVALENT PANELS FOR USE IN SOME LOCATIONS AT ENGINEER'S DISCRETION.
- 3. MINIMUM DOUBLE RIM JOIST AT PERIMETER WALLS, TRIPLE JOISTS AS NOTED, DOUBLE JOISTS AT INTERIOR PARTITIONS.
- 4. ROOF PITCH 6/12 THROUGHOUT, WITH 12" OVERHANG ALL AROUND, EXCEPT PORCH; 4/12 PITCH, w/ EXPOSED RAFTER TAILS, OR AS NOTED. ROOF DECKING TO BE 5/8" CDX PLYWOOD w/ RADIANT BARRIER (TECH SHIELD OR EQUIV. - OPT.) WITH 30 LB. MIN. FELT PAPER OVERLAY. RIDGES TO BE INSTALLED WITH FULL LENGTH RIDGE VENTS WHERE POSSIBLE (EXCEPTING WITH USE OF SPRAY FOAM INSULATION). ROOFING SHINGLES SHALL BE USED WHICH ARE STATED BY MANUFACTURER TO MEET ASTM D 7158M CLASS H, OR AS REQUIRED FOR SPECIFIC EXPOSURE CATEGORY DESIGNATION. PRODUCT SPECIFICATIONS AND INSTALLATION REQUIREMENTS MUST MEET WINDSTORM ENGINEER APPROVAL.
- 5. SUBFLOOR TO BE SINGLE LAYER 1 1/8" PLYWOOD OR 2 X 6 TONGUE & GROOVE, GLUED. TILE FLOORS TO ALSO HAVE FIBER CEMENT BACKER BOARD, (HARDIE BOARD OR EQUIVALENT) APPLIED.
- 6. ALL FLOOR JOIST PENETRATIONS TO EXTERIOR TO BE TIGHTLY BLOCKED AND CAULKED BETWEEN. STAINLESS STEEL FLASHING REQUIRED AT ALL EXTERIOR JOIST PENETRATIONS OR WALL / JOIST CONNECTIONS.
- 7. WALL INSULATION TO BE R-19 (MIN.) BATTS BETWEEN STUDS, WITH MOISTURE BARRIER APPLIED FACING TO EXTERIOR (OR CELLULAR FOAM INSULATION, TBD BY OWNER, OTHER CONDITIONS APPLY). CEILING INSULATION TO BE R-30 (MIN.) BETWEEN JOISTS AND/OR RAFTERS; WHEREVER JOIST IS OMITTED, ENSURING ADEQUATE AIR FLOW. INSULATE MAIN LIVING AREA (CEILING ABOVE GROUND FLOOR) TO R-19 BETWEEN FLOOR JOISTS
- 8. SIDING TO BE FIBER CEMENT (HARDIE PLANK OR EQUIVALENT FIBER CEMENT), TO MEET WINDSTORM CERTIFICATION. VENTED SOFFIT PANELS WITH PROPER TRIM, CHANNEL AND TECHNIQUE TO ENSURE CORRECT INSTALLATION. MATERIAL AND COLOR TBD BY OWNER.
- 9. 10' PLATE HEIGHT ALL AROUND 2ND FLOOR WITH 10' CEILINGS, 9' PLATE HEIGHT 3RD FLOOR, VOLUME / SLOPED, IF NOTED, OR TBD BY OWNER.
- 10. REFER TO ELEVATION CERTIFICATE & SURVEY PROVIDED BY REGISTERED SURVEYOR.
- 11. INTERIOR CABINET AND TRIM FINISHES, BY OTHERS, TO BE DETERMINED
- 12. LOCATIONS OF HVAC AND RETURN AIR OR PLENUMS TO BE INSTALLED PER MUNICIPALITY REQMTS. CONFIRM MANUFACTURER SIZES, AND CODE REQUIREMENTS. LOCATION OF INTERIOR AND EXTERIOR EQUIPMENT, RETURN AIR, AND DUCT ROUTING ARE THE RESPONSIBILITY OF A LICENSED PROFESSIONAL COMPLIANT WITH ALL LOCAL LICENSING, PERMITTING, & INSTALLATION REQUIREMENTS.
- 13. INTERIOR AND EXTERIOR RAILING STYLE TO MEET IRC / IBC STANDARDS: 36" MINIMUM, 42" MAXIMUM HEIGHT. STAIR RAIL HEIGHT TO 38" OR PER CODE. VERTICAL BALUSTERS @ 4" MAXIMUM SPACING. 6" X 6" POSTS TYPICAL WITH 12" MAX. G.C. ALL AROUND COVERED PORCHES. INTERMEDIATE POSTS @ 6' MAX. SPACING.



2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

LIVING AREA
1304 SQ FT



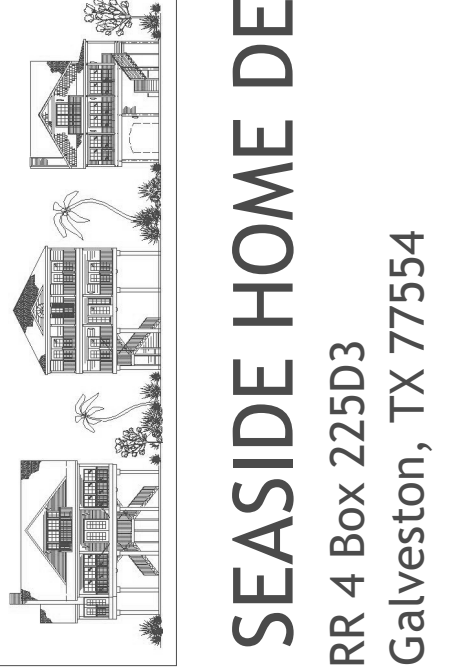
3rd FLOOR PLAN
SCALE: 1/4" = 1'-0"

LIVING AREA
1255 SQ FT

REV. 03.30.2021
ARB REQUESTS

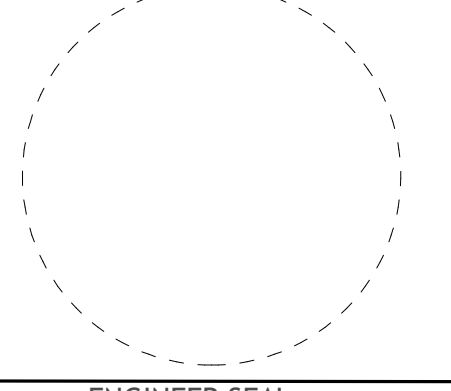


www.SeasideHomeDesign.com
Caroline@SeasideHomeDesign.com
409-632-0381



CAYSON GRAYE HOMES - 2,549 SF
Lot 21, Block 3, Pointe West Subdv.
26738 Bay Water Dr. Galveston, TX 77554
2nd & 3rd FLOOR PLANS

APPROVAL BY T.D.I. ENGINEER
REQUIRED FOR CONSTRUCTION



ENGINEER SEAL

DESIGN BY:
Carolin J. Santangelo
DATE: 01.11.2021
REV. 03.30.2021

File: CAYSON_ GRAYE_HERON_ plan

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STREET PERSPECTIVE
 FOR ILLUSTRATION PURPOSES ONLY
 REFER TO PLANS FOR DETAILS
 LANDSCAPE BY OTHERS



STREET ELEVATION
 SCALE: 1/4" = 1'-0"

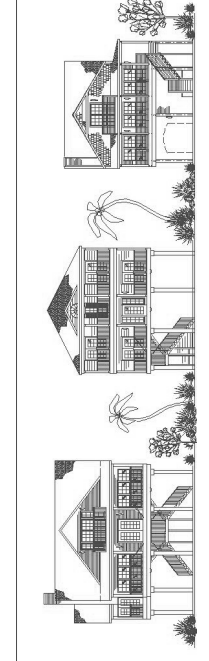


RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

REV. 03.30.2021
 ARB REQUESTS

sht. 4
 File: CAYSON_ GRAYE_HERON_ plan

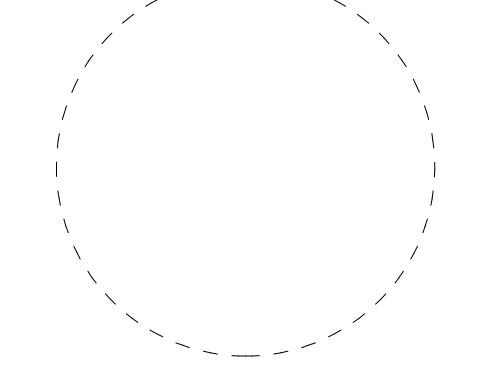
www.SeasideHomeDesign.com
 Carolin@SeasideHomeDesign.com
 409-632-0381



SEASIDE HOME DESIGN, LLC
 RR 4 Box 225D3
 Galveston, TX 77554
 2215 SE 28th Terrace
 Cape Coral, FL 33904

CAYSON GRAYE HOMES - 2,549 SF
Lot 21, Block 3, Pointe West Subdv.
 26738 Bay Water Dr. Galveston, TX 77554
EXTERIOR ELEVATIONS - STREET & RT

APPROVAL BY T.D.I. ENGINEER
 REQUIRED FOR CONSTRUCTION



ENGINEER SEAL

DESIGN BY:
 Carolin J. Santangelo
 DATE: 01.11.2021
 REV. 03.30.2021

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REAR PERSPECTIVE
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 REFER TO PLANS FOR DETAILS
 LANDSCAPE BY OTHERS



VIEW ELEVATION
 SCALE: 1/4" = 1'-0"

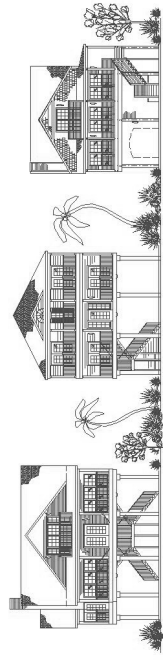


LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

REV. 03.30.2021
 ARB REQUESTS

sht. 5
 File: CAYSON_ GRAYE_HERON_ plan

www.SeasideHomeDesign.com
 Carolin@SeasideHomeDesign.com
 409-632-0381



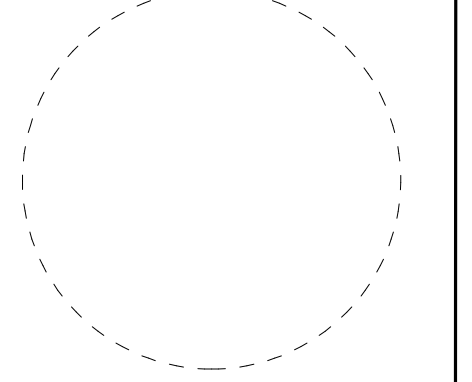
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RR 4 Box 225D3
 Galveston, TX 77554
 2215 SE 28th Terrace
 Cape Coral, FL 33904

CAYSON GRAYE HOMES - 2,549 SF
Lot 21, Block 3, Pointe West Subdv.
 26738 Bay Water Dr. Galveston, TX 77554

EXTERIOR ELEVATIONS - VIEW & LEFT

APPROVAL BY T.D.I. ENGINEER
 REQUIRED FOR CONSTRUCTION

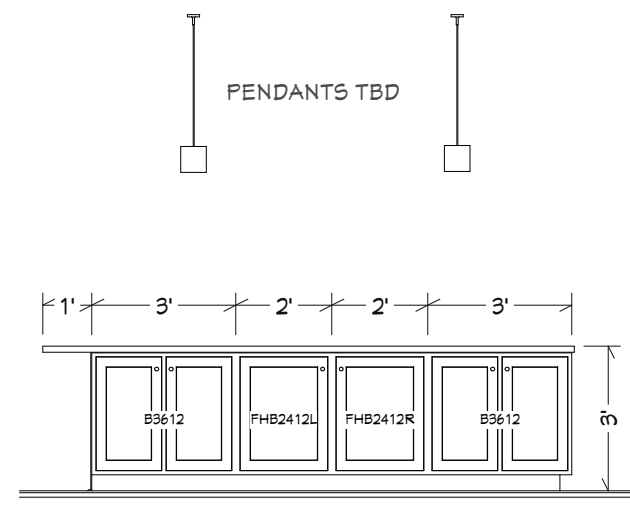


ENGINEER SEAL

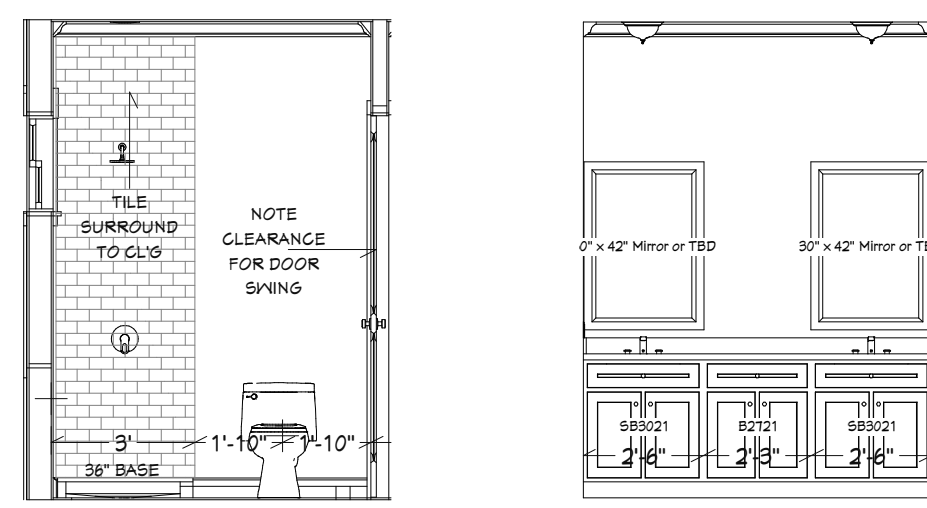
DESIGN BY:
 Carolin J. Santangelo

DATE: 01.11.2021
 REV. 03.30.2021

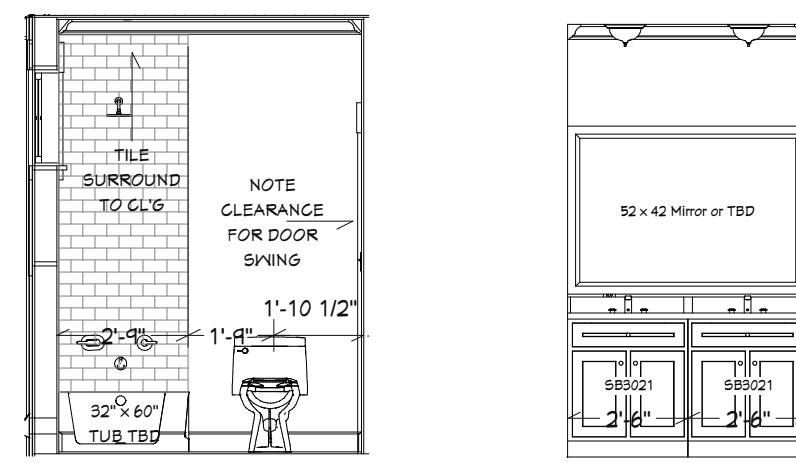
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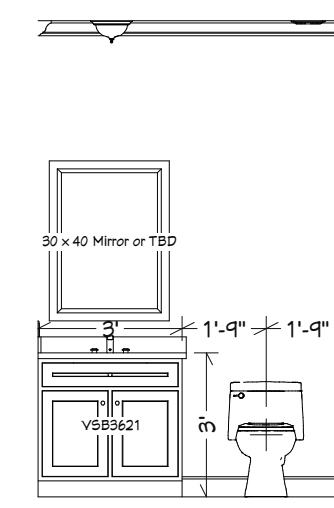
ISLAND - REAR



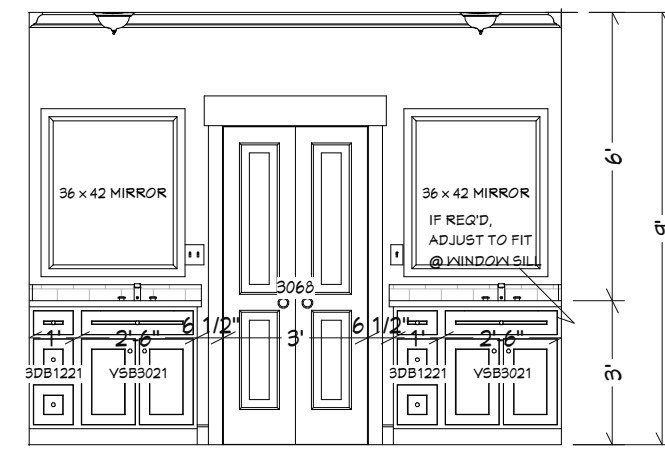
GUEST ROOM BATH & VANITY



BEDROOM 3 BATH & VANITY



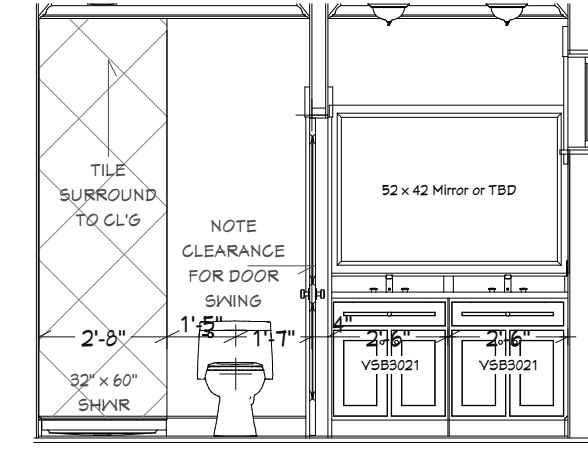
POWDER BATH



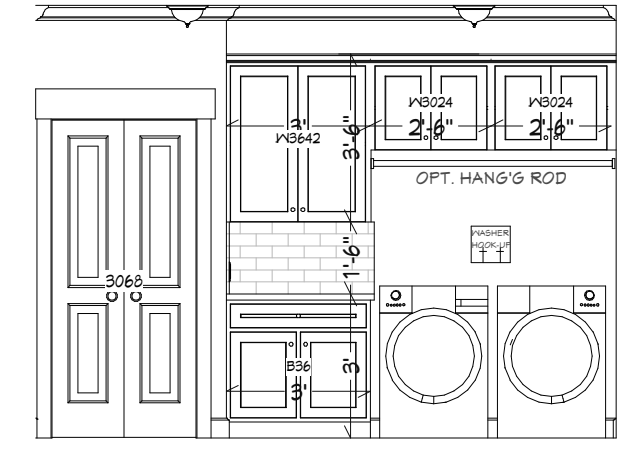
MASTER VANITIES



MASTER W.C. & SHWR



BUNKROOM BATH



LAUNDRY

KITCHEN & INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

INTERIOR ELEVATIONS & PERSPECTIVES ARE DESIGNER'S CONCEPT FOR ILLUSTRATION PURPOSES ONLY

CABINETS, TRIM, AND FINISHES BY OTHERS, MANUFACTURER TBD. FLOORS TBD BY OWNER. BASE BOARD MOLDINGS (5" MIN.) AND CROWN MOLDING, WHERE SHOWN, TBD BY OWNER. MARBLE OR GRANITE SILLS IN BATHS AND KITCHEN, WOOD SILLS ALL OTHER AREAS, OR AS TBD BY OWNER.

42" TALL WALL CABINETS EXCEPT AS NOTED, CROWN MOLDINGS OR GLASS INSERTS AS OPTION IF NOTED. BASE DOOR CABINETS TO BE FITTED WITH ROLLING SINGLE OR DOUBLE TRAYS, PER OWNER. VANITY BASE CABINETS TO BE 36" FINISHED HEIGHT. IF APPLICABLE, PANTRY CABINET TO BE FITTED FOR ROLLING TRAYS. LINEN CABINETS TO HAVE 5 ADJUSTABLE SHELVES. UTILITY CABINET TO BE FITTED WITH 2 SHELVES ABOVE, OPEN BELOW.

CLOSET INTERIORS AS NOTED, OR CLOSET SYSTEM TBD BY OWNER. MEDICINE CABINETS OPTIONAL.

DRYWALL CORNER BEAD TBD BY OWNER. DRYWALL TEXTURE TBD.

NOTE: BUILDER'S/ OWNER'S RESPONSIBILITY TO CONFIRM ALL APPLIANCE SIZES AND INSTALLATION REQUIREMENTS.

SEE ADDITIONAL INTERIOR ELEVATIONS ON SHEET 3.

DOOR AND WINDOW NOTES:

WINDOW NOTES:

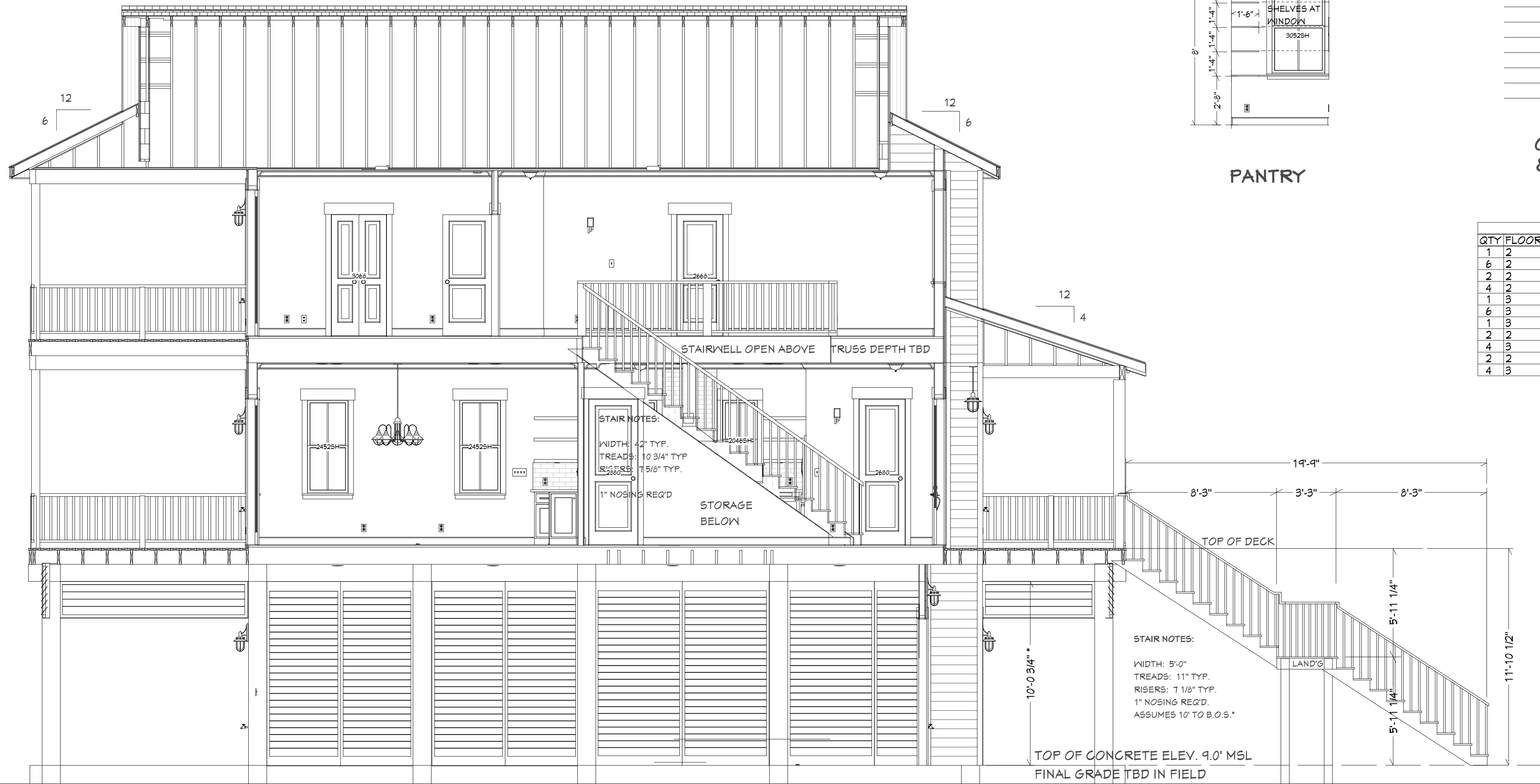
- ALL COMPONENTS SHALL BE CERTIFIED FOR EXPOSURE CATEGORY DESIGNATION (PROXIMITY TO SHORELINE OR COAST), AND DESIGN PRESSURE RATING (PSF), TBD BY ENGINEER.
- ALL GLASS COMPONENTS AND OPENINGS SHALL BE IMPACT RESISTANT AGAINST WINDBORNE DEBRIS, OR PROTECTED IN A MANNER MEETING ALL 2018 IBC / IRC REQUIREMENTS. CONFIRM MANUFACTURER'S AVAILABILITY OF SIZES FOR CERTIFIED IMPACT RESISTANT ALL DOORS AND WINDOWS.
- MANUFACTURER: SHOWCASE, (SIMONTON, OTHER) OR AS DETERMINED BY OWNER/BUILDER.
- BUILDER'S RESPONSIBILITY TO CONFIRM MANUFACTURER'S AVAILABILITY FOR WINDOW SIZES COMPLIANT WITH I.R.C. EGRESS REQUIREMENTS!!! SIMONTON® MAY REQUIRE MAXIMUM CLEARANCE HARDWARE, OR SUBSTITUTE WITH ALTERNATE WINDOW (SIZE, or CASEMENT).
- CONFIRM MANUFACTURER'S ROUGH OPENING SIZES, HEADER HEIGHTS 8'-0" TYPICAL, OR AS NOTED. WINDOW HEADER HEIGHTS TO MATCH EXT. DOOR HEADER, SEE DOOR NOTE 5 FOR DETAILS.
- WINDOWS TO BE SINGLE HUNG, (OR FIXED) VINYL, DIVIDED LIGHTS 2/2, EXCEPT AS NOTED.
- FLASHING TO BE ALUMINUM OR STAINLESS ONLY, NO GALVANIZED.
- LINTEL DETAIL AS SHOWN, INTERIOR AND EXTERIOR, OR TBD BY OWNER.

DOOR NOTES:

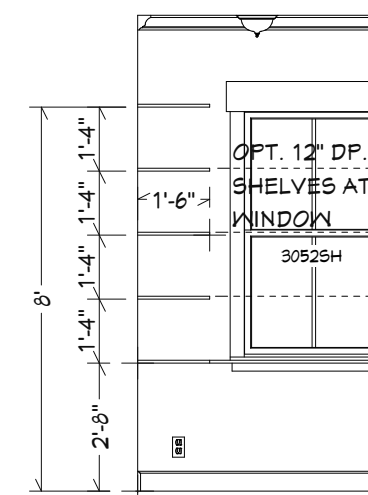
- EXTERIOR DOOR COMPONENTS SHALL BE CERTIFIED FOR EXPOSURE CATEGORY DESIGNATION (PROXIMITY TO SHORELINE OR COAST), AND DESIGN PRESSURE RATING (PSF), TBD BY ENGINEER.
- ALL GLASS COMPONENTS AND OPENINGS SHALL BE IMPACT RESISTANT AGAINST WINDBORNE DEBRIS, OR PROTECTED IN A MANNER MEETING ALL 2018 IBC / IRC REQUIREMENTS.
- BUILDER'S RESPONSIBILITY TO CONFIRM MANUFACTURER'S AVAILABILITY FOR DOOR SIZES COMPLIANT WITH I.R.C. EGRESS REQUIREMENTS!!!
- MANUFACTURER: NEUMA FIBERGLASS SLIDING OR HINGED PATIO DOORS PER PLANS, OR AS DETERMINED BY OWNER/BUILDER, DIVIDED LIGHTS, 2/2.
- NOTE WHERE CALLED DOOR HEADER HEIGHT IS 8'-0", ACTUAL HEIGHT TO BE VERIFIED BY MANUFACTURER; ROUGH OPENING / HEIGHTS VARY PER STYLE. MATCH WINDOW HEADERS TO DOOR HEADER HEIGHT.
- ATTIC DOORS / OPENINGS TO HAVE EXTERIOR GRADE WEATHER STRIPPING.
- INTERIOR DOORS TO BE COMPOSITION, 2 PANEL, OR TBD BY OWNER. 8'-0" HDR. 2nd FLOOR, 6'-8" HDR. 3rd FLOOR. LOCKING HARDWARE @ OWNERS CLOSET.
- LINTEL DETAIL AS SHOWN, INTERIOR AND EXTERIOR, OR TBD BY OWNER.
- GROUND FLOOR ENCLOSURE TO BE LOUVERED PER VE FLOOD ZONE TO CODE.

NOTE TO ENGINEER:

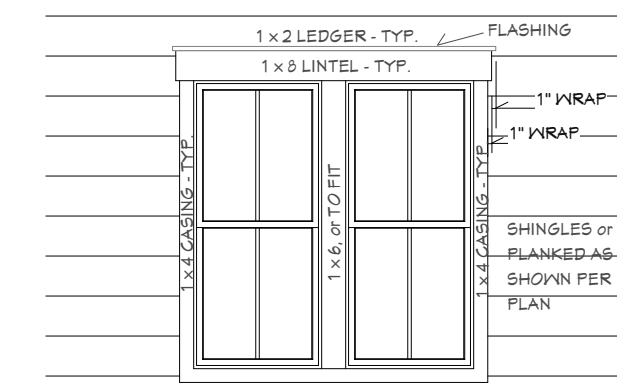
NOTE USE OF CALLED 8' DOORS, WITH WINDOW HEADERS TO MATCH 8' HEIGHT (9' CEILING / PLATE HEIGHT - 3rd FLOOR). CONFIRM HEADER SIZE 2 X 10 OR ALTERNATE AS REQUIRED.



BUILDING & STAIR SECTION
SCALE: 1/4" = 1'-0"



PANTRY



OPTIONAL LINTEL & CASING DETAIL

WINDOW SCHEDULE			
QTY	FLOOR	SIZE	DESCRIPTION
1	2	2020SH	EGRESS SINGLE HUNG
6	2	2852SH	SINGLE HUNG
2	2	2046SH	SINGLE HUNG
4	2	2452SH	SINGLE HUNG
1	3	2040SH	SINGLE HUNG
6	3	2852SH	SINGLE HUNG
1	3	2850SH	SINGLE HUNG
2	2	3052SH	SINGLE HUNG
4	3	2020FX	FIXED GLASS
2	2	3052SH	YES SINGLE HUNG
4	3	3052SH	YES SINGLE HUNG

DOOR SCHEDULE		
QTY	FLOOR	DESCRIPTION
1	2	2680 L IN HINGED-DOOR P04
1	2	2480 R IN HINGED-DOOR P04
1	2	2480 L IN HINGED-DOOR P04
2	2	2880 L IN HINGED-DOOR P04
1	2	3080 L EX EXT. HINGED-GLASS PANEL
1	2	3080 R EX EXT. HINGED-GLASS PANEL
1	1	2880 R IN HINGED-DOOR P04
1	2	4080 L/R IN DOUBLE HINGED-DOOR P04
2	3	3080 L/R IN DOUBLE HINGED-DOOR P04
2	3	2880 R IN HINGED-DOOR P04
1	3	2680 R IN HINGED-DOOR P04
1	3	2680 R POCKET-DOOR P04
1	3	2880 R IN HINGED-GLASS PANEL
1	3	3080 L EX EXT. HINGED-GLASS PANEL
1	3	2680 R IN HINGED-DOOR P04
1	3	2680 L IN HINGED-DOOR P04
2	1	8080 GARAGE-C22-REC13
1	3	4080 L/R IN DOUBLE HINGED-DOOR P04
2	3	2480 L IN HINGED-DOOR P04
2	3	2680 L IN HINGED-DOOR P04

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sht. 6
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www.SeasideHomeDesign.com
Carolin@SeasideHomeDesign.com
409-632-0381

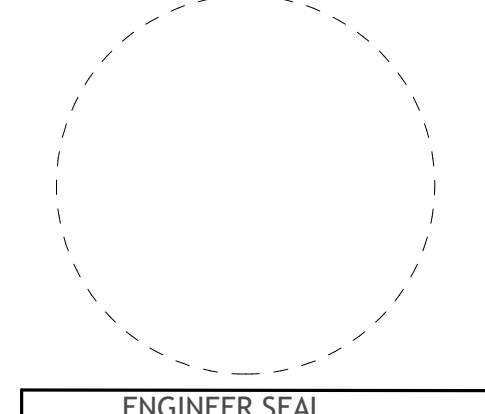
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Galveston, TX 77554

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Cape Coral, FL 33904

CAYSON GRAYE HOMES - 2,549 SF
Lot 21, Block 3, Pointe West Subdv.
26738 Bay Water Dr. Galveston, TX 77554

SECTION AND SCHEDULES

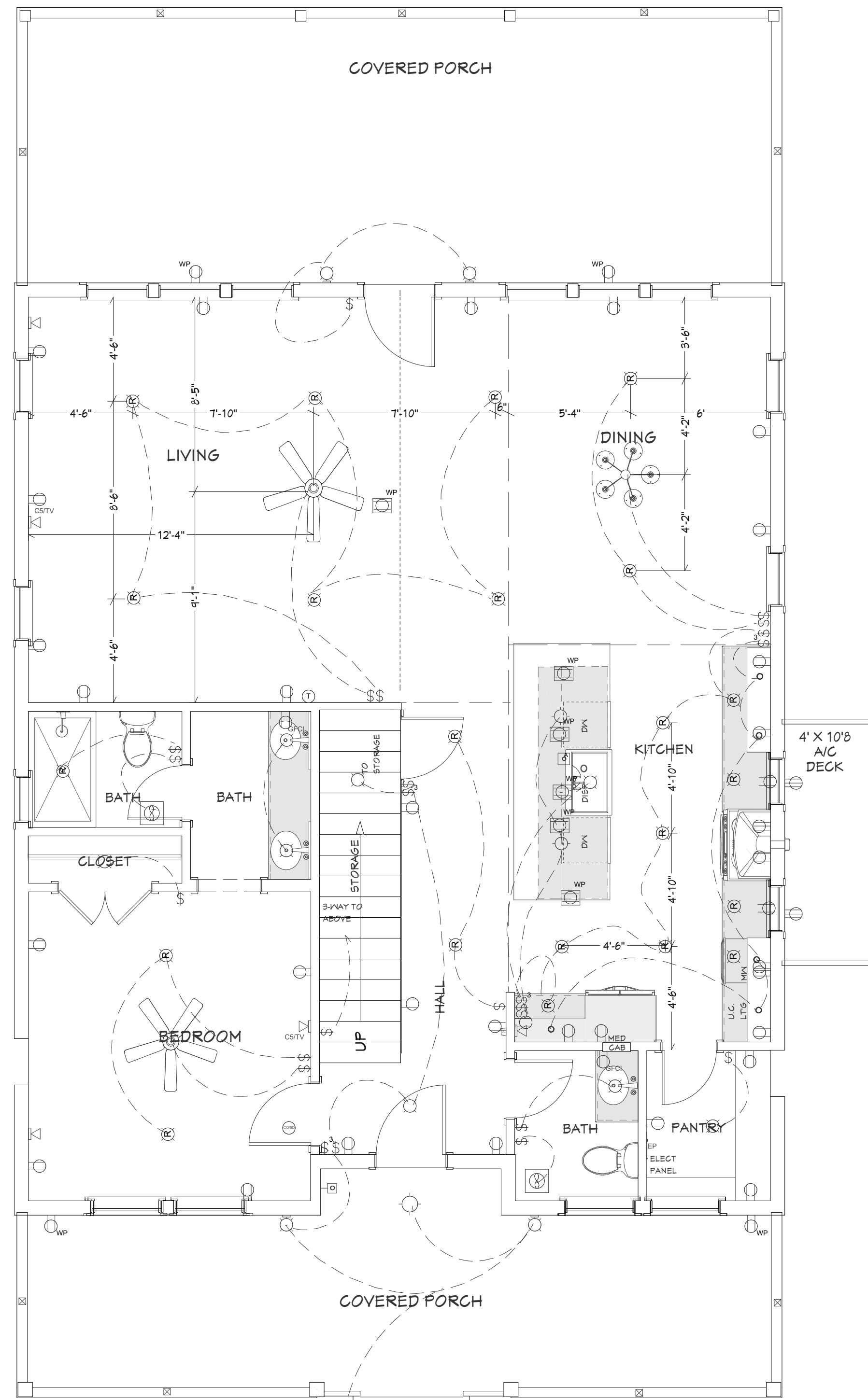
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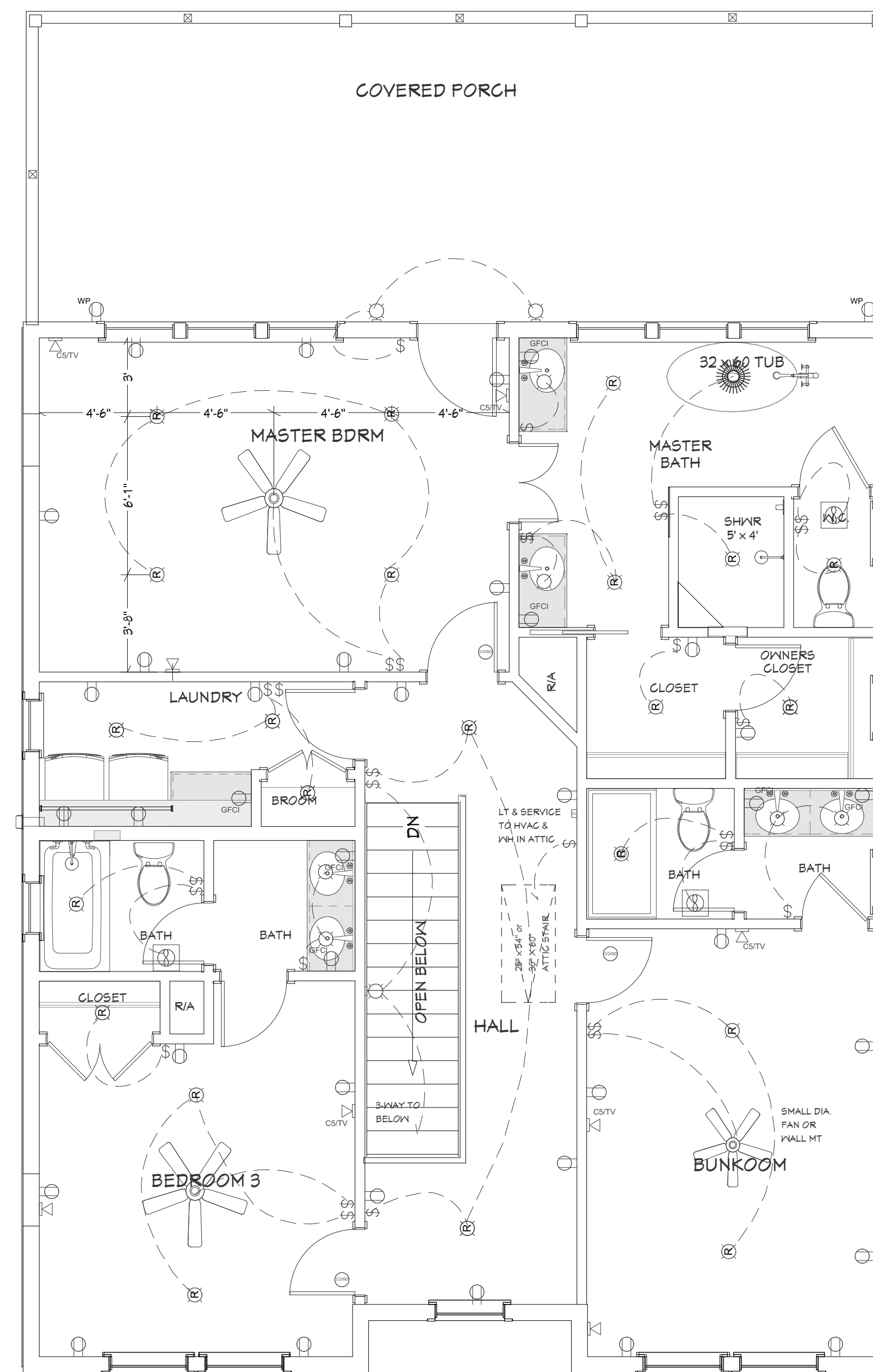
ENGINEER SEAL

DESIGN BY:
Carolin J. Santangelo
DATE: 01.11.2021
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2ND FLOOR ELECTRICAL
SCALE: 1/4" = 1'-0"



3RD FLOOR ELECTRICAL
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

1. ELECTRICAL PLANS PROVIDED FOR BIDDING PURPOSES ONLY. ALL SIZING OF WIRING, CONDUIT, PANELS, LOADS TO BE DETERMINED BY ELECTRICAL CONTRACTOR. REVISIONS, IF NECESSARY, ARE THE RESPONSIBILITY OF ELECTRICAL CONTRACTOR. PERMITTING AND INSTALLATION PER CODE, BY LICENSED ELECTRICIAN.
2. **OPTIONAL:** PROVIDE NETWORKING CAPABILITY THROUGHOUT. PROVIDE SECURITY ALARM THROUGHOUT; ALL DOORS, WINDOWS, AND MOTION SENSORS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE AUDIO / VIDEO OR SURROUND SOUND CAPABILITY THROUGHOUT.
3. FIRE ALARMS AND SMOKE DETECTORS PER CODE; EACH BEDROOM, LAUNDRY, & GARAGE, OTHERS AS REQUIRED.
4. WEATHER-TIGHT GASKETS TO BE PROVIDED AND INSTALLED UPON TRIM OUT BY ELECTRICIAN, TO MEET ENERGY COMPLIANCE REQUIREMENTS, INTERIOR AND EXTERIOR LOCATIONS.
5. RECESSED FIXTURES, WHERE INSTALLED FOR TASK LIGHTING, TO BE INSTALLED 18" O.C. FROM CABINET WALL. RECESSED LIGHTING TO BE CONTROLLED BY DIMMER SWITCH.
6. ALL CEILING FANS OPTIONALLY TO BE WIRED FOR SEPARATE FAN AND LIGHT SWITCHES.
7. PROVIDE ELECTRICAL SERVICE TO ATTIC AND MECHANICAL SPACE FOR HVAC AND WATER HEATERS AS REQUIRED.
8. ALL ELECTRIC EQUIPMENT TO BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR, WITH THE EXCEPTION OF THAT AS REQUIRED FOR MECHANICAL / HVAC.
9. INSTALL WHOLE HOUSE SURGE PROTECTOR.
10. UNDER CABINET POWER STRIP OPTIONAL, IN LIEU OF WALL MOUNT RECEPTACLES. UNDER CABINET LED FUCH LIGHTING IS OPTIONAL, WHERE SHOWN.
11. IF APPLICABLE, SPA TUB ELECTRICAL SERVICE & INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. IF APPLICABLE, PROVIDE SERVICE TO SPRINKLER SYSTEM.
12. A/C EQUIPMENT EXTERIOR LOCATION, INCLUDE 220V SERVICE FOR EACH UNIT.

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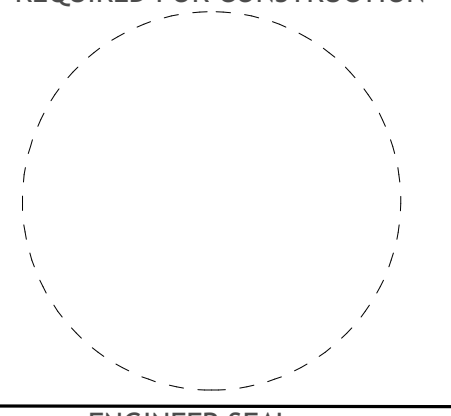
www.SeasideHomeDesign.com
Carolin@SeasideHomeDesign.com
409-632-0381



SEASIDE HOME DESIGN, LLC
RR 4 Box 225D3
Galveston, TX 77554

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2nd & 3rd ELECTRICAL PLANS

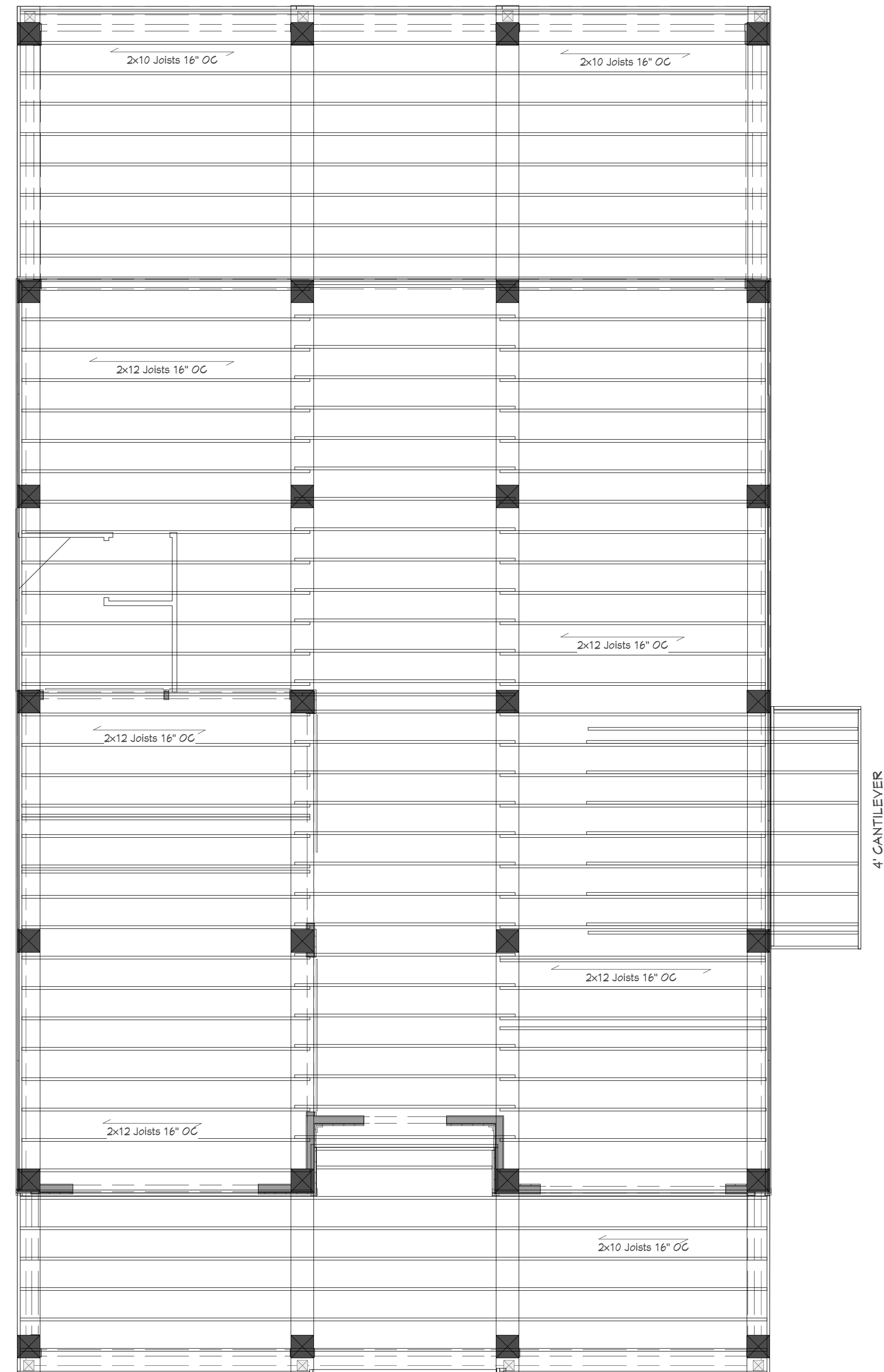
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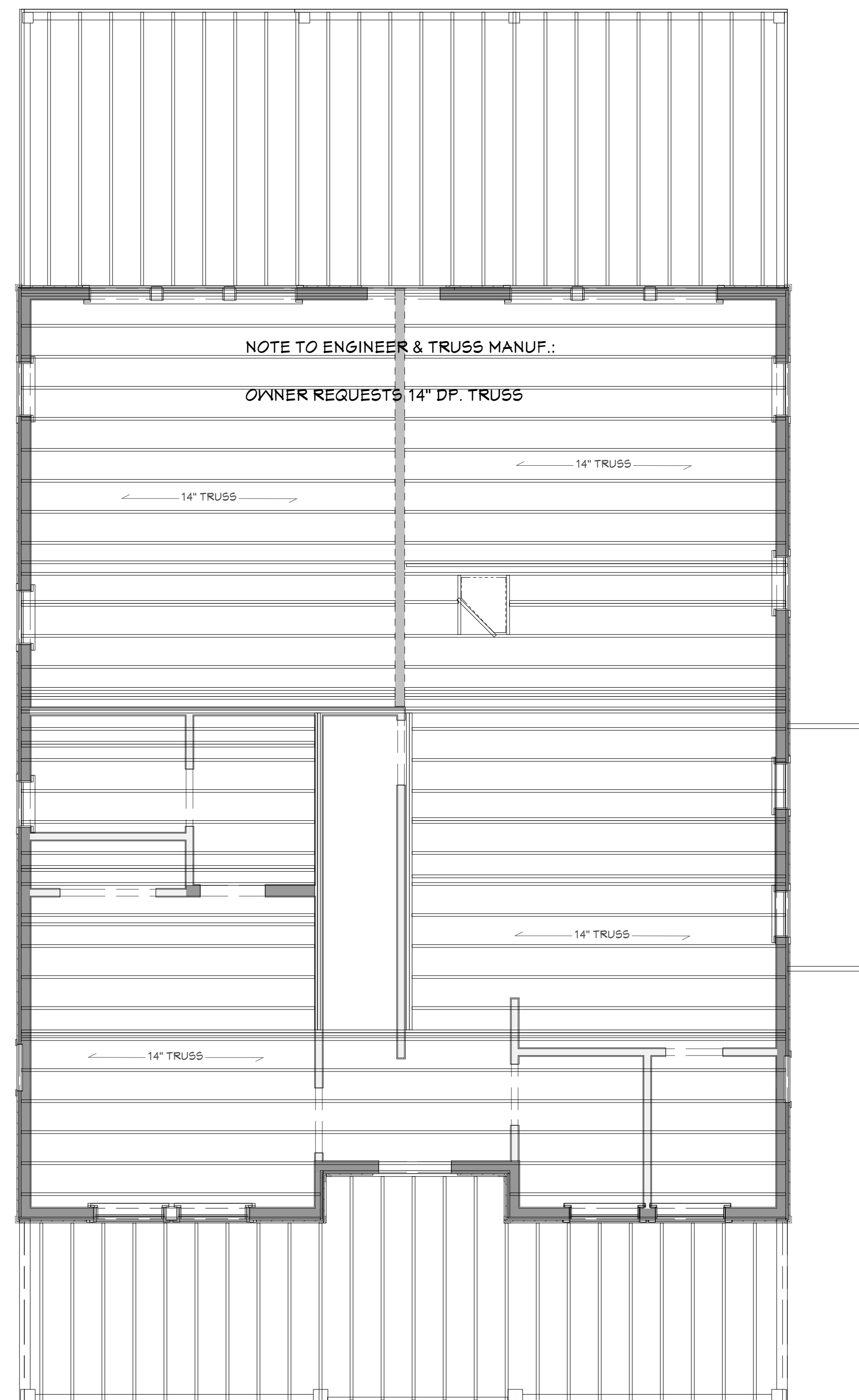
2ND FLOOR FRAMING

SCALE: 1/4" = 1'-0"

NOTE STAIR LANDING
1 1/2" BELOW F.F.

NOTE TO ENGINEER & TRUSS MANUF.:

OWNER REQUESTS 14" DP. TRUSS



3RD FLOOR FRAMING

SCALE: 1/4" = 1'-0"

NOTE TO ENGINEER & TRUSS MANUF.:

OWNER REQUESTS 14" DP. TRUSS

PLUMBING EQUIPMENT NOTES:

1. WATER CLOSETS (TOILETS) TO BE ELONGATED STYLE TYPICAL. BATH FIXTURES THROUGHOUT TBD BY OWNER.
2. PLUMB FOR ICE MAKER CONNECTION AT REFRIGERATOR LOCATION.
3. WATER HEATER TO BE 40 GAL. MIN. GAS or ELECTRIC, INSTALLED IN ATTIC, OR WHOLE HOUSE INSTANT WATER HEATER, TBD BY OWNER.
4. EXTERIOR HOSE BIBBS AS INDICATED ON PLANS.
5. OPTIONAL, INSTALL SEPARATE WATER METER FOR IRRIGATION NEEDS. SEPARATE PERMIT FEE REQUIRED.

GENERAL HVAC NOTES:

A/C and FURNACE UNITS ARE RECOMMENDED TO HAVE SEER 16 AS MINIMUM; UNIT(S) TO BE INSTALLED IN ATTIC SPACE AS SHOWN. BUILDER'S / CONTRACTOR'S RESPONSIBILITY TO CONFORM TO CODE REQUIREMENTS FOR MINIMUM ACCESS SPACE, AND MINIMUM AIR SPACE AROUND MECHANICAL UNITS.

SIZES AND LOCATION OF HVAC EQUIPMENT, R/A, VENTS AND DUCTS ARE THE RESPONSIBILITY OF A LICENSED HVAC CONTRACTOR MEETING ALL APPLICABLE CODE, PERMITTING, AND INSTALLATION REQUIREMENTS.

HVAC CONTRACTOR TO PROVIDE ATTIC ACCESS INSULATED COVER AS REQUIRED BY CODE, AND TO FINISH AND SEAL ALL PLENUMS AND RETURN AIR TO ELIMINATE AIR FILTRATION.

OPEN WEB TRUSS FRAMING WILL FACILITATE HVAC INSTALLATION, CONFIRM MECHANICAL OPENING REQUIREMENTS WITH TRUSS JOIST MANUFACTURER. ADDITIONAL HVAC PLENUMS OR FIR-DOWNS FOR ROUTING DUCTWORK MAY BE REQUIRED.

A/C DRAINS IN ACCORDANCE WITH CODE.

JOIST FRAMING NOTES:

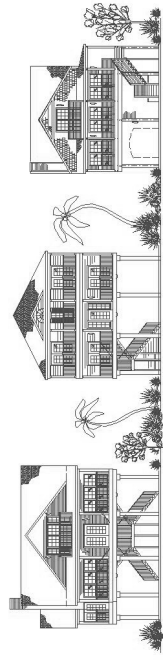
- 2 X 12 FLOOR JOISTS @ 16" OC, INTERIOR OF RESIDENCE, 2nd FLOOR
- 14" OPEN WEB TRUSS @ 16" OC, INTERIOR OF RESIDENCE, 3rd FLOOR*
- 2 X 10 DECK JOISTS @ 16" OC EXTERIOR LOCATIONS (DECKS)
- 2 X 6 CEILING JOISTS @ 16" OC
- INSTALL PLYWOOD DECKING PLATFORMS IN ATTIC FOR MECH ACCESS.

SEE ALSO GENERAL HVAC NOTES. LOCATIONS AND ROUTING OF HVAC ARE THE RESPONSIBILITY OF A LICENSED PROFESSIONAL, COMPLIANT WITH ALL CITY OF GALVESTON REQUIREMENTS. HVAC ROUTING MAY REQUIRE FIR-DOWNS IN SOME LOCATIONS.

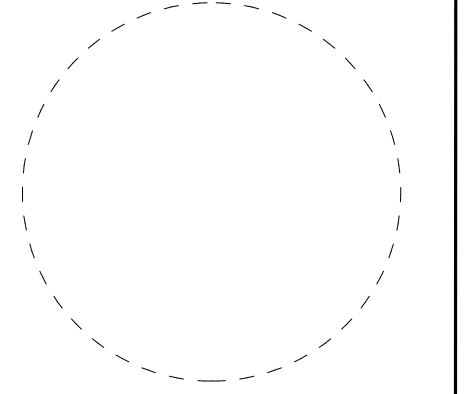
OPEN WEB TRUSS JOIST WILL FACILITATE INSTALLATION OF HVAC AIR DUCTING AND OTHER MECHANICALS.

*ALTERNATE DEPTH OF TRUSS MAY REQUIRE CHANGES TO FINISH FLOOR ELEVATIONS (ALSO AFFECTING STAIR HEIGHTS).

BEAMS TO BE SPEC'D BY ENGINEER.
TRUSS JOIST TO BE SPEC'D BY TRUSS MANUFACTURER / ENGINEER.



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ENGINEER SEAL

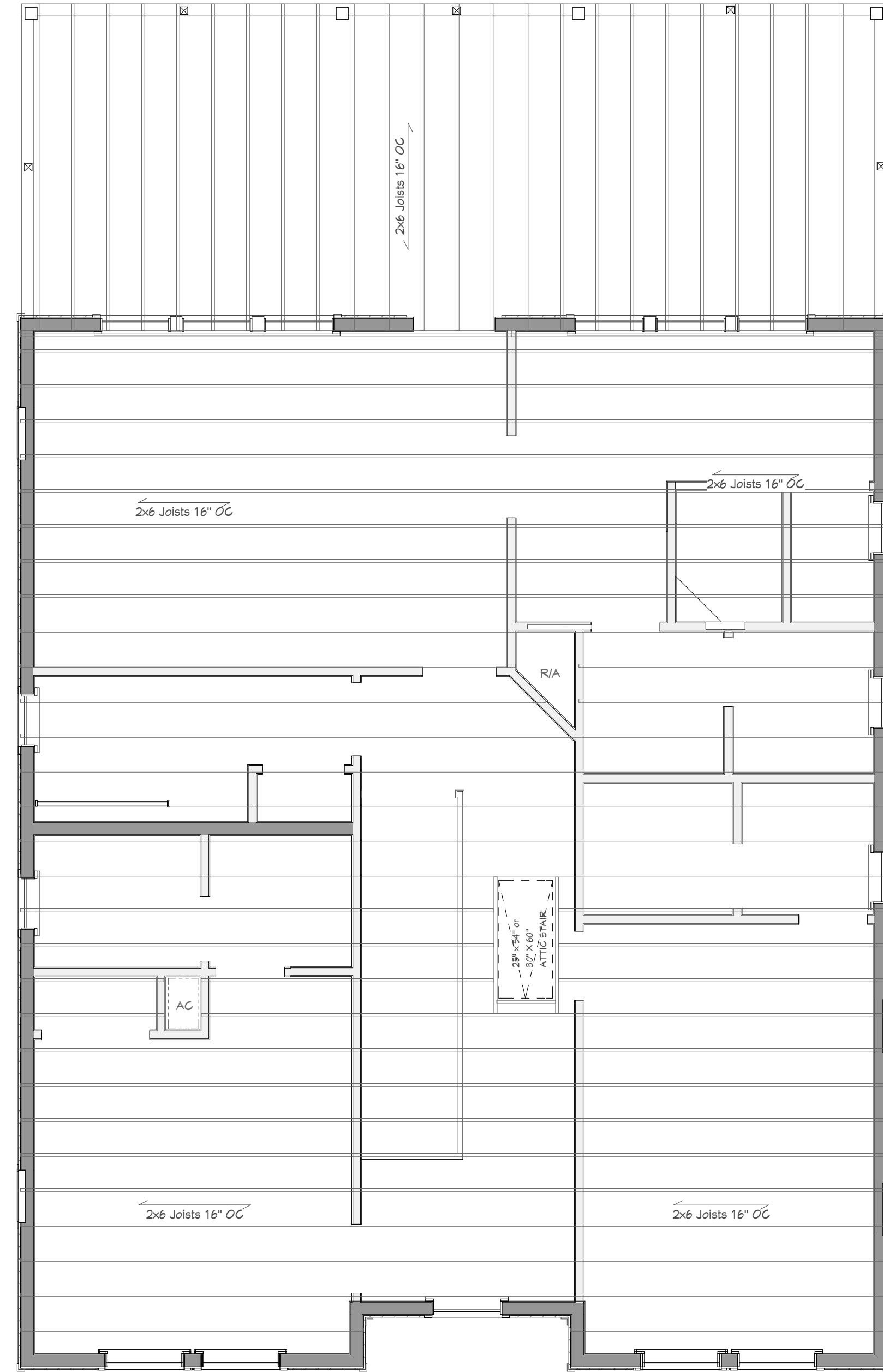
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Carolin J. Santangelo

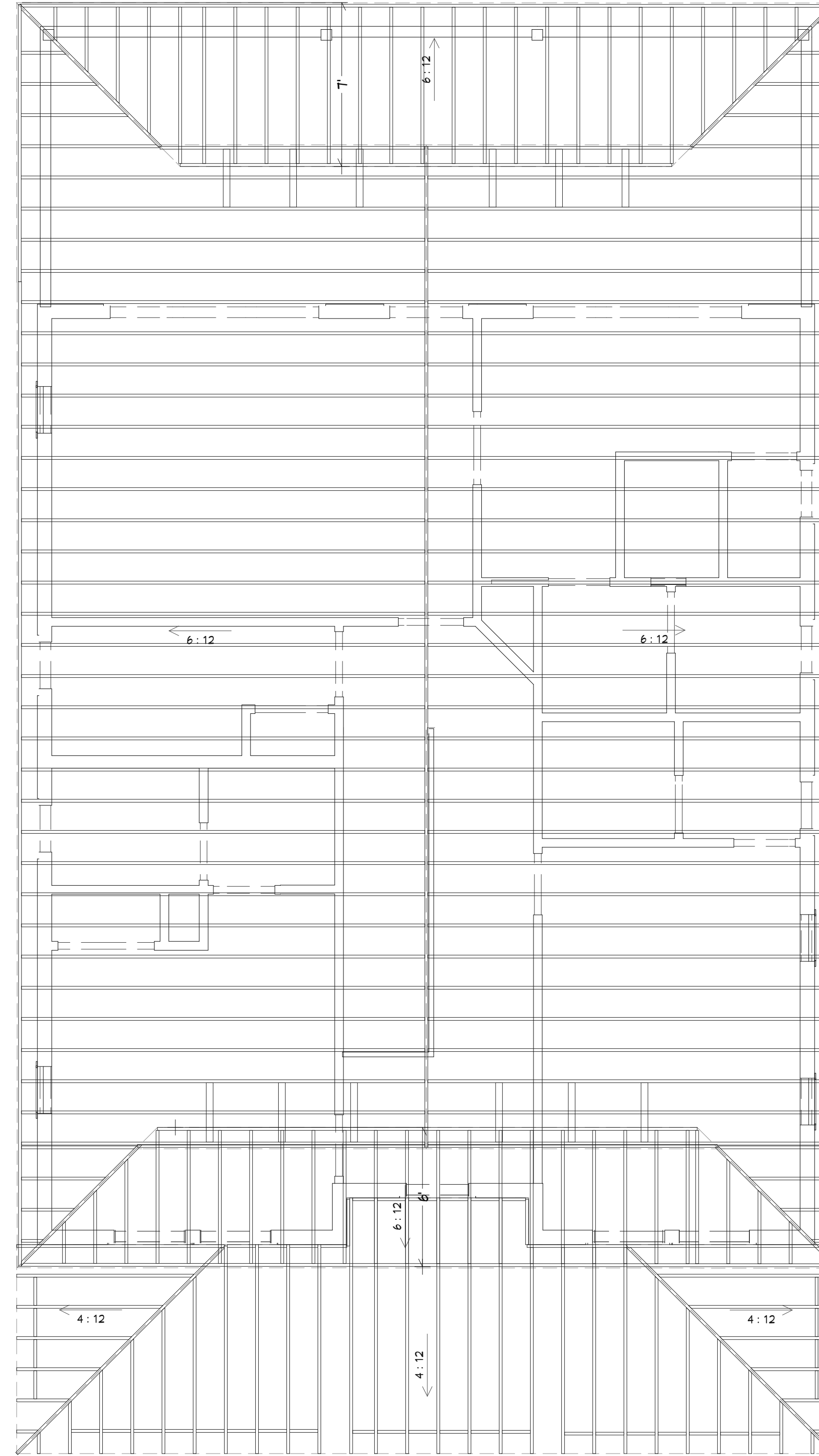
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3rd CEILING FRAMING
SCALE: 1/4" = 1'-0"



ROOF FRAMING
SCALE: 1/4" = 1'-0"

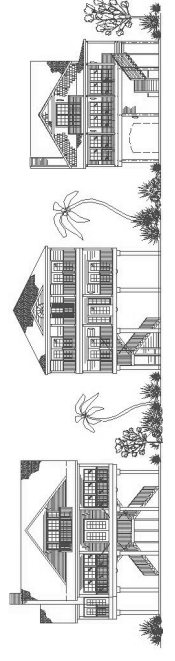
ROOFING NOTES:

6/12 PITCH, 12" OVERHANG ALL AROUND
NOTE 4/12 PITCH AT FRONT COVERED PORCH ONLY, EXPOSED RAFTER TAILS, OPTIONAL DUTCH HIP / GABLE INSETS AS DIMENSIONED. RAFTERS 2 X 6 @ 16" O.C. WITH PURLIN BRACING, MAXIMUM UNSUPPORTED SPAN 11'0" 2 X 10 RIDGE, BRACED @ 6'0" O.C. "H105" HURRICANE CLIPS TO CODE SEE GENERAL REQUIREMENTS, FOR ROOFING MATERIAL SPECIFICATIONS AND NAILING PATTERN INSTRUCTIONS

sht. 9

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www.SeasideHomeDesign.com
Carolin@SeasideHomeDesign.com
409-632-0381



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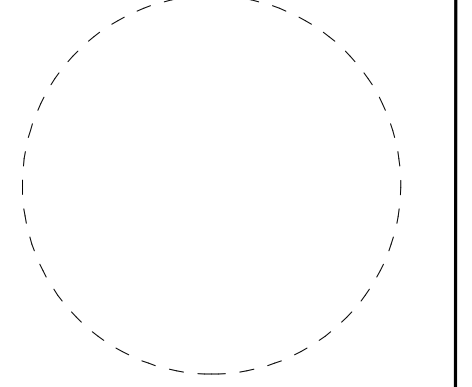
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CEILING & ROOF FRAMING PLANS

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ENGINEER SEAL

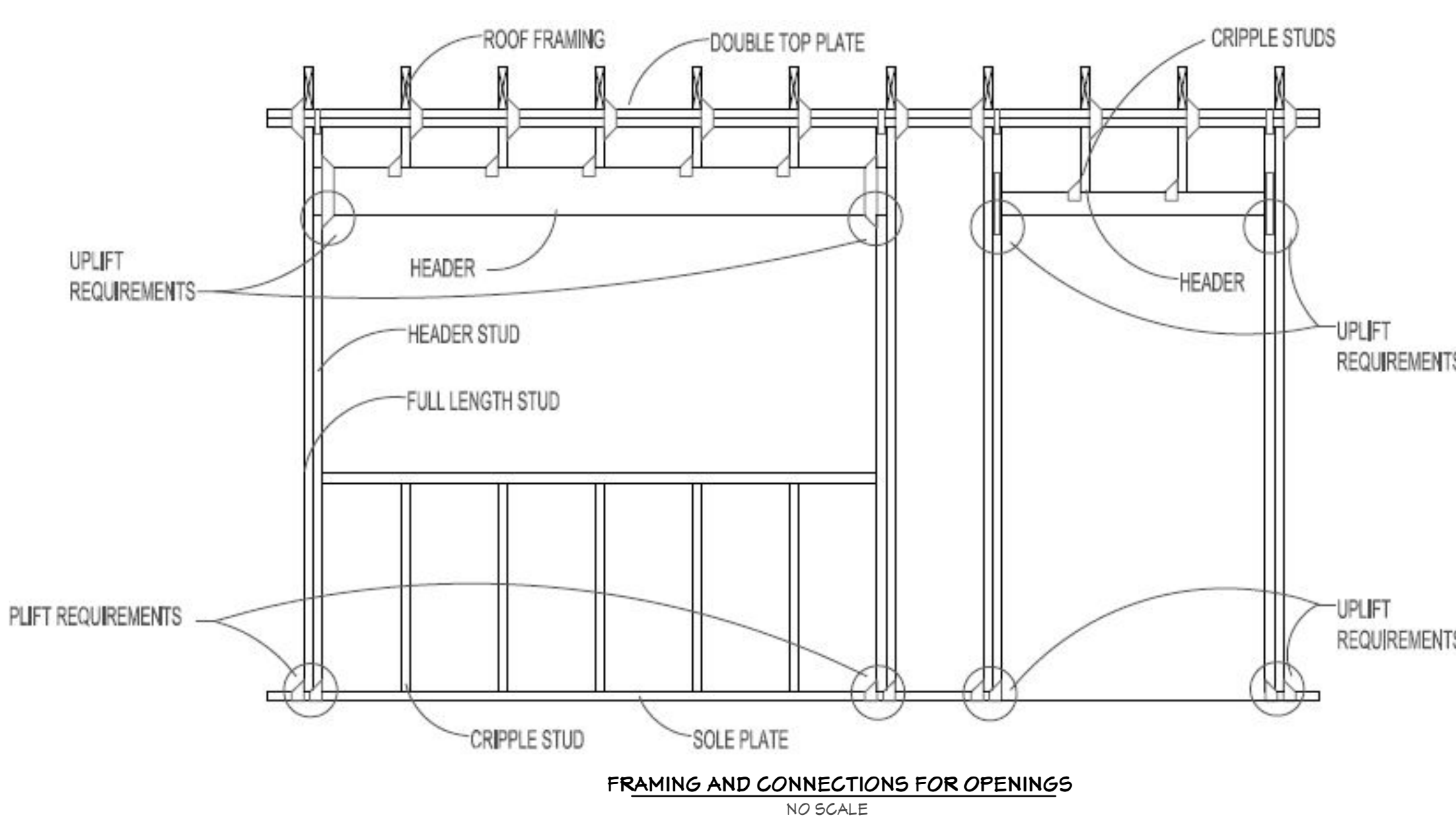
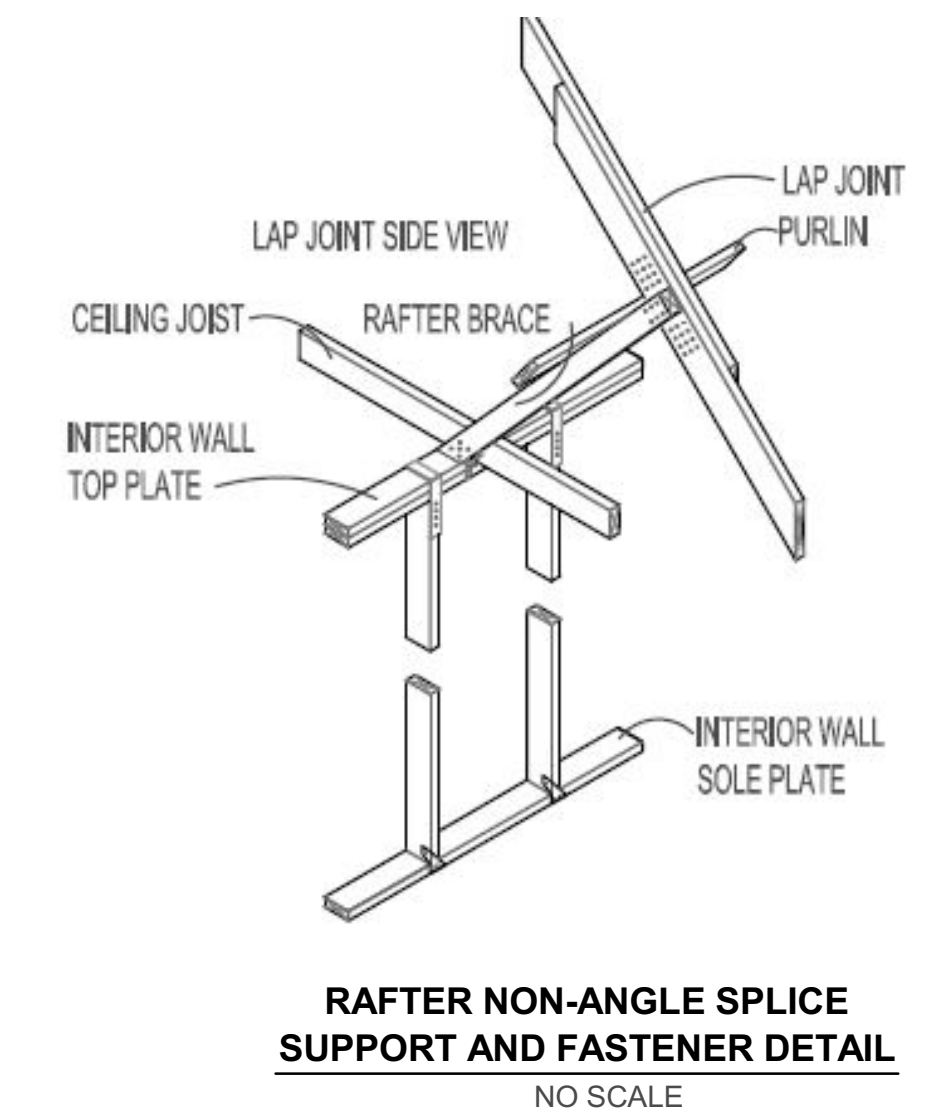
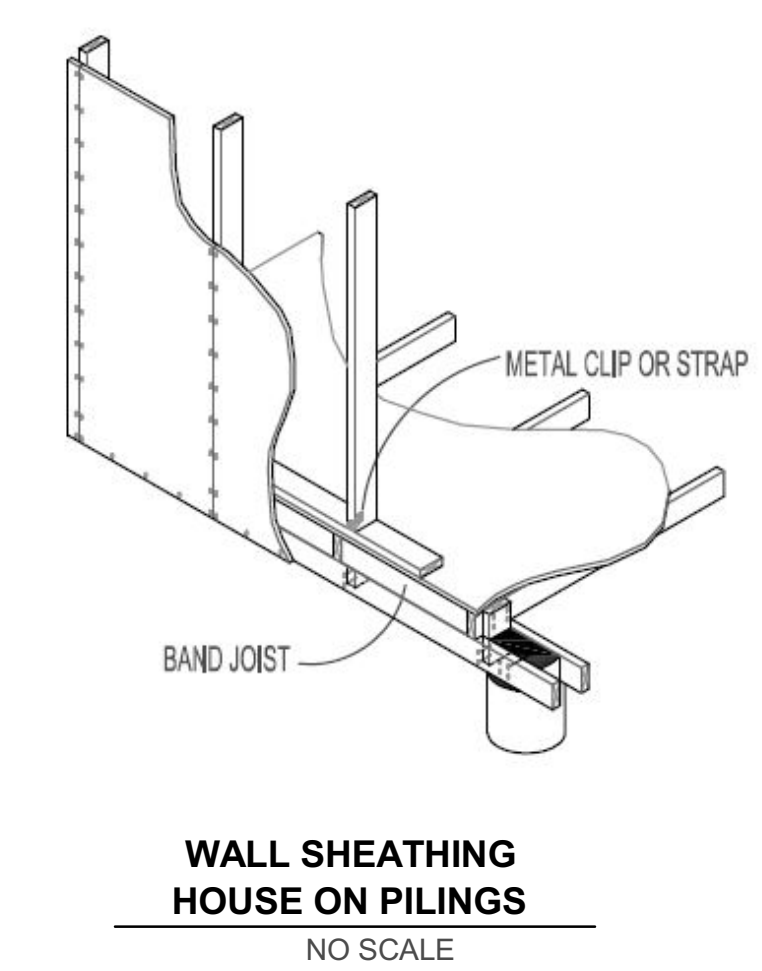
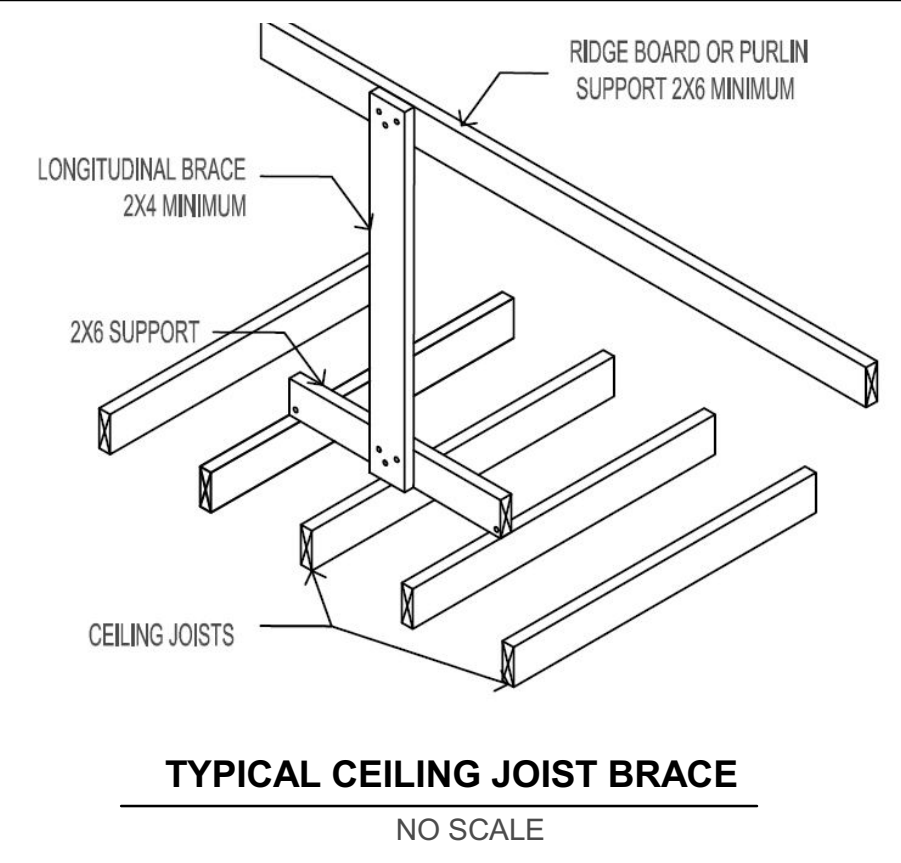
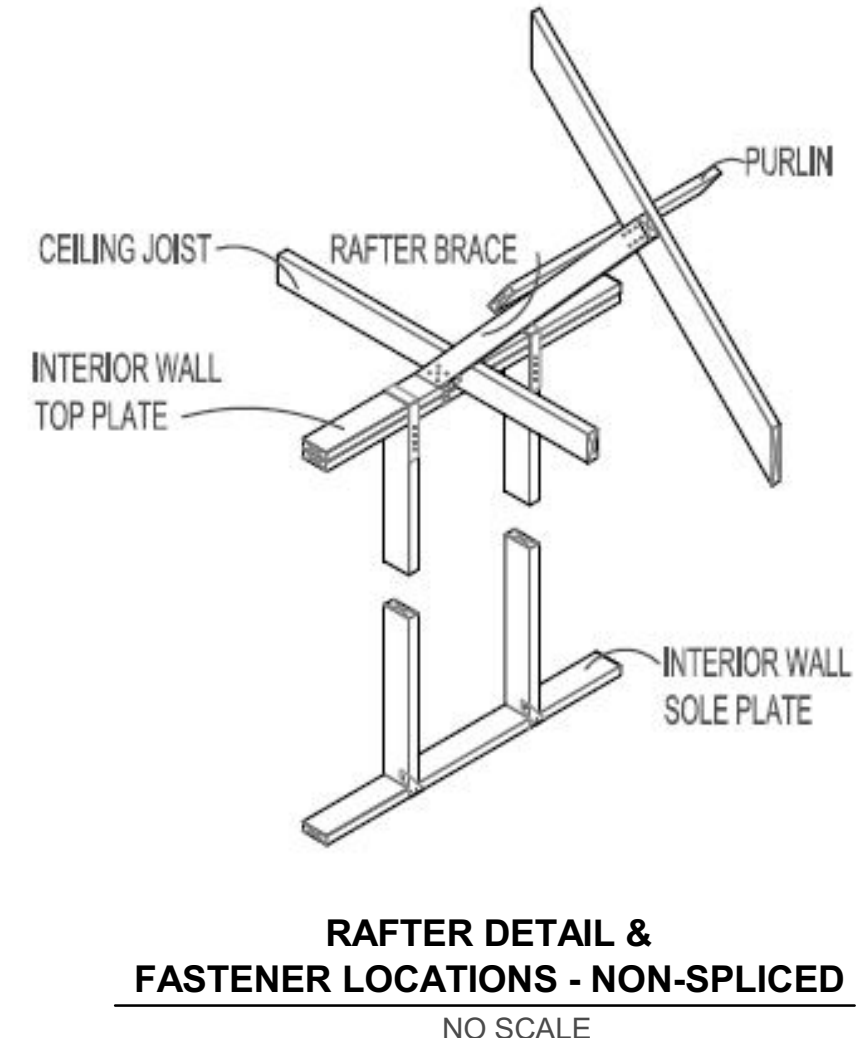
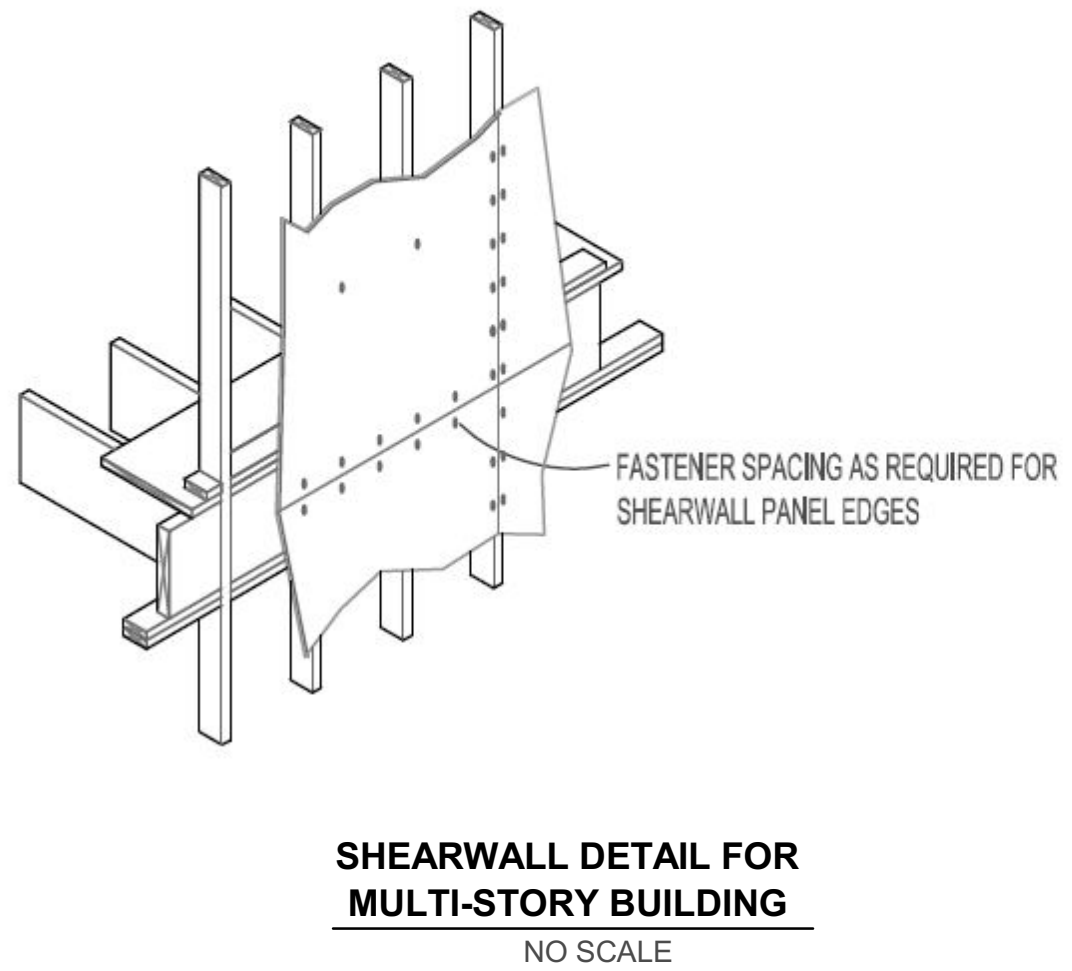
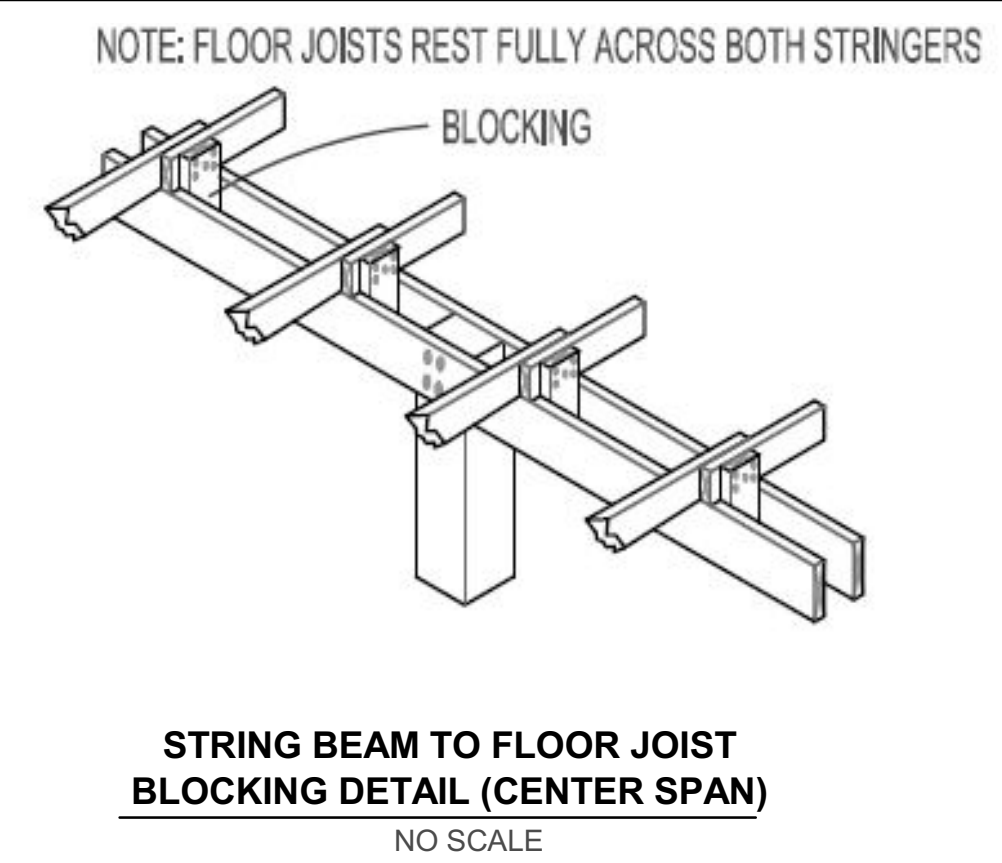
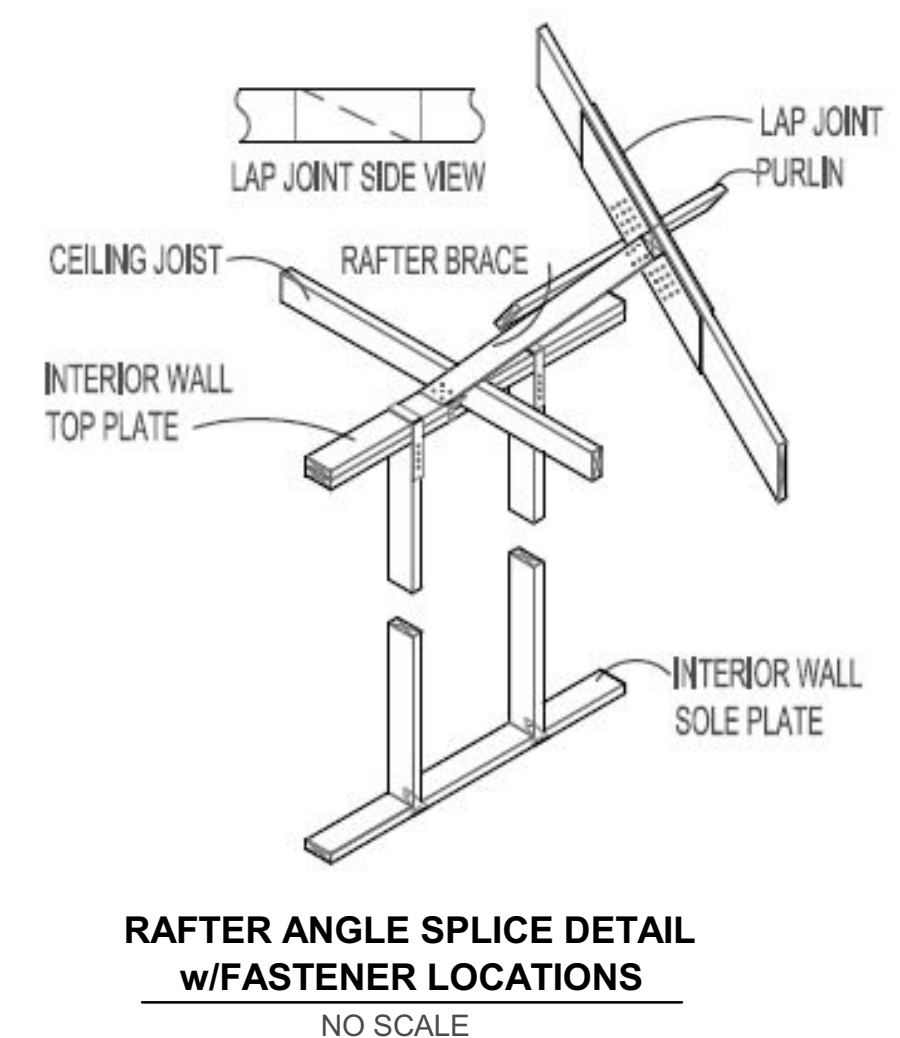
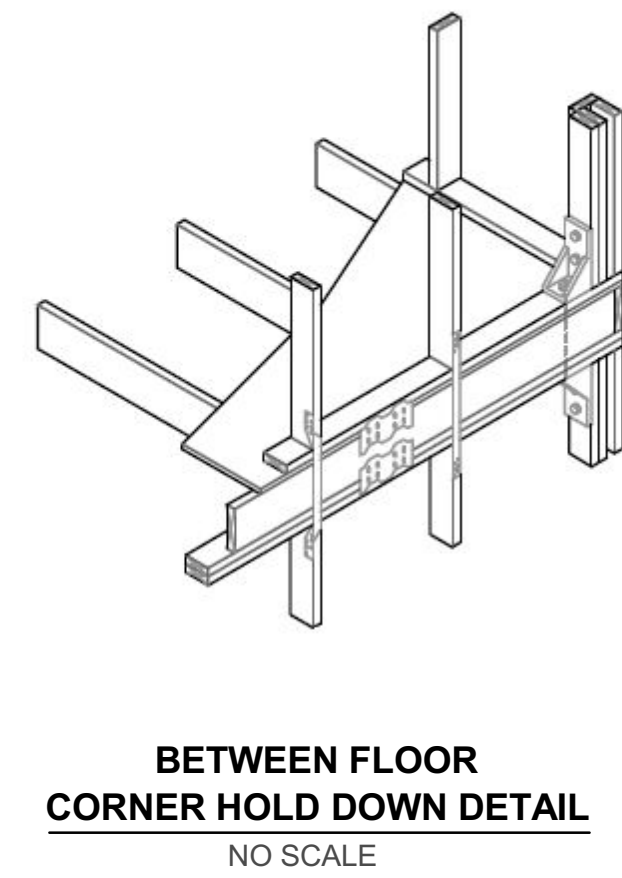
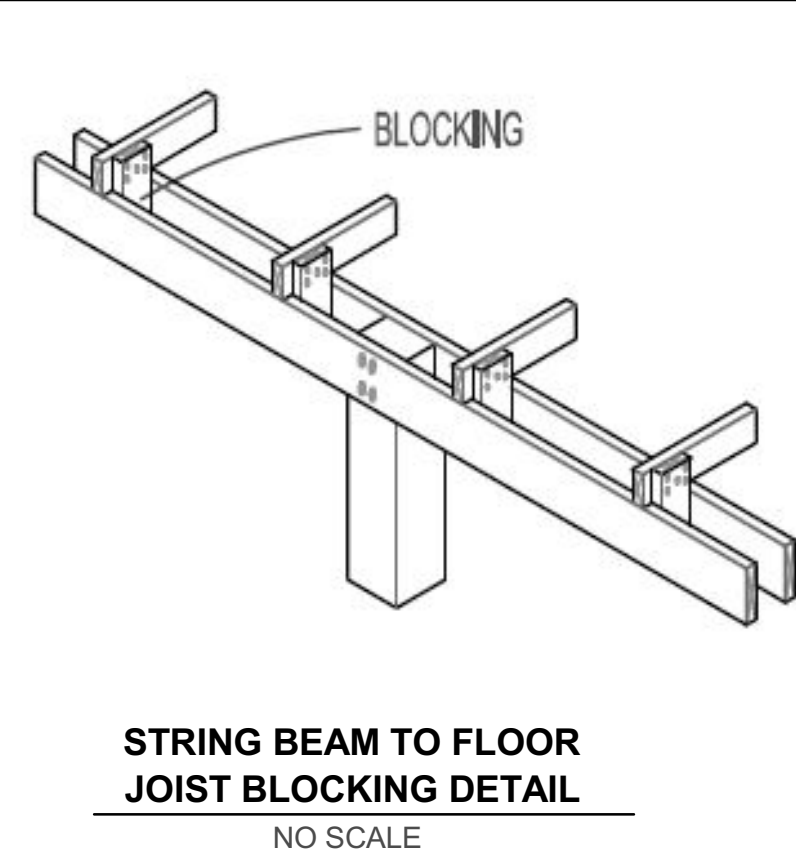
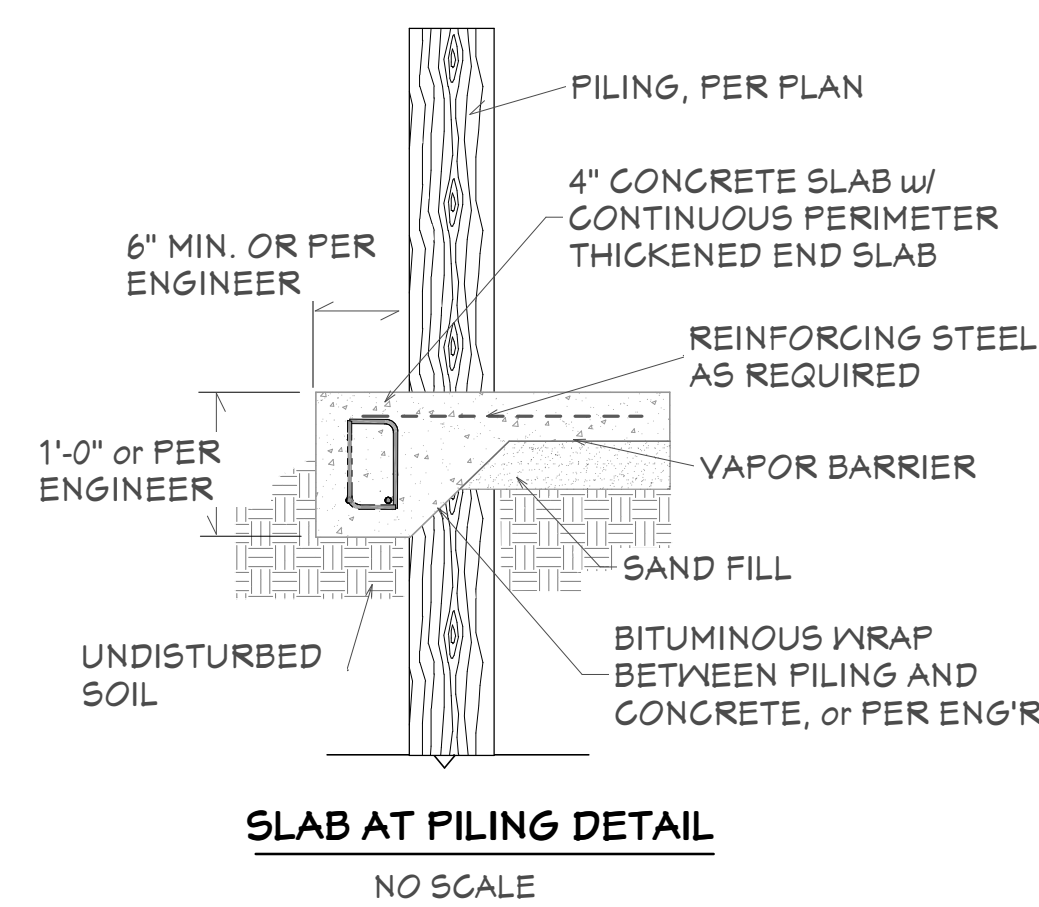
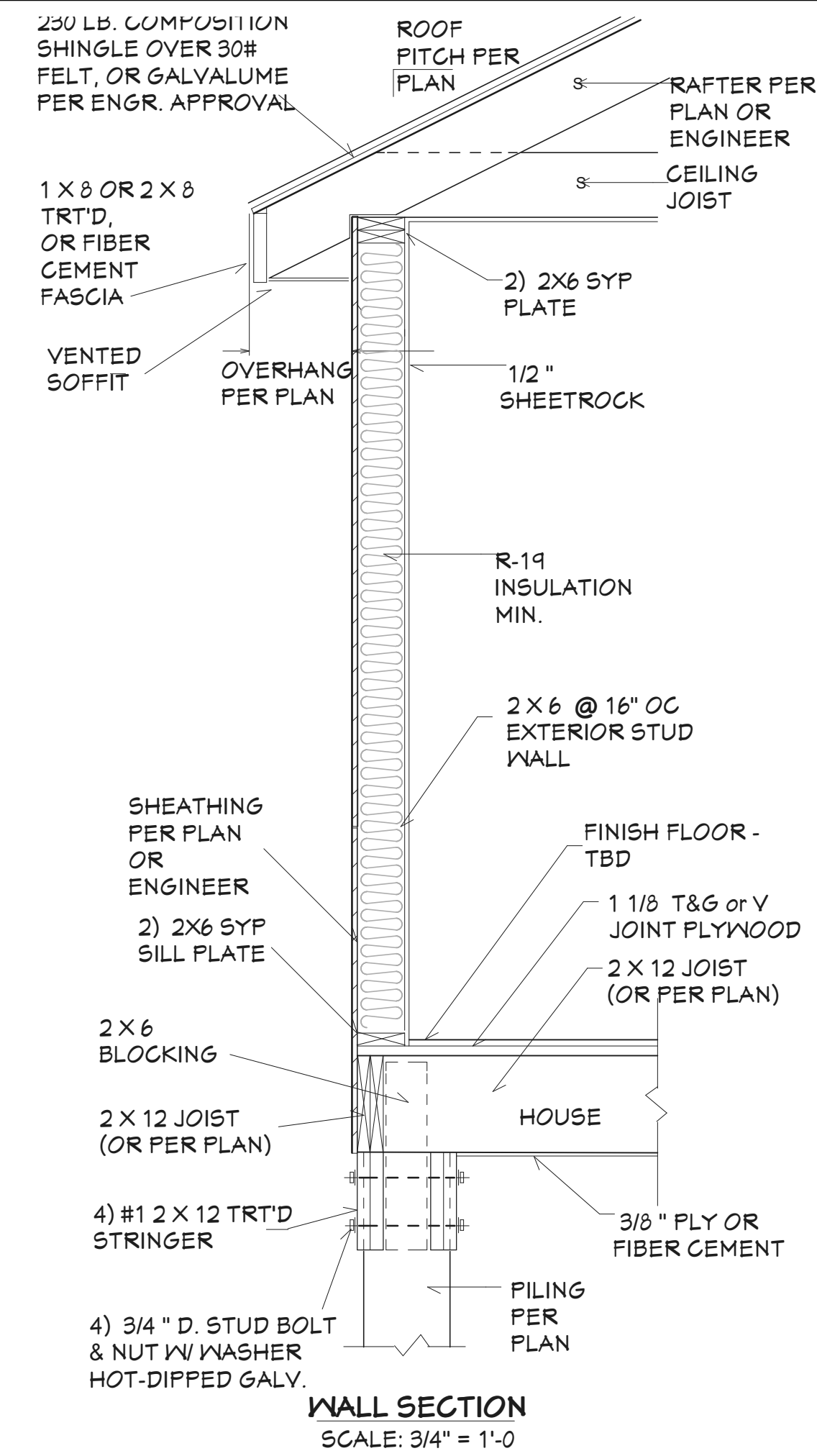
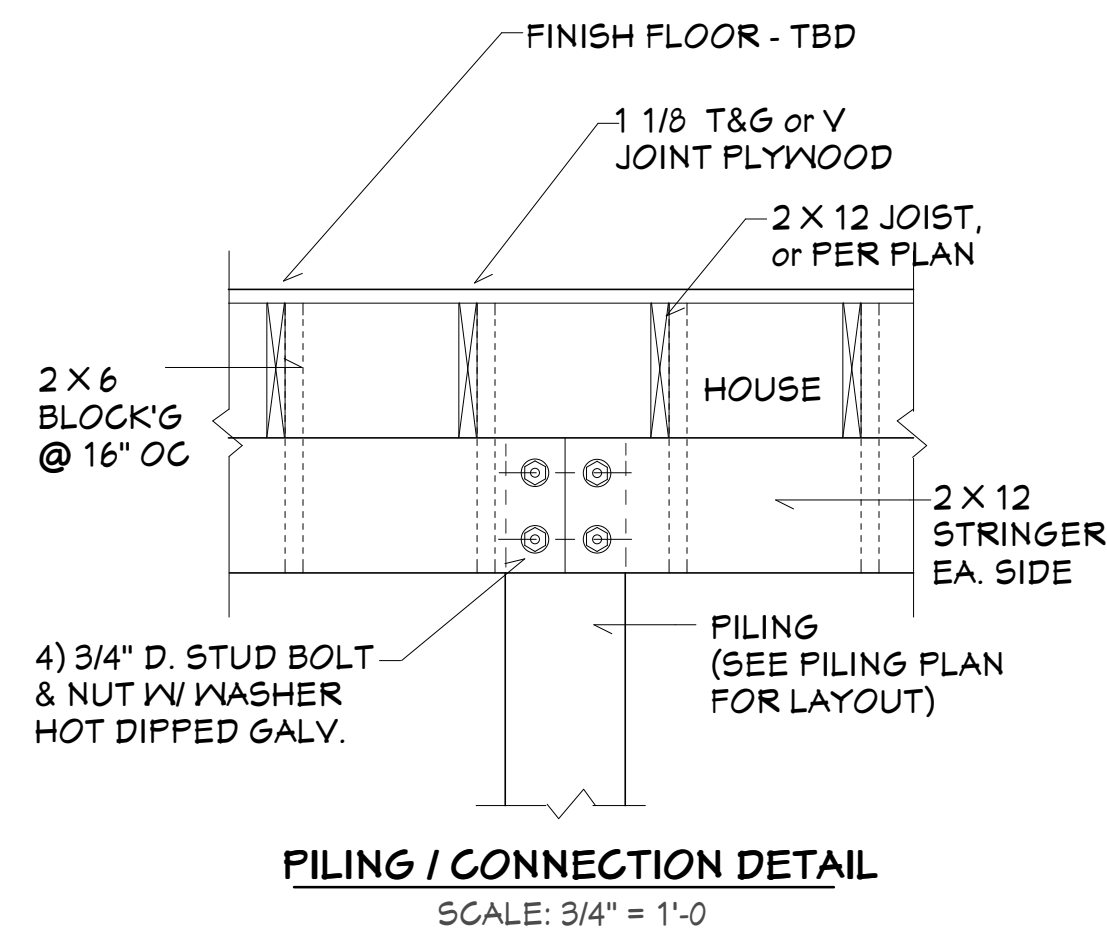
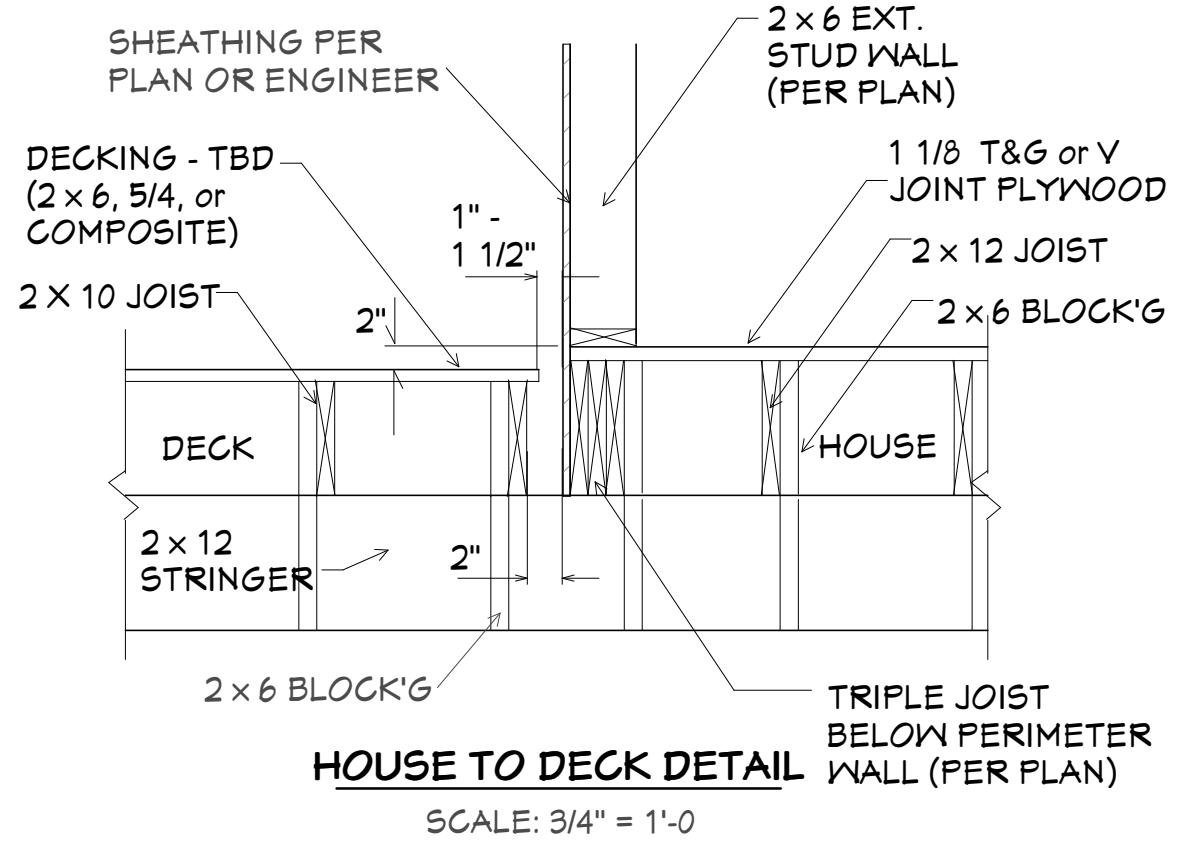
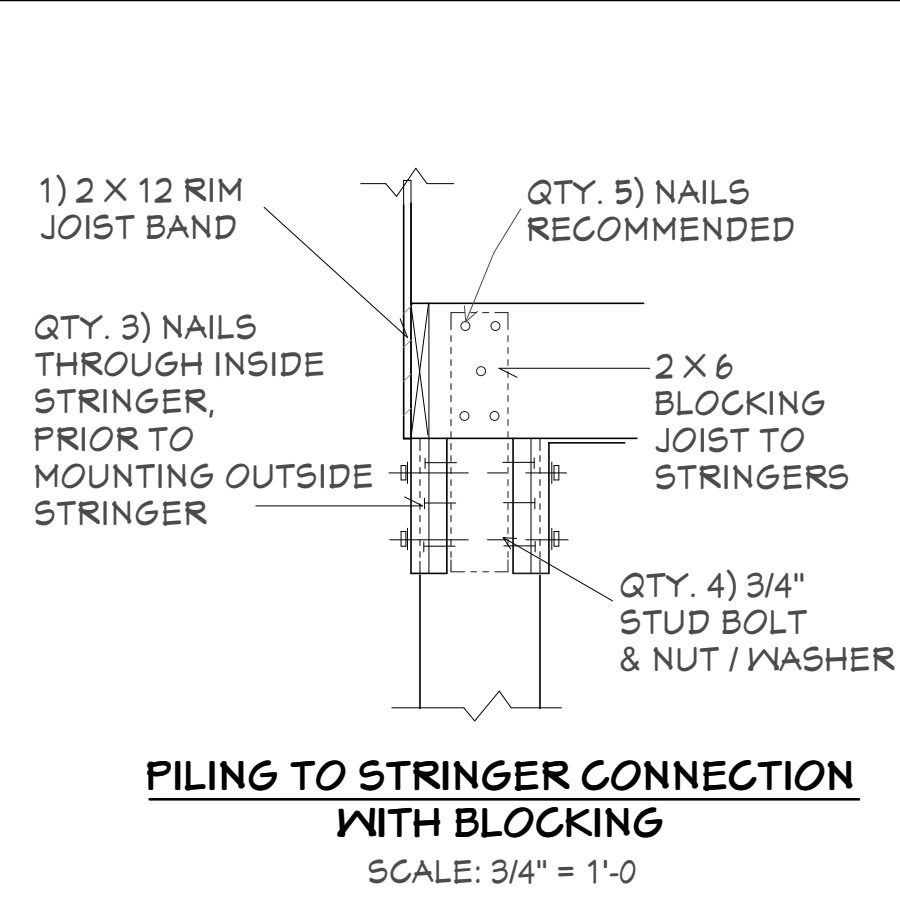
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GENERAL STRUCTURAL REQUIREMENTS:

NAILING REQUIREMENTS FOR SHEATHING ROOF: 6" X 6", 8D COMMON, BLOCKING NOT REQUIRED
SHEATH ROOF WITH 5/8 PLYWOOD OR OSB
ALL OVERHANGS AND 4 FT FROM RIDGE AND EDGES: 4" X 4", BLOCKING REQUIRED
WALLS: 5/8" PLYWOOD SHEATHING, 6" X 12", 10D, BLOCKING REQUIRED
ADDITIONAL SHEAR WALL AS REQUIRED BY ENGINEER

HOLDDOWN REQUIREMENTS: (SEE ENGINEERING DRAWING FOR DETAILS, IF APPLICABLE)
CLIPS, STRAPS & MISC CONNECTORS (OR EQUAL), UNO
LSTA24 RIDGE STRAPS
H105 CLIPS FOR RAFTERS TO TOP PLATES
H25A CLIPS FOR TOP PLATE TO EACH STUD & SSP FOR EACH STUD TO BOTTOM PLATE.
LSTA24 STRAPS FOR HEADERS TO JACK STUDS. USE ONE STRAP PER TWO STUD CLIPS.
OTHER REQUIREMENTS AS SPECIFIED ON ENGR'G DWG.

NOTE: ALL CLIPS/STRAPS IN CONTACT WITH TREATED LUMBER MUST BE THE SIMPSON "Z" TYPE OR EQUAL. CONSULT MANUFACTURER'S INSTRUCTIONS FOR NAIL SIZES FOR EACH CLIP/STRAP USED.

GENERAL STRUCTURAL REQUIREMENTS: (CONT'D)

DOORS, WINDOWS AND GLAZINGS:
ALL COMPONENTS SHALL BE CERTIFIED FOR EXPOSURE CATEGORY DESIGNATION (PROXIMITY TO SHORELINE OR COAST), AND DESIGN PRESSURE RATING (PSF), TBD BY ENGINEER.
ALL GLASS COMPONENTS AND OPENINGS SHALL BE IMPACT RESISTANT AGAINST WINDBORNE DEBRIS, w/ DESIGN PRESSURE (DP PSF) TBD BY ENGINEER, OR PROTECTED IN A MANNER MEETING ALL 2018 IBC / IRC REQUIREMENTS.

ROOFING MATERIALS:
ROOFING SHINGLES SHALL BE USED WHICH ARE STATED BY THE MANUFACTURER AS BEING COMPLIANT WITH ASTM D 1158, CLASS H, (IN EXPOSURE CATEGORY D), OR AS REQUIRED FOR SPECIFIC EXP. CAT. DESIGNATION.

INSTALLATION SHALL BE PER THE MANUFACTURERS INSTRUCTIONS, WITH PARTICULAR ATTENTION TO STARTER COURSE INSTALLATION, NAIL LINES & NAIL PATTERNS.

NOTE FOR OPT. USE OF METAL ROOFING: PRODUCT SPECIFICATIONS AND INSTALLATION REQUIREMENTS MUST MEET WINDSTORM / STRUCTURAL ENGINEER APPROVAL.

GENERAL STRUCTURAL REQUIREMENTS: (CONT'D)

SPECIAL NOTES:
CARE MUST BE GIVEN TO ENSURE NAILS ARE NOT OVER-DRIVEN IN SHEATHING, DECKING, SIDING AND SIMILAR APPLICATIONS. NAIL GUNS ARE STRONGLY DISCOURAGED. HAND-NAILED APPLICATION IS PREFERABLE.

STRAPPING NOTE:
ATTACH EACH STUD TO FOUNDATION USING LSTA 30 OR LSTA36. USE TWO STRAPS AT EACH SIDE OF ALL OPENINGS AND CORNERS.

STRUCTURAL NOTE 1:
INTERIOR SHEAR WALL ANCHORAGE TO FOUNDATION (2) LSTA 36, 2 PLS

STRUCTURAL NOTE 2:
PERIMETER SHEAR WALL ANCHORAGE TO FOUNDATION (2) LSTA 36, EACH SIDE OF OPENING, AT CORNERS, AND WHERE INDICATED REFER ALSO TO STRUCTURAL DETAILS, SOME SPECIAL CONNECTORS MAY BE REQUIRED, TO BE SPECIFIED BY TDI / STRUCTURAL ENGINEER.

TRUSS TO BE SPEC'D BY TRUSS MANUFACTURER / ENGINEER.

sht. 10
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Carolina@SeasideHomeDesign.com
409-632-0381

SEASIDE HOME DESIGN, LLC
RR 4 Box 225D3
Galveston, TX 77554

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STRUCTURAL DETAILS

APPROVAL BY T.D.I. ENGINEER REQUIRED FOR CONSTRUCTION

ENGINEER SEAL

DESIGN BY:
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DETAILS AS SHOWN, OR TO BE PROVIDED BY STRUCTURAL ENGINEER