



Lone Star Stucco, LLC

Moisture Assessment Report

Tony Sampaio

1843 Sul Ross St

Houston, TX 77098



Lone Star Stucco, LLC 2220 S Piney Pt Rd #208 Houston, TX 77063
Inspector's Cell: (936) 661-6612 (preferred text) **Office:** (936) 228-2268
Email: angelalonestarstucco@gmail.com



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Project Information

PROPERTY INFORMATION		INSPECTION INFORMATION	
Client Name	Tony Sampaio	Type of Inspection	Invasive
Property Address	1843 Sul Ross St	Date of Inspection	12/20/21
City, State, ZIP	Houston, TX 77098	Temperature	50 Degrees
Phone	346-308-3567	Weather	Cloudy
Square Footage (estimated)	2,407	Last Rain	1 Day
Approximate Age of Property	2012	In Attendance	Inspector
Stories	4	Inspector	Gregg Morgan
Type of Exterior	Traditional Hardcoat Stucco/Brick/CFB		
Substrate	Plywood		
Windows	Metal Single Hung/Fixed		

Inspection Test Equipment		
Equipment Description	Test Range	Setting
Delmhorst Moisture Probe Meter- BD 2100	Low 6-13 /Medium 13-19 /High 19+	1
<p>Important Note: The test equipment is used to help locate problem areas. It must be understood that the test equipment is not an exact science but rather good tools used as indicators of possible problems. At times, because of hidden construction within the wall cavity, the meters get false readings or no readings at all. Some meters will pick up on metals, wiring, unique wall finishes, etc. Positive readings do not always mean there is a problem, nor do negative readings necessarily mean there is not a problem. We do not use the equipment to obtain exact moisture content, but rather to obtain relative readings between suspected problem areas and non problem areas. this information is then used to help determine potential problem areas which may warrant more investigation.</p>		



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Caulking	Good	Not Adequate	N/A	Comments
Caulking Around Window Frame	X			
Caulking At Window Joints / Miters	X			
Caulking Around Door Frame	X			
Caulking At Door Joints / Miters	X			
Caulking Around Other Breaches		X		Doorbell / Reseal
Flat Accents Caulked or Angled		X		
Soffit, Frieze & Facia Boards Caulked	X			
Flashings / Diverters	Good	Not Adequate	N/A	Comments
Kickout Flashings / Roof / Wall		X		Missing on Front
Balcony Flashings		X		Aged / Separated
Other Attachment Flashings			X	
Porches / Stoop Flashing	X			
Chimney Cap			X	
Chimney Cricket			X	
Window Head Flashing	X			
Door Head Flashing	X			
Column Flashing			X	
Terminations	Yes	No	N/A	Comments
Stucco In Contact With Flat Work		X		
Stucco In Contact With Soil		X		
Miscellaneous	Yes	No	N/A	Comments
Evidence Of Sprinkler Overspray		X		
Gutters Clean & Functioning	X			
Cracks or Impact Damage		X		
Exterior Evidence of Pest Infestation		X		
Control Joints Noted On System	X			



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Summary Page

- Lone Star Stucco, LLC recommends consulting with a qualified waterproofing contractor to touch up or seal all doors, windows and penetrations as needed in an effort to avoid moisture intrusion.
- Stucco/brick appears to be typically detailed at grade for the time of this construction. The inspector suggests that this is a positive detail and recommends no modification at this time but to always keep soil away from the structure. Please refer to photos #4.2, #4.3, #4.4, #4.5 and #4.6 for more detail.
- Sprinklers have been noted on this home. The inspector suggests to always redirect sprinkler heads away from the system and windows as needed in an effort to prevent moisture intrusion. Please refer to photos #5.2, #5.3 and #5.4 for more detail.
- Door trim and miter sealants are present at this location. The inspector states that this is a positive detail and suggests maintaining these sealants in an effort to prevent moisture intrusion. Please refer to photos #6.2, #6.3, #6.4, #6.5, #6.6, #7.1, #7.2, #7.3 and #7.4 for more detail.
- Penetration sealants are present at these locations. The inspector states that this is a positive detail and suggests maintaining these sealants in an effort to prevent moisture intrusion. Please refer to photos #8.2, #8.3, #8.4, #8.5 and #8.6 for more detail.
- The doorbell is detached from the home. The inspector suggests to have a qualified contractor reattach this doorbell and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #9.2 and #9.3 for more detail.
- Although the bottom of the wall noted does not have a proper relief, this was a proper detail at the time of construction. Upon invasive testing at this location, the substrate was firm with low moisture readings. The inspector recommends no modification at this point in time but recommends to maintain all sealants above this location to prevent potential moisture intrusion. Please refer to photos #11.2 and #11.3 for more detail.
- Brick and stucco sealants are present at this location. The inspector states that this is a positive detail and suggests maintaining these sealants in an effort to prevent moisture intrusion. Please refer to photos #12.2, #12.3, #12.4, #12.5 and #12.6 for more detail.



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- The window sealants are separated. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #13.2, #13.3, #13.4, #13.5, #13.6, #14.1, #14.2, #14.3 and #14.4 for more detail.
- The balcony flashing sealants are aged and separated at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #15.2, #15.3, #15.4, #15.5 and #15.6 for more detail.
- The parapet cap flashing sealants are aged and separated at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #16.2, #16.3, #16.4, #16.5 and #16.6 for more detail.
- Although the bottom of the wall noted does not have a proper relief, this was a proper detail at the time of construction. Upon invasive testing at this location, the substrate was firm with low moisture readings. The inspector recommends no modification at this point in time but recommends to maintain all sealants above this location to prevent potential moisture intrusion. Please refer to photos #17.2 and #17.3 for more detail.
- The metal cap sealants are aged and separated at these locations. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #18.2, #18.3, #18.4, #18.5 and #18.6 for more detail.
- The rooftop parapet cap flashing sealants are aged and separated at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #19.2, #19.3, #19.4, #19.5 and #19.6 for more detail.



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- The penetration sealants are aged. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #20.2, #20.3, #20.4, #20.5 and #20.6 for more detail.
- Cracks are noted in the mortar at this location. The inspector suggests to have a qualified waterproofing contractor further assess and properly re point as needed to prevent moisture intrusion. All cracking was not necessarily identified in this report. Please refer to photos #21.2, #21.3, #21.4 and #21.5 for more detail.
- The window sealants are aged and separated. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #22.2, #22.3, #22.4, #22.5, #22.6, #23.1, #23.2, #23.3 and #23.4 for more detail.
- Brick and stucco sealants are present at this location. The inspector states that this is a positive detail and suggests maintaining these sealants in an effort to prevent moisture intrusion. Please refer to photos #24.2, #24.3, #24.4 and #24.5 for more detail.
- The CFB/stucco termination sealants are aged. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #25.2, #25.3, #25.4, #25.5 and #25.6 for more detail.
- The balcony flashing sealants are aged at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #26.2, #26.3, #26.4 and #26.5 for more detail.
- The door trim sealants are aged and separated. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #28.2, #28.3, #28.4, #28.5 and #28.6 for more detail.



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- Cracks are noted in the mortar at this location. The inspector suggests to have a qualified waterproofing contractor further assess and properly re point as needed to prevent moisture intrusion. All cracking was not necessarily identified in this report. Please refer to photos #29.2, #29.3, #29.4, #29.5 and #29.6 for more detail.
- The penetration sealants are aged and separated. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #30.2, #30.3 and #30.4 for more detail.
- Although a relief is present at this location, excess sealant was applied to the drainage plane obstructing proper moisture evacuation of the system. The inspector recommends having a qualified waterproofing contractor further assess, clean out excess material and verify the house back wrap has been cut. This will provide the proper functioning of the system at this location. Please refer to photos #31.2, #31.3, #31.4, #31.5 and #31.6 for more detail.
- The window sealants are aged and separated. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #32.2, #32.3, #32.4, #32.5 and #32.6 for more detail.
- You have several areas that are showing signs of elevated moisture. Please refer to the attached report for more detail.
- **LIMITATIONS OF LIABILITY:** Because this is a limited inspection, we can make no guarantee, express or implied, that our observations and random moisture readings offer conclusive evidence that no installation or moisture problems exist, or that problems found are all-inclusive. This inspection company, its employees and any divisions shall not be liable for non-visual defects, unseen defects, unspecified defects or hidden damage and conditions existing on the subject property and hereby disclaims any liability or responsibility thereof. All parties concerned agree to hold harmless and indemnify this inspection company involving any liabilities that may result.



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Summary Page

- **FURTHER TESTING / INVESTIGATION:** Our policy is to rely on moisture meter readings as an indicator of relative moisture values between different test spots, not as an absolute value of water content in the substrate. It is difficult to determine if the structural wood of your home has been damaged in areas of high readings without 'probing' and/or removing a core sample of the stucco to allow for visual inspection. Should we feel that further investigation is needed this will be indicated in the summary section of the report.
- **REPAIR FOLLOW-UP AND ANNUAL INSPECTIONS:** A repair follow-up inspection should be conducted within three months after completion of the repairs to assess the effectiveness of the moisture modifications. This is extremely important. Annual inspections should also be scheduled to ensure that your stucco system remains dry. This way any sealant failures, stucco cracks, etc. can be caught and repaired promptly. Testing and maintaining your home on a regular basis is the best way to prevent costly repairs associated with moisture damage. Also, should you decide to sell your home, annual inspections and maintenance documentation will be a valuable selling tool, providing evidence to show that your home has been inspected and maintained on a regular basis by a reputable and qualified firm.
- **PLEASE NOTE:** Lone Star Stucco, LLC is not a home inspection company, and does not perform home inspections. This report's primary use is to show the areas that are likely to have moisture intrusion in an effort to help control mold. This report and all its contents are sanctioned by the Texas Department of State and Health Services in guidelines for mold prevention.

Thank you for your business,

James "Gregg" Morgan

2220 S Piney Pt Rd #208
Houston, TX 77063
Texas Department of Licensing and Regulation
Mold Assessment Consultant
License Number: MAC 1299
Expiration 8/13/2022



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Photo4.1

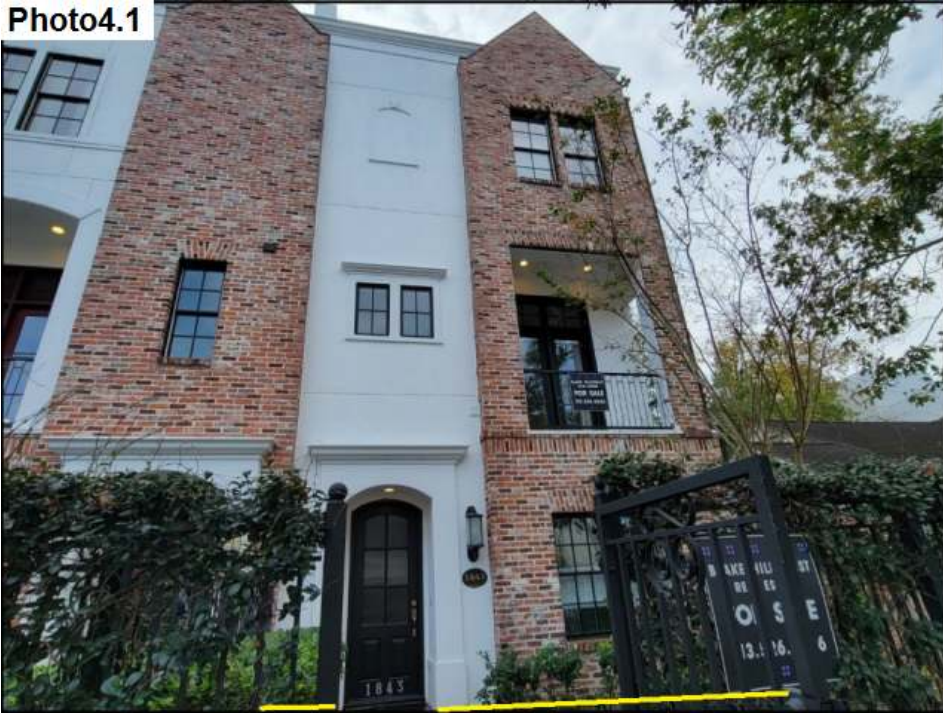


Photo4.2



Proper Grade Termination w/ Weep Screed and Holes/ Positive Detail

Photo4.3



Proper Grade Termination w/ Weep Screed and Holes/ Positive Detail

Photo4.4



Proper Grade Termination w/ Weep Screed and Holes/ Positive Detail

Photo4.5



Proper Grade Termination w/ Weep Screed and Holes/ Positive Detail

Photo4.6



Proper Grade Termination w/ Weep Screed and Holes/ Positive Detail

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Yellow Lines	Grade Termination			Stucco/brick appears to be typically detailed at grade for the time of this construction. The inspector suggests that this is a positive detail and recommends no modification at this time but to always keep soil away from the structure. Please refer to photos #4.2, #4.3, #4.4, #4.5 and #4.6 for more detail.



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Photo5.1

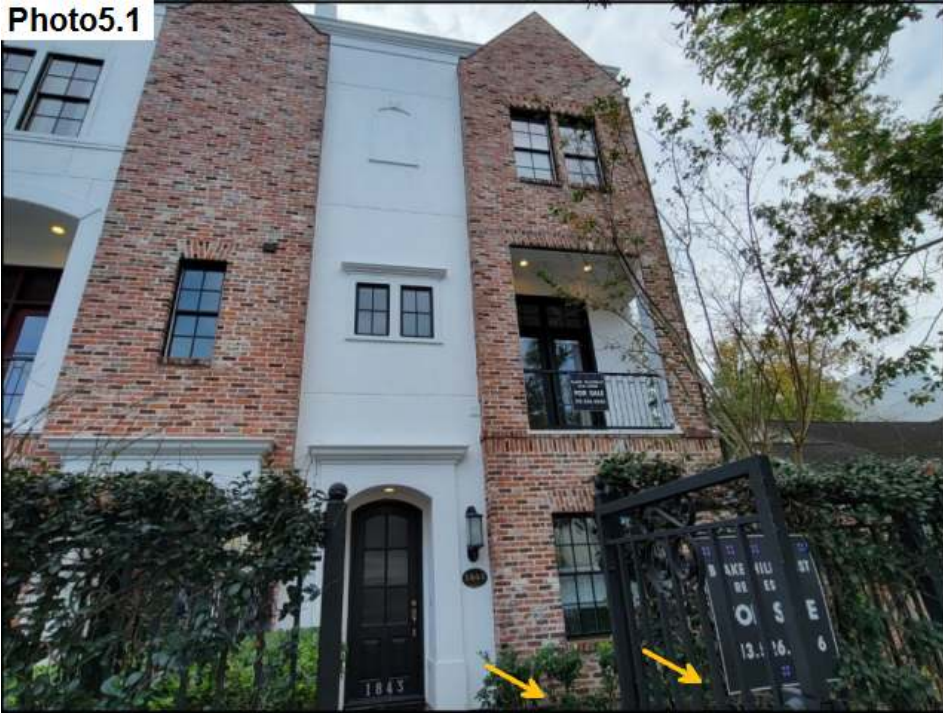


Photo5.2



Sprinklers / Redirect as Needed

Photo5.3



Sprinklers / Redirect as Needed

Photo5.4



Sprinklers / Redirect as Needed

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Orange Arrows	Sprinklers			Sprinklers have been noted on this home. The inspector suggests to always redirect sprinkler heads away from the system and windows as needed in an effort to prevent moisture intrusion. Please refer to photos #5.2, #5.3 and #5.4 for more detail.



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Photo6.1

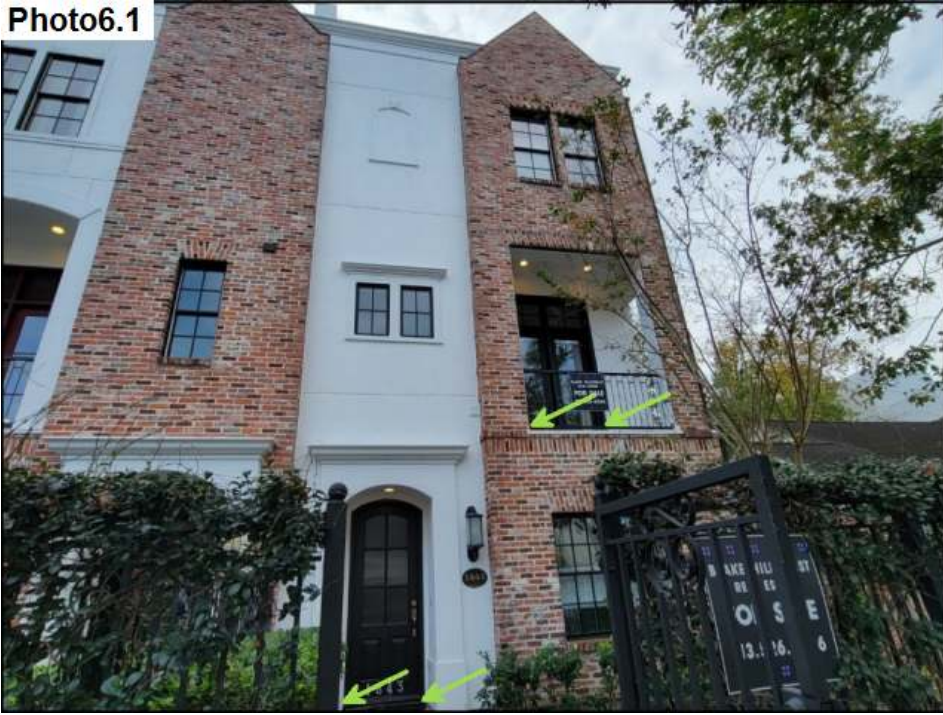


Photo6.2



Door Trim and Miter Sealant / Maintain

Photo6.3



Door Trim and Miter Sealant / Maintain

Photo6.4



Door Trim and Miter Sealant / Maintain

Photo6.5



Door Trim and Miter Sealant / Maintain

Photo6.6



Door Trim and Miter Sealant / Maintain

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Arrows	Doors			Door trim and miter sealants are present at this location. The inspector states that this is a positive detail and suggests maintaining these sealants in an effort to prevent moisture intrusion. Please refer to photos #6.2, #6.3, #6.4, #6.5, #6.6, #7.1, #7.2, #7.3 and #7.4 for more detail.



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Door Trim and Miter Sealant / Maintain



Door Trim and Miter Sealant / Maintain



Door Trim and Miter Sealant / Maintain



Door Trim and Miter Sealant / Maintain



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Photo8.1



Photo8.2



Penetrations / Maintain

Photo8.3



Penetrations / Maintain

Photo8.4



Penetrations / Maintain

Photo8.5



Penetrations / Maintain

Photo8.6



Penetrations / Maintain

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Yellow Arrows	Penetrations			Penetration sealants are present at these locations. The inspector states that this is a positive detail and suggests maintaining these sealants in an effort to prevent moisture intrusion. Please refer to photos #8.2, #8.3, #8.4, #8.5 and #8.6 for more detail.



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Photo9.1

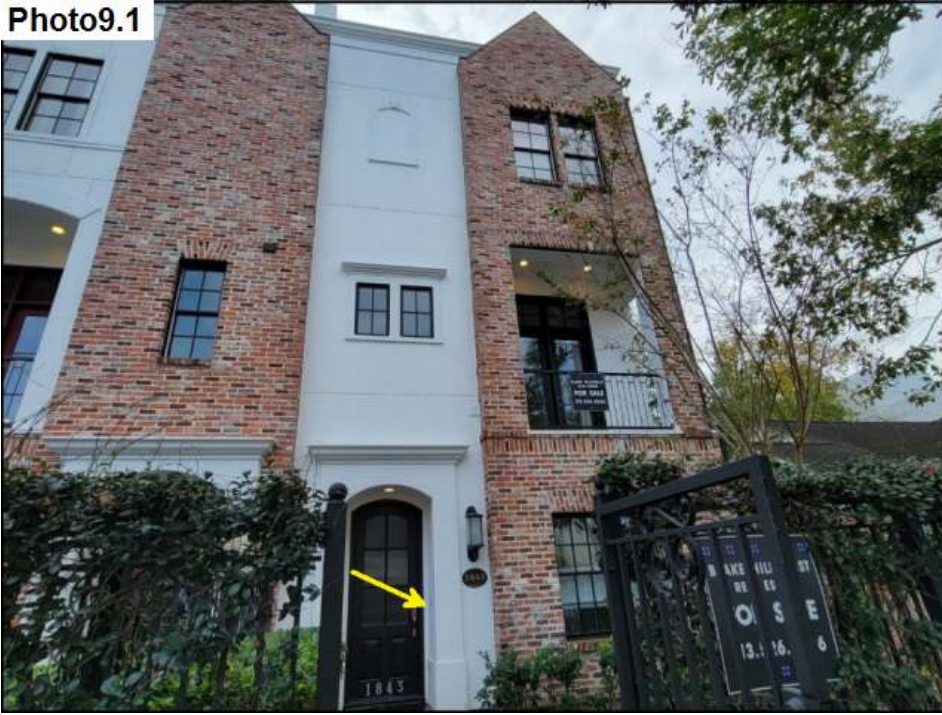


Photo9.2



Penetration Sealants / Seal

Photo9.3

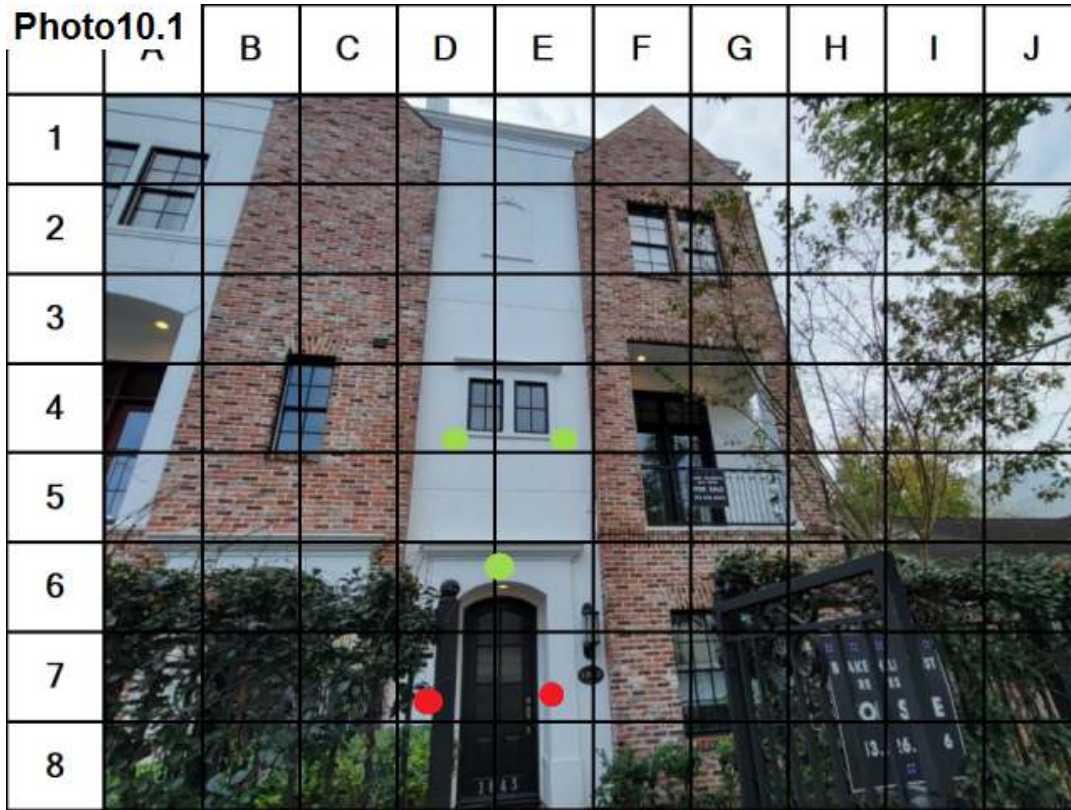


Penetration Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Yellow Arrows	Penetrations			The doorbell is detached from the home. The inspector suggests to have a qualified contractor reattach this doorbell and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #9.2 and #9.3 for more detail.



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Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
D7	Entryway Left	20%	Firm	A moisture probe was made at the entryway wall left. An elevated moisture reading was noted with a firm substrate.
F8	Window Lower Right	19%	Firm	A moisture probe was made at the entryway wall right. An elevated moisture reading was noted with a firm substrate.
D5	Entry Way Arch	18%	Firm	A moisture probe was made at the entry arch. The substrate was firm with no damage noted at this time.
D4	Window Lower Left	17%	Firm	A moisture probe was made below the window bottom left. An elevated moisture reading was noted with a firm substrate.
E4	Window Lower Right	18%	Firm	A moisture probe was made below the window bottom right. The substrate was firm with no damage noted at this time.



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Photo11.1



Photo11.2



No Relief Present / No Modification

Photo11.3



No Relief Present / No Modification

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Blue Lines	Relief			Although the bottom of the wall noted does not have a proper relief, this was a proper detail at the time of construction. Upon invasive testing at this location, the substrate was firm with low moisture readings. The inspector recommends no modification at this point in time but recommends to maintain all sealants above this location to prevent potential moisture intrusion. Please refer to photos #11.2 and #11.3 for more detail.



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Photo12.1



Photo12.2



Brick/Stucco Termination / Maintain

Photo12.3



Brick/Stucco Termination / Maintain

Photo12.4



Brick/Stucco Termination / Maintain

Photo12.5



Brick/Stucco Termination / Maintain

Photo12.6



Brick/Stucco Termination / Maintain

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Lines	Stucco Termination			Brick and stucco sealants are present at this location. The inspector states that this is a positive detail and suggests maintaining these sealants in an effort to prevent moisture intrusion. Please refer to photos #12.2, #12.3, #12.4, #12.5 and #12.6 for more detail.



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Photo13.1



Photo13.2



Window Sealants / Seal

Photo13.3



Window Sealants / Seal

Photo13.4



Window Sealants / Seal

Photo13.5



Window Sealants / Seal

Photo13.6



Window Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Windows			The window sealants are separated. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #13.2, #13.3, #13.4, #13.5, #13.6, #14.1, #14.2, #14.3 and #14.4 for more detail.



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Photo14.1



Window Sealants / Seal

Photo14.2



Window Sealants / Seal

Photo14.3



Window Sealants / Seal

Photo14.4



Window Sealants / Seal



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Photo15.1



Photo15.2



Balcony Flashing / Seal

Photo15.3



Balcony Flashing / Seal

Photo15.4



Balcony Flashing / Seal

Photo15.5



Balcony Flashing / Seal

Photo15.6



Balcony Flashing / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Blue Circles	Flashing			The balcony flashing sealants are aged and separated at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #15.2, #15.3, #15.4, #15.5 and #15.6 for more detail.



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Photo16.1

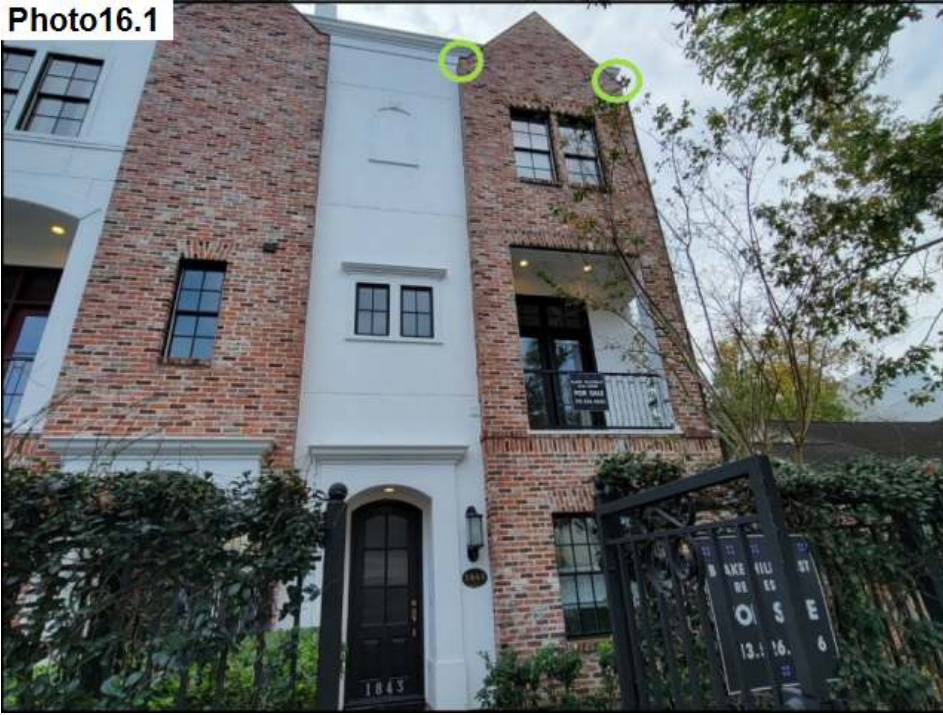


Photo16.2



Kickout Flashing Location / Seal

Photo16.3



Kickout Flashing Location / Seal

Photo16.4



Kickout Flashing Location / Seal

Photo16.5



Kickout Flashing Location / Seal

Photo16.6



Kickout Flashing Location / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Circles	Flashing			The parapet cap flashing sealants are aged and separated at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #16.2, #16.3, #16.4, #16.5 and #16.6 for more detail.



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Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
D3	Left Wall	17%	Firm	A moisture probe was made at the right wall. The substrate was firm with no damage noted at this time.
E3	Right Wall	18%	Firm	A moisture probe was made at the left wall. The substrate was firm with no damage noted at this time.
G4	Bottom Wall	20%	Firm	A moisture probe was made at the bottom wall. The substrate was firm with no damage noted at this time.



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Photo18.1



Photo18.2



Metal Cap/Stucco Termination / Seal

Photo18.3



Metal Cap/Stucco Termination / Seal

Photo18.4



Metal Cap/Stucco Termination / Seal

Photo18.5



Metal Cap/Stucco Termination / Seal

Photo18.6



Metal Cap/Stucco Termination / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Orange Lines	Metal Cap			The metal cap sealants are aged and separated at these locations with paint overspray. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #18.2, #18.3, #18.4, #18.5 and #18.6 for more detail.



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Photo19.1

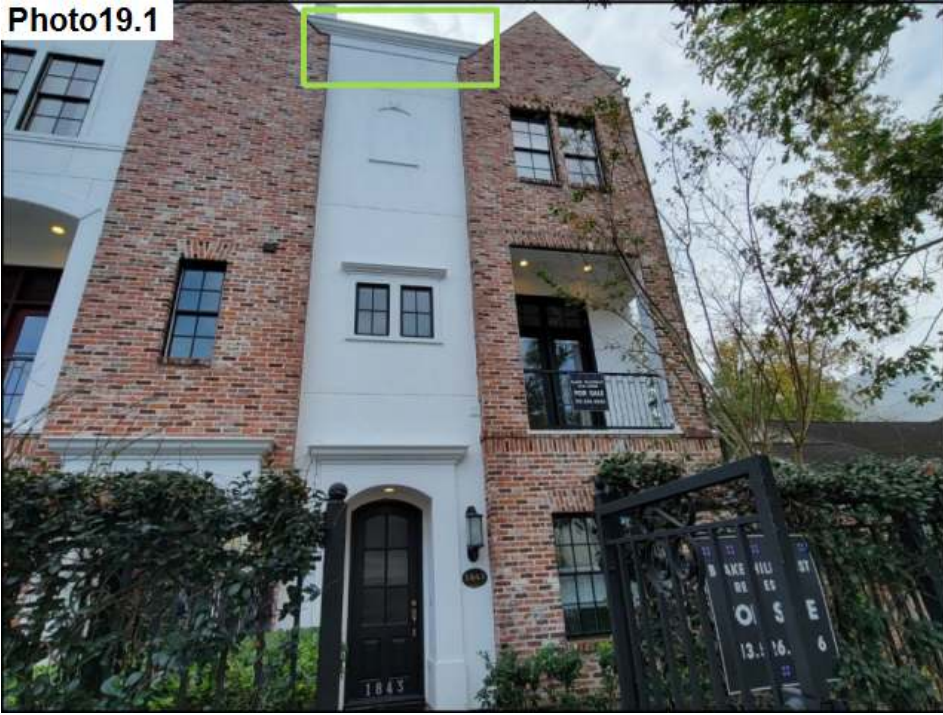
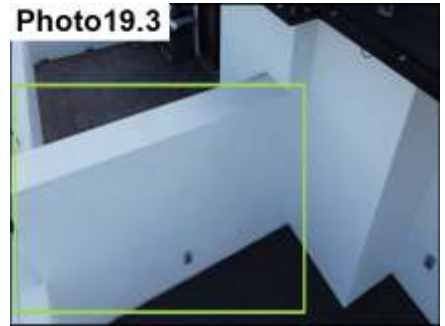


Photo19.2



Rooftop Parapet Cap / Seal

Photo19.3



Rooftop Parapet Cap / Seal

Photo19.4



Rooftop Parapet Cap / Seal

Photo19.5



Rooftop Parapet Cap / Seal

Photo19.6



Rooftop Parapet Cap / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Boxes	Flashing			The rooftop parapet cap flashing sealants are aged and separated at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #19.2, #19.3, #19.4, #19.5 and #19.6 for more detail.



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Photo20.1



Photo20.2



Penetration Sealants / Seal

Photo20.3



Penetration Sealants / Seal

Photo20.4



Penetration Sealants / Seal

Photo20.5



Penetration Sealants / Seal

Photo20.6



Penetration Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Yellow Arrows	Penetrations			The penetration sealants are aged. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #20.2, #20.3, #20.4, #20.5 and #20.6 for more detail.



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Photo21.1



Photo21.2



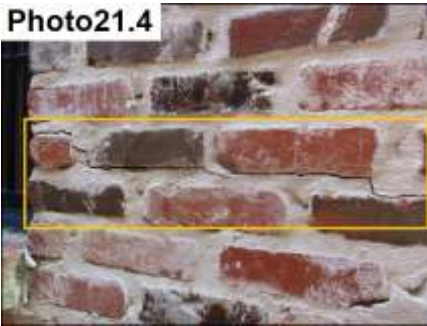
Crack Noted / Re Point As Needed

Photo21.3



Crack Noted / Re Point As Needed

Photo21.4



Crack Noted / Re Point As Needed

Photo21.5



Crack Noted / Re Point As Needed

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Orange Boxes	Cracks			Cracks are noted in the mortar at this location. The inspector suggests to have a qualified waterproofing contractor further assess and properly re point as needed to prevent moisture intrusion. All cracking was not necessarily identified in this report. Please refer to photos #21.2, #21.3, #21.4 and #21.5 for more detail.



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Photo22.1



Photo22.2



Window Sealants / Seal

Photo22.3



Window Sealants / Seal

Photo22.4



Window Sealants / Seal

Photo22.5



Window Sealants / Seal

Photo22.6



Window Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Windows			The window sealants are aged and separated. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #22.2, #22.3, #22.4, #22.5, #22.6, #23.1, #23.2, #23.3 and #23.4 for more detail.



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Photo23.1



Window Sealants / Seal

Photo23.2



Window Sealants / Seal

Photo23.3



Window Sealants / Seal

Photo23.4



Window Sealants / Seal



Lone Star Stucco, LLC

Photo24.1



Photo24.2



Brick/Stucco Termination / Maintain

Photo24.3



Brick/Stucco Termination / Maintain

Photo24.4



Brick/Stucco Termination / Maintain

Photo24.5



Brick/Stucco Termination / Maintain

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Lines	Stucco Termination			Brick and stucco sealants are present at this location. The inspector states that this is a positive detail and suggests maintaining these sealants in an effort to prevent moisture intrusion. Please refer to photos #24.2, #24.3, #24.4 and #24.5 for more detail.



Lone Star Stucco, LLC

Photo25.1



Photo25.2



CFB/Stucco Termination / Seal

Photo25.3



CFB/Stucco Termination / Seal

Photo25.4



CFB/Stucco Termination / Seal

Photo25.5



CFB/Stucco Termination / Seal

Photo25.6



CFB/Stucco Termination / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Lines	Stucco Termination			The CFB/stucco termination sealants are aged. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #25.2, #25.3, #25.4, #25.5 and #25.6 for more detail.



Lone Star Stucco, LLC

Photo26.1



Photo26.2



Balcony Flashing / Seal

Photo26.3



Balcony Flashing / Seal

Photo26.4



Balcony Flashing / Seal

Photo26.5

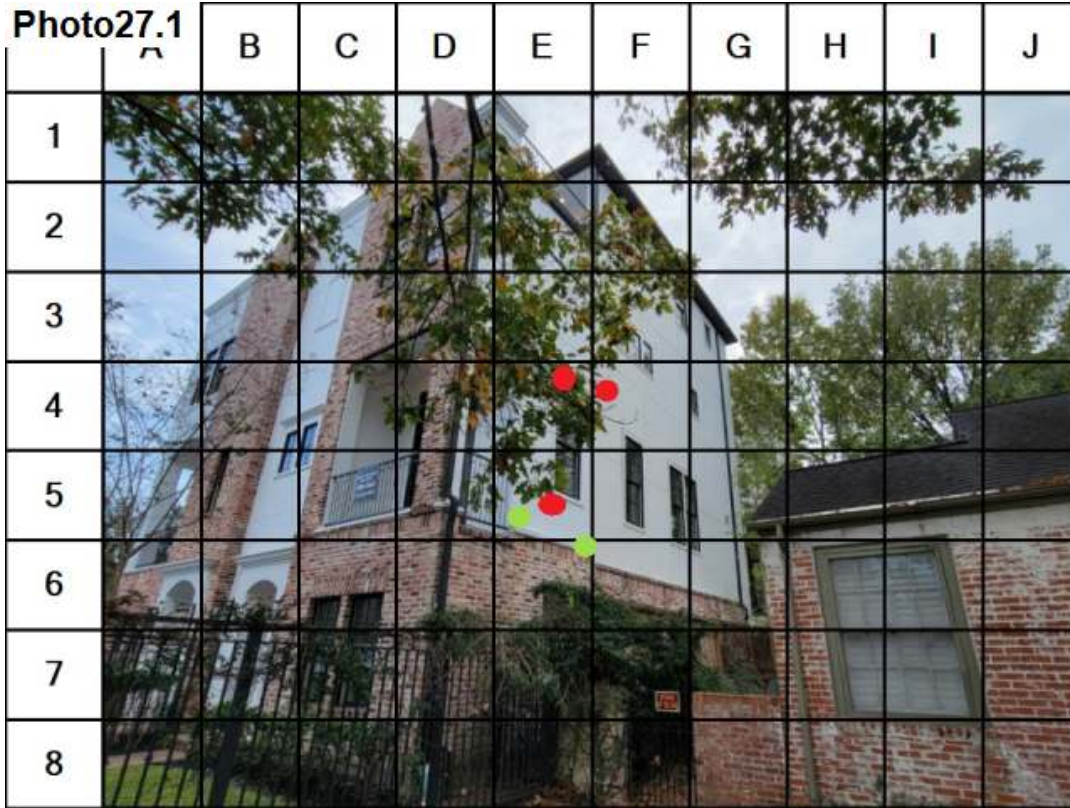


Balcony Flashing / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Blue Circles	Flashing			The balcony flashing sealants are aged at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #26.2, #26.3, #26.4 and #26.5 for more detail.



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Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
E5 (left)	Below Balcony Flashing	17%	Firm	A moisture probe was made bottom wall below the balcony. The substrate was firm with no damage noted at this time.
E6	Below Balcony Flashing	19%	Firm	A moisture probe was made bottom wall below the balcony. An elevated moisture reading with firm substrate was noted.
E5 (right)	Window Lower Left	21%	Firm	A moisture probe was taken at the window bottom left. An elevated moisture reading with firm substrate was noted.
E4	Window Header Left	23%	Firm	A moisture probe was taken at the window header left. An elevated moisture reading with firm substrate was noted.
F4	Window Header Right	22%	Firm	A moisture probe was taken at the window header right. An elevated moisture reading with firm substrate was noted.



Lone Star Stucco, LLC

Photo28.1



Photo28.2



Door Sealant Separation / Seal

Photo28.3



Door Sealant Separation / Seal

Photo28.4



Door Sealant Separation / Seal

Photo28.5



Door Sealant Separation / Seal

Photo28.6



Door Sealant Separation / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Arrows	Doors			The door trim sealants are aged and separated. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #28.2, #28.3, #28.4, #28.5 and #28.6 for more detail.

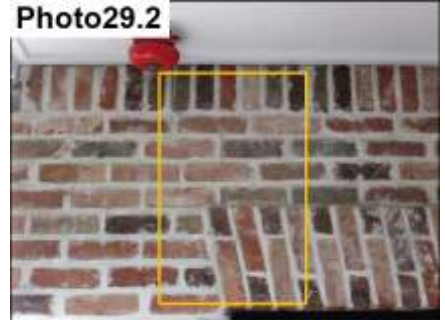


Lone Star Stucco, LLC

Photo29.1



Photo29.2



Crack Noted / Re Point As Needed

Photo29.3



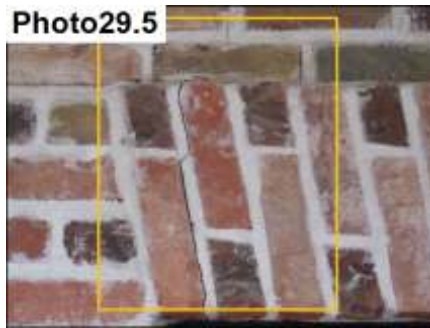
Crack Noted / Re Point As Needed

Photo29.4



Crack Noted / Re Point As Needed

Photo29.5



Crack Noted / Re Point As Needed

Photo29.6



Crack Noted / Re Point As Needed

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Orange Boxes	Cracks			Cracks are noted in the mortar at this location. The inspector suggests to have a qualified waterproofing contractor further assess and properly re point as needed to prevent moisture intrusion. All cracking was not necessarily identified in this report. Please refer to photos #29.2, #29.3, #29.4, #29.5 and #29.6 for more detail.



Lone Star Stucco, LLC

Photo30.1



Photo30.2



Penetration Sealants / Seal

Photo30.3



Penetration Sealants / Seal

Photo30.4



Penetration Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Yellow Arrows	Penetrations			The penetration sealants are aged and separated. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #30.2, #30.3 and #30.4 for more detail.



Lone Star Stucco, LLC

Photo31.1



Photo31.2



Relief Present / Clean Out Excess Sealant

Photo31.3



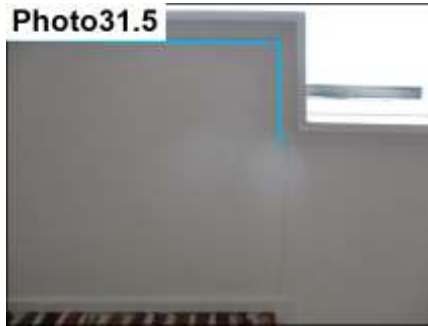
Relief Present / Clean Out Excess Sealant

Photo31.4



Relief Present / Clean Out Excess Sealant

Photo31.5



Relief Present / Clean Out Excess Sealant

Photo31.6

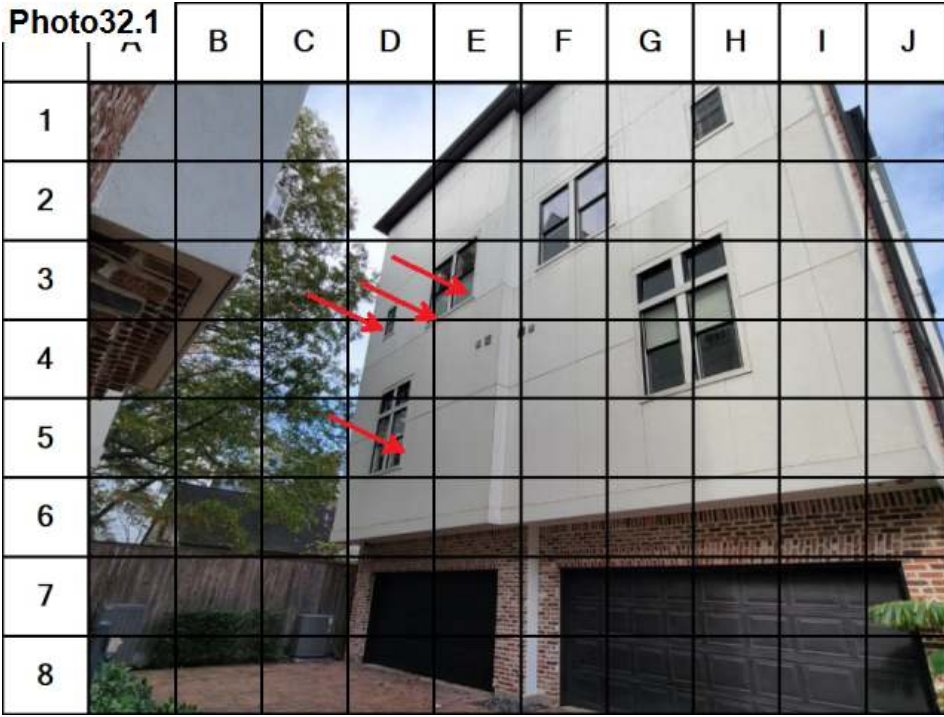


Relief Present / Clean Out Excess Sealant

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Blue Lines	Relief			Although a relief is present at this location, excess sealant was applied to the drainage plane obstructing proper moisture evacuation of the system. The inspector recommends having a qualified waterproofing contractor further assess, clean out excess material and verify the house back wrap has been cut. This will provide the proper functioning of the system at this location. Please refer to photos #31.2, #31.3, #31.4, #31.5 and #31.6 for more detail.



Lone Star Stucco, LLC



Window Sealants / Seal



Window Sealants / Seal



Window Sealants / Seal



Window Sealants / Seal

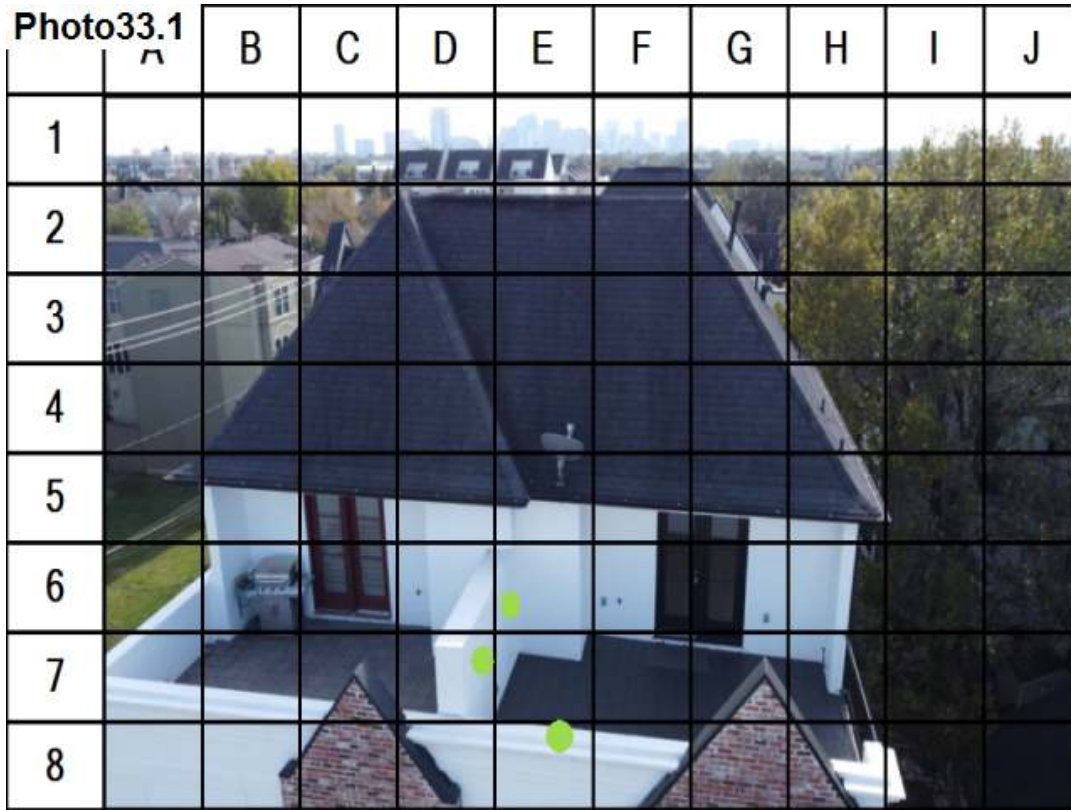


Window Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Windows			The window sealants are aged and separated. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #32.2, #32.3, #32.4, #32.5 and #32.6 for more detail.



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Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
E6	Common Wall	17%	Firm	A moisture probe was made at the common wall. The substrate was firm and no damage was noted at this time.
D7	Common Wall	18%	Firm	A moisture probe was made at the common wall. The substrate was firm and no damage was noted at this time.
E8	Front Wall	17%	Firm	A moisture probe was made at the front wall. The substrate was firm and no damage was noted at this time.