



TREC REI 7-6

1005 N Danville St
Willis, TX 77378



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PROPERTY INSPECTION REPORT FORM

Shawn Pringle

Name of Client

1005 N Danville St, Willis, TX 77378

Address of Inspected Property

Kenan Turner

Name of Inspector

Name of Sponsor (if applicable)

02/24/2023 9:00 am

Date of Inspection

TREC#25394

TREC License #

TREC License #

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted.

It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

In Attendance: N/A

Occupancy: Vacant

Weather Conditions: Clear

Thermostat Settings Upon Arrival:



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on Grade

Comments:

Foundation Elevation Measurements (ZipLevel):

A pressurized hydro-static altimeter (Zip-level) was used to measure the levelness of the foundation (the yellow rectangles photographed in this section). This data provides the inspector with additional information to help determine the performance of the foundation. Furthermore, this data included in the report will give the buyer a baseline for future movement. The digital reader, which displays the measurements in inches, was "zeroed" in a general location at what the inspector perceives to be the center of the home or close to the center of the home. A level/measurement was then taken at different locations along the perimeter of the interior of the foundation and any other areas deemed necessary by the inspector. The attached photos reflect the measurements taken by the inspector in the aforementioned locations. A generally accepted standard of a half inch in 15 feet (1/2" in 15') was used to determine if the foundation was within a reasonable variance for a level slab. Floor finishes such as carpet also affect the reading. About 0.3" to 0.5" is deducted from the reading to compensate for the carpet and padding thickness. We have yet to find a perfectly flat foundation. This is not a structural engineering report. If further structural evaluation is desired, a structural engineer should be contacted prior to the end of the option period/closing on the home.



Reference Point



Living Room



Entry



Master Bedroom



Bedroom #2



Bedroom #1



Eat-In-Kitchen



Back Exterior Door

Foundation Performance Opinion: Typical Movement:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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The performance of the foundation is determined by the visual movement indicators and/or the foundation elevation measurements taken at various points on/around the slab at the time of the inspection. In my opinion, the foundation appeared to be performing as intended with some movement indicators present at the time of the inspection. In my opinion, the movement indicators observed appeared to be typical for a home of this age. The foundation elevation readings taken by the inspector were noted to be within the industry accepted standards. The full performance and rate of movement is not able to be fully determined during a one-time inspection. If concerns exist about the foundation performance, a licensed Professional Engineer should be consulted prior to the end of the option period/closing.

1: Foundation: Corner Pops

 Minor; Improve as necessary

Foundation corners cracked and/or sheared off (Corner pops) were observed. This condition does not adversely affect the performance of the foundation, however cosmetic improvements may be necessary.

Recommendation: Contact a foundation contractor.



2: Foundation: Slab Cracks/Fractures

 Minor; Improve as necessary

Cracks/fractures were observed in the foundation slab at the time of the inspection.

Recommendation: Contact a foundation contractor.



3: Foundation: Deterioration/Spalling

 Moderate/Repair Recommended

Deterioration (known as spalling) was observed. Spalling refers to concrete that has become pitted, flaked, and/or broken up.

Recommendation: Contact a foundation contractor.

I=Inspected

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D=Deficient

I NI NP D



4: Foundation: Exposed Rebar

Minor; Improve as necessary

Exposed rebar in the foundation was observed. Exposed rebar, if left untreated, can cause extensive structural damage and may cause the rebar to break away.

Recommendation: Contact a foundation contractor.



B. Grading and Drainage

Comments:

1: Grading and Draining Improvement

Moderate/Repair Recommended

The soil grade and drainage patterns around areas of the home appeared to be inadequate. We recommend these areas be improved to direct water away from the home.

Recommendation: Contact a qualified grading contractor.

C. Roof Covering Materials

Types of Roof Covering: Asphalt

Viewed From: Roof

Comments:

1: Gutters: Not Equipped

Minor; Improve as necessary

Either the whole home or areas of the home were not equipped with a gutter and downspout system.

Recommendation: Contact a qualified gutter contractor

2: Roof General: Overhanging Tree Limbs

Minor; Improve as necessary

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D=Deficient

I NI NP D

It is recommended all overhanging tree limbs be trimmed back away from the roof covering materials.

Recommendation: Contact a qualified professional.

3: Shingles: Damaged

🔧 Minor; Improve as necessary

Damaged shingles were observed.

Recommendation: Contact a qualified roofing professional.



4: Shingles: Cracked/Torn

🟡 Moderate/Repair Recommended

Cracked/torn shingles were observed on the roof surface.

Recommendation: Contact a qualified roofing professional.



5: Flashing: Rust

🔧 Minor; Improve as necessary

Rust was observed on areas of roof flashing. Rust can eat away at the flashing leaving openings that can allow moisture to enter the structure.

Recommendation: Contact a qualified roofing professional.



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D=Deficient

I NI NP D

6: Flashing/Boot: Improperly Placed

🟡Moderate/Repair Recommended

One or more roof penetration flashing/boots were observed to be installed in close proximity/into areas of the valley/ridge shingles, this configuration could make the roof penetration prone to leaks.

Recommendation: Contact a qualified roofing professional.



7: Abandoned Roof Vents

🟡Moderate/Repair Recommended

One or more roof vents appeared to be abandoned at the time of the inspection. It is recommended that the vents properly be removed if no longer in use.

Recommendation: Contact a qualified professional.



D. Roof Structures and Attics

Viewed From: Attic Access Hole

Approximate Average Depth of Insulation: 0-3"

Comments:

Walkable Platform Not Present:

A safe, walkable platform was not present in the attic at the time of the inspection. This limits the inspection of the attic. If concerns exist with the attic and/or roof structure it is recommended a qualified professional be consulted for further evaluation.

1: Roof Decking: Moisture Staining/Damage

🔴Further Evaluation/Attention Needed

Moisture staining/damage was observed on areas of the roof structure. This indicates a previous/present leak has occurred in the roof system.

Recommendation: Contact a qualified professional.

I=Inspected

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2: Insulation: Blown-In Insulation Uneven, Displaced, and/or Compressed

Minor; Improve as necessary

Areas of the blown-in insulation were observed to be uneven, displaced, and/or compressed. Maintaining even insulation levels across the attic structure is recommended.

Recommendation: Contact a qualified professional.

E. Walls (Interior and Exterior)

Comments:

Recently Painted:

Areas of the interior/exterior walls appeared to have been painted/patched. Painted/patched areas on the interior walls can make it difficult for the inspector to see any deficiencies.

1: Interior: Drywall Joint Separation

Minor; Improve as necessary

Drywall joint separation cracks were observed. These cracks are mainly cosmetic.

Recommendation: Contact a qualified professional.



2: Interior Drywall Flaws/Damage

Minor; Improve as necessary

Damage/flaws to the interior drywall were observed. These areas appeared to be cosmetic and may require drywall repair.

Recommendation: Contact a qualified professional.

3: Interior: Cosmetic Improvement Needed

Minor; Improve as necessary

Cosmetic improvement needed in various locations around the home.

Recommendation: Contact a qualified professional.

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I NI NP D

4: Interior Walls: Bubble/Paint

🟡Moderate/Repair Recommended

A bubble was observed at areas of the interior wall finish material at the time of the inspection.

Recommendation: Contact a qualified professional.



Kitchen



Kitchen , Not Active

5: Exterior: Deficient Penetration Sealant

🔧Minor; Improve as necessary

Cracking, deteriorated, and/or missing sealant was observed around exterior utility wall penetrations.

Recommendation: Contact a qualified professional.



6: Exterior: A/C Wall Penetrations

🔧Minor; Improve as necessary

It is recommended the area of the wall where the cooling system utilities penetrate the exterior wall be properly flashed and/or sealed.

Recommendation: Contact a qualified professional.

7: Exterior: Gaps And/Or Openings

🔧Minor; Improve as necessary

We noted gaps and/or openings on areas of the exterior walls of the home. We recommend all gaps and openings be properly sealed to prevent moisture and pests from entering the home.

Recommendation: Contact a qualified professional.

I=Inspected

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I NI NP D



8: Exterior: Cracks/Fractures

Minor; Improve as necessary

Exterior wall cracks/fractures were observed.

Recommendation: Contact a qualified professional.



9: Exterior: Deficient Mortar Between Bricks/Stone

Minor; Improve as necessary

Cracking, deteriorated, and/or damaged mortar on the exterior brick/stone walls was observed.

Recommendation: Contact a qualified professional.

10: Exterior: Mortar Patching

Minor; Improve as necessary

Patching through areas of the exterior bricks/mortar was observed. The reason for the patching was not determined. Patching over exterior cracks limits our inspector's ability to determine the size or severity of the exterior wall cracks.

Recommendation: Contact a qualified professional.



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I NI NP D



F. Ceilings and Floors

Comments:

Ceilings: Painted/Patched:

Areas of the interior ceilings appeared to have been painted/patched. Painted/patched areas on the interior ceilings can make it difficult for our inspector to see deficiencies.

1: Ceilings: Drywall Joint Separation Cracks

Minor; Improve as necessary

Drywall joint separation cracks were observed.

Recommendation: Contact a qualified professional.

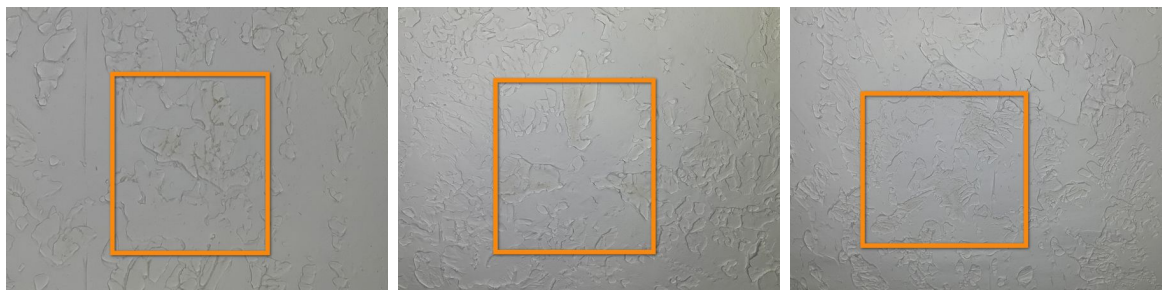


2: Ceilings: Stains

Moderate/Repair Recommended

Unknown stains were observed on areas of the ceiling. The stains and source of the stains were unable to be identified. Further investigation may be necessary.

Recommendation: Contact a qualified professional.



Master Bedroom

Master Bedroom

Master Bedroom

I=Inspected

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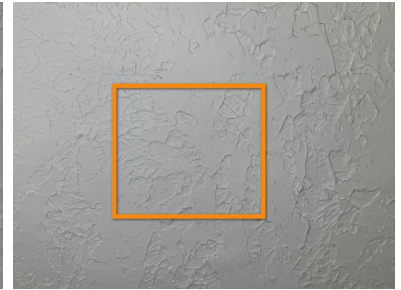
I NI NP D



Master Bedroom



Hallway



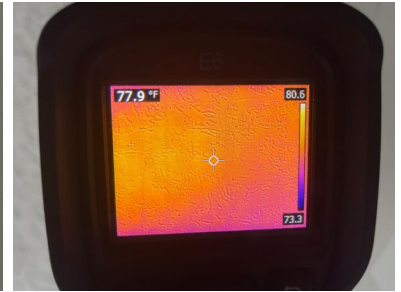
Hallway



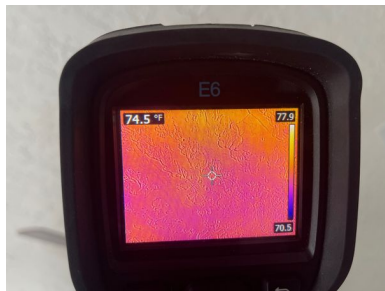
Hallway



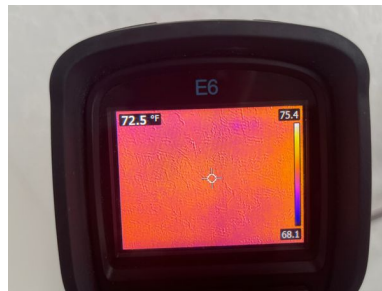
Bedroom #1 Closet



Master Bedroom , Not Active



Master Bedroom , Not Active



Master Bedroom , Not Active



Master Bedroom , Not Active



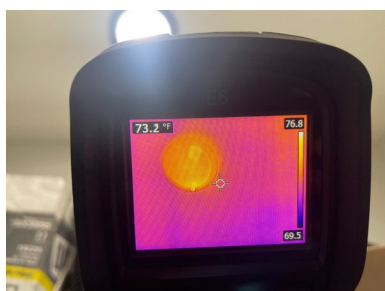
Hallway , Not Active



Hallway , Not Active



Hallway , Not Active



Bedroom #1 Closet , Not Active

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I NI NP D

3: Ceilings: Damage/flaws

 Minor; Improve as necessary

Damage/flaws to the interior drywall were observed. These areas appeared to be cosmetic and may require drywall repair.

Recommendation: Contact a qualified professional.

4: Ceilings: Cosmetic Improvement Needed

 Minor; Improve as necessary

Cosmetic improvement needed in various locations.

Recommendation: Contact a qualified professional.

G. Doors (Interior and Exterior)

Comments:

1: Doors General: Rubbing/Hitting Frames

 Minor; Improve as necessary

One or more doors were observed to be rubbing/hitting their frames when closed.

Recommendation: Contact a qualified professional.

2: Doors General: Damage

 Minor; Improve as necessary

Damage to one or more doors was observed.

Recommendation: Contact a qualified professional.



3: Hardware: Loose

 Minor; Improve as necessary

Loose door hardware was observed.

Recommendation: Contact a qualified professional.

4: Hardware: Keyed Deadbolts

 Moderate/Repair Recommended

Keyed deadbolts were observed on the interior of exterior doors. Keyed deadbolts on the interior of exterior doors can make emergency egress difficult.

Recommendation: Contact a qualified professional.

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D=Deficient

I	NI	NP	D
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H. Windows

Comments:

1: Windows: Deficient Sealant

Minor; Improve as necessary

Cracking, deteriorated, and/or missing caulking/sealant was noted around the interior/exterior of the windows.

Recommendation: Contact a qualified professional.



I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Comments:

K. Porches, Balconies, Decks, and Carports

Comments:

L. Other

Comments:

1: Cabinets: Moisture Staining/Damage

Minor; Improve as necessary

Moisture staining/damage was observed in cabinets under one or more sinks.

Recommendation: Contact a qualified professional.

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I NI NP D

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

Electrical Panel Location: Laundry Room

Electrical Meter Location: Right Exterior

Main Disconnect Location: Laundry Room

Main Disconnect (Breaker) Size: 150 Amps

1: (EP) General: AFCIs Not Installed

 Minor; Improve as necessary

Arc-Fault Circuit Interrupters (AFCI) devices were not present in all of the required locations. Today's building standards require that AFCI devices be used for all circuits serving family rooms, kitchens, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas or similar rooms or areas. Although this may not have been required at the time of construction, it is the required practice of today's standards. Older homes not equipped with (AFCI) devices are not required to convert but doing so should be considered.

Recommendation: Contact a qualified electrical contractor.

2: (EP) General: Antioxidant Paste Missing

 Minor; Improve as necessary

Antioxidant paste should be applied to the main aluminum conductors to improve the efficiency and service life of the aluminum conductors.

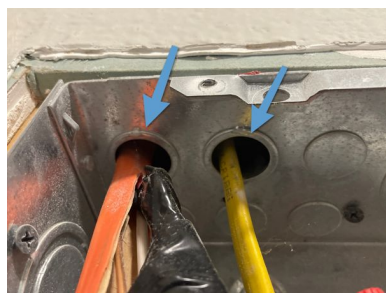
Recommendation: Contact a qualified electrical contractor.

3: (EP) General: Cable Clamps

 Minor; Improve as necessary

Cable clamps (sometimes referred to as bushing or grommets) were missing. Cable clamps should be installed where conductors pass through the electrical panel.

Recommendation: Contact a qualified electrical contractor.



4: (EP) General: Neutrals Double Lugged

 Moderate/Repair Recommended

Improper double lugging of neutral conductors was observed. Each neutral conductor should terminate to its own individual terminal.

Recommendation: Contact a qualified electrical contractor.

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I NI NP D



5: (EP) General: Exterior Disconnect

Minor; Improve as necessary

A main service/emergency exterior disconnect was not observed at the time of the inspection. Current recommended standards call for a main service/emergency disconnect to be installed at the exterior of the home. The disconnect should be readably accessible and properly labeled. Older homes not equipped with an exterior means of disconnect are not required to have one installed but doing so should be considered.

Recommendation: Contact a qualified electrical contractor.

6: (EP) General: Surge Protection

Minor; Improve as necessary

A surge protection device was not observed on the interior of the electrical panel. Current recommended standards call for surge protection to be installed in residential electrical systems. Older homes may not be required to install a surge protection but doing so should be considered.

Recommendation: Contact a qualified electrical contractor.

7: Conductors: Hots Not Marked

Minor; Improve as necessary

White insulator on conductors that are being used as "hots or live" conductors should be properly labeled as such. White conductors being used as anything other than neutral conductors should be properly marked/indicated.

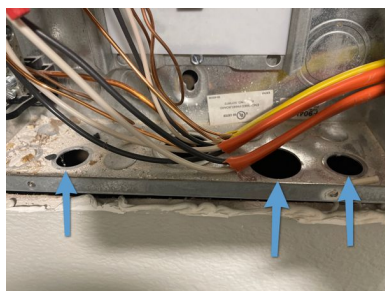
Recommendation: Contact a qualified electrical contractor.

8: Panel/Dead Front: Knockouts Missing

Minor; Improve as necessary

Openings in the electrical panel/dead-front were noted. All openings should be properly sealed with "knock outs".

Recommendation: Contact a qualified electrical contractor.



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I	NI	NP	D
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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

1: Receptacles: Loose

🟡Moderate/Repair Recommended

Loose receptacles were observed. Loose receptacles should be properly secured.

Recommendation: Contact a qualified electrical contractor.



Hallway

2: Receptacles: GFCI Protection

🟡Moderate/Repair Recommended

The home did not appear to meet current building standards for ground fault circuit interrupter (GFCI) protection. Under current electrical standards all of the following locations should be GFCI protected: Bathroom receptacles, garage receptacles, outdoor receptacles, dryer receptacles, crawlspace receptacles, unfinished basement receptacles, kitchen counter top receptacles, within 6' of sink receptacles, within 6' of bathtub/shower receptacles, laundry area receptacles, kitchen dishwasher receptacles, boat house receptacles. This is most likely an "as built" condition. Upgrading should be considered.

Recommendation: Contact a qualified electrical contractor.

3: Receptacles: 3-Pronged Dryer

🟡Moderate/Repair Recommended

The dryer receptacle was observed to be a 3-pronged type. Current recommended standards now call for dryer receptacles to be wired with a ground conductor, I.e., 4-pronged receptacle. Most current dryer connections use a 4-pronged cord. Upgrading should be considered.

Recommendation: Contact a qualified electrical contractor.



4: Receptacles: Water Proof Covers

🔧Minor; Improve as necessary

I=Inspected

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D=Deficient

I	NI	NP	D
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It is recommended water proof covers be installed on all exterior receptacles.

Recommendation: Contact a qualified professional.

5: Ceiling Fan(s): Noisy

🟡Moderate/Repair Recommended

Ceiling fan(s) that were noisy when operated were observed.

Recommendation: Contact a qualified electrical contractor.



Living Room

6: Ceiling Fan(s): Unbalanced

🟢Minor; Improve as necessary

One or more ceiling fan(s) were observed to be wobbly, unbalanced, and/or loose when operated.

Recommendation: Contact a qualified professional.



Master Bedroom



Bedroom #1

7: Smoke Alarms: Not Present

🟡Moderate/Repair Recommended

Smoke alarms were not present at all of the required locations. Smoke alarms are required in each bedroom, outside each bedroom area and on each additional story, including basement & habitable attics.

Recommendation: Contact a qualified professional.

8: Carbon Monoxide Alarms Missing

🟡Moderate/Repair Recommended

Carbon monoxide alarms were not observed in current recommended locations. Carbon monoxide alarms should be installed outside of each separate sleeping area in immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.

I=Inspected

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I	NI	NP	D
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Recommendation: Contact a qualified professional.

C. Other

Comments:

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I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

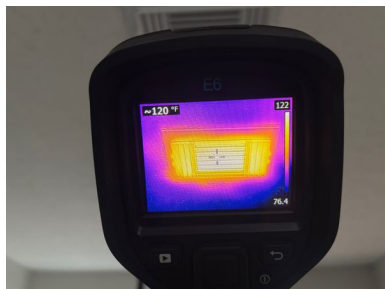
Type of Systems: Central Forced Air Furnace

Energy Sources: Gas

Comments:

Functioning as Intended:

The heating system was tested using normal operating procedures at the thermostat and appeared to be functioning as intended.



1: Furnace: Older

⚠Moderate/Repair Recommended

The furnace appeared to be older. Budgeting for replacement should be considered.

Recommendation: Contact a qualified HVAC professional.

2: Furnace Flue: Bonnet Roof Vent

⚠Moderate/Repair Recommended

The furnace roof vent was observed to be a bonnet style vent, this vent no longer conforms with current standards and is known to not vent properly. Replacing the roof vent with a approved vent that conforms with recommended standards is recommended.

Recommendation: Contact a qualified professional.

B. Cooling Equipment

Type of Systems: Central Forced Air System

Comments:

Manufacturer Label:



Good Temperature Differential:

A temperature differential test was performed and the cooling system performed within normal ranges (14-22 degrees). A reading of the differential temperature of the supply (ambient) air and the return (vent) air was the

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I NI NP D

test performed, disassembly of the air conditioning system was not performed.



1: Organic Growth

🟡Moderate/Repair Recommended

What appeared to be organic growth was observed on the air handler casing and/or condensation drain lines. This is a common occurrence on units that are located in un-conditioned areas due to temperature variations that can cause condensation, which can harbor fungal growth.

Recommendation: Contact a qualified professional.



2: Condenser: Out-Of-Level

🟡Moderate/Repair Recommended

The condenser was observed to be out-of-level. This condition can affect the compressor operation, lubrication, and may place excessive stress on the Freon lines and connections.

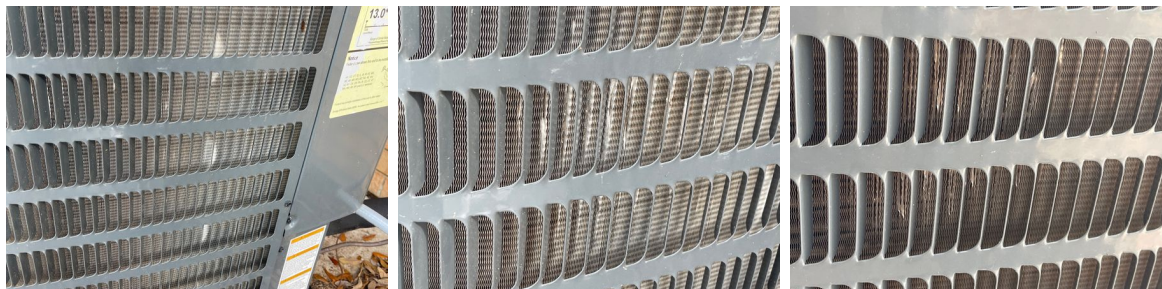
Recommendation: Contact a qualified HVAC professional.

3: Condenser: Fins Damage

🟢Minor; Improve as necessary

Areas of the fins on the condenser were observed to be damaged. Damaged fins can restrict the air flow and/or the efficiency of the unit.

Recommendation: Contact a qualified HVAC professional.



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I	NI	NP	D
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4: Electrical: Disconnect Not Sealed

 Minor; Improve as necessary

The electrical disconnect for the outdoor condenser was not properly sealed.

Recommendation: Contact a qualified professional.

C. Duct Systems, Chases, and Vents

Comments:

1: Ducts: Touching

 Minor; Improve as necessary

Sections of the duct system were observed to be in contact with each other. Condensation can develop between contacted areas of the duct work.

Recommendation: Contact a qualified HVAC professional.



2: Output Register Blocked Off

 Moderate/Repair Recommended

One or more output registers appeared to be blocked off at the time of the inspection.

Recommendation: Contact a qualified professional.



Laundry Room

D. Other

Comments:

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D=Deficient

I	NI	NP	D
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IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Location of Water Meter: Front Of Property

Location of Main Water Supply Valve : Unable To Locate

Static Water Pressure Reading: 40-50 PSI

Type of Supply Piping Material: Copper

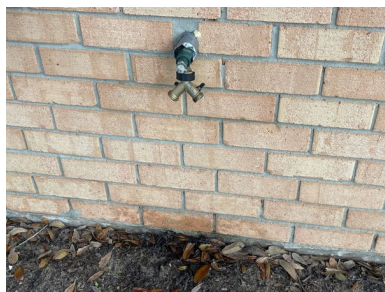
Comments:

1: Exterior Faucets: Drip/Leak When Off

🟡Moderate/Repair Recommended

One or more exterior faucets were observed to have a drip/leak when in the off position.

Recommendation: Contact a qualified plumbing contractor.



Back Exterior

2: Exterior Faucets: Handle Damaged/Missing

🟡Moderate/Repair Recommended

One or more exterior faucet handles were observed to be broken/missing. These faucets were unable to be tested/operated.

Recommendation: Contact a qualified professional.



Back Exterior

3: Bathtubs/showers: Deficient Sealant

🟢Minor; Improve as necessary

Cracking, deteriorated, and/or missing sealant was noted in/around bathtubs/showers.

Recommendation: Contact a qualified professional.

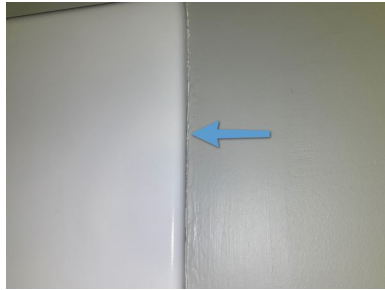
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



4: Bathtubs/showers: Loose Fixture Components

🔴 Moderate/Repair Recommended

Loose bathtub/shower fixture components were observed.

Recommendation: Contact a qualified plumbing contractor.



Master Bathroom



Bathroom #1



Bathroom #1

5: Sinks: Loose Fixture Components

🔵 Minor; Improve as necessary

Loose sink fixture components were observed.

Recommendation: Contact a qualified plumbing contractor.



Master Bathroom



Bathroom #1

6: Toilets: Deficient Sealant

🔵 Minor; Improve as necessary

Cracking, deteriorated, and/or missing sealant was noted around the base of one or more toilets.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



7: Toilets: Loose

🟡Moderate/Repair Recommended

Loose toilets were observed. Loose toilets should be checked for leaks at the seal, re-secured, and sealed at the base.

Recommendation: Contact a qualified plumbing contractor.



Master Bathroom



Bathroom #1

B. Drains, Wastes, and Vents
Type of Drain Piping Material: CPVC

Comments:

Satisfactory Branch Drain lines:

The branch drain lines appeared to be in satisfactory condition.

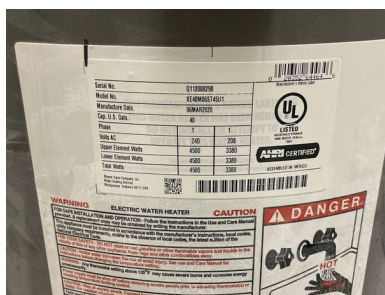
C. Water Heating Equipment

Energy Sources: Electric

Capacity: 40 Gallons

Comments:

Manufacturer Label & Water Heater(s) Location(s):



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Functioning as Intended:

Water Temperature Safety Chart

Temperature	Amount of Time to Cause Serious Burn
120°F	More than 5 minutes
125°F	1 ½ to 2 minutes
130°F	Approx. 30 seconds
135°F	Approx. 10 seconds
140°F	Approx. 5 seconds
145°F	Less than 5 seconds
150°F	Approx. 1 ½ seconds
155°F	Approx. 1 seconds

The water heater was observed to be functioning as intended. Adjust the water temperature as

needed.



1: Water Lines: Rust/Corrosion

🟡Moderate/Repair Recommended

Rust/Corrosion was observed on areas of the water lines at the water heater. Over time, rust/corrosion can eat away at the water lines and cause leaks.

Recommendation: Contact a qualified plumbing contractor.



D. Hydro-Massage Therapy Equipment

Comments:

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter: Front Exterior

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Type of Gas Distribution Piping Material: Black Steel
Comments:

1: Furnace: Gas Sediment Trap
🟡Moderate/Repair Recommended

A gas sediment trap was not observed on the gas line leading to the furnace. A gas sediment trap collects condensation and debris.

Recommendation: Contact a qualified plumbing contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

V. APPLIANCES

A. Dishwashers

Comments:

Functioning as Intended:

The dishwasher was operated and appeared to be functioning as intended.



1: Rust/Damage On Dishwasher Racks

 Minor; Improve as necessary

Rust/Damage was noted on areas of the dishwasher racks.

Recommendation: Contact a qualified appliance repair professional.

2: Staining In Bottom Of The Dishwasher

 Moderate/Repair Recommended

Staining was noted in the bottom of the dishwasher. Staining can indicate the dishwasher is not fully/properly draining.

Recommendation: Contact a qualified appliance repair professional.



3: Not Fully Opening

 Minor; Improve as necessary

The dishwasher door was unable to be fully opened due to it being blocked at the time of the inspection.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Food Waste Disposers

Comments:

Functioning:

The food waste disposer was operated and appeared to be functioning.

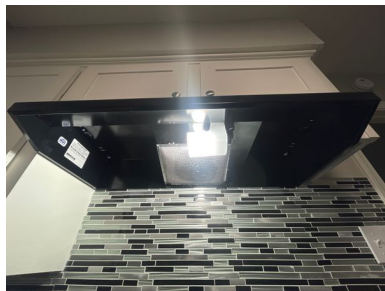


C. Range Hood and Exhaust Systems

Comments:

Functioning:

The range hood was operated and appeared to be functioning.



D. Ranges, Cooktops, and Ovens

Comments:

Burners: Functioning as Intended:

The burners were operated and appeared to be functioning as intended.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Oven: Functioning as Intended:

The oven was tested at 350 degrees and read within the acceptable 25 degree range, in my opinion the oven appeared to be functioning as intended.



1: Oven: Dirty

🔧 Minor; Improve as necessary

The oven was observed to be dirty.

Recommendation: Recommended DIY Project

2: Oven: Missing Anti-Tip Device

🟡 Moderate/Repair Recommended

An anti-tip device was not installed on the oven. An anti-tip device provides protection when excess force or weight is applied to the front of the oven, preventing the oven from tipping over. Installing an anti-tip device is recommended for increased safety.

Recommendation: Contact a qualified appliance repair professional.

3: Oven Dented/Damaged

🔧 Minor; Improve as necessary

The oven was observed to be dented/damaged.

Recommendation: Contact a qualified professional.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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E. Microwave Ovens
Comments:

F. Mechanical Exhaust Vents and Bathroom Heaters
Comments:

1: Improperly Terminated

🟡 Moderate/Repair Recommended

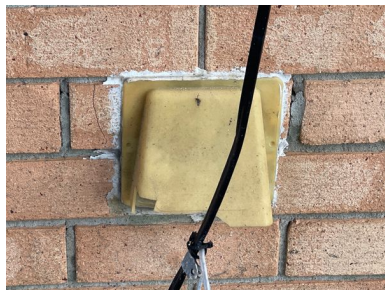
Mechanical exhaust fans were observed to be improperly terminated. Mechanical exhaust fans should terminate to the exterior of the home.

Recommendation: Contact a qualified professional.

G. Garage Door Operators
Comments:

H. Dryer Exhaust Systems
Comments:

Dryer Exhaust Vent Discharge Location: Back Exterior



1: Cover Damaged

🟢 Minor; Improve as necessary

The dryer exhaust vent cover on the exterior of the home was noted to be damaged.

Recommendation: Contact a qualified professional.