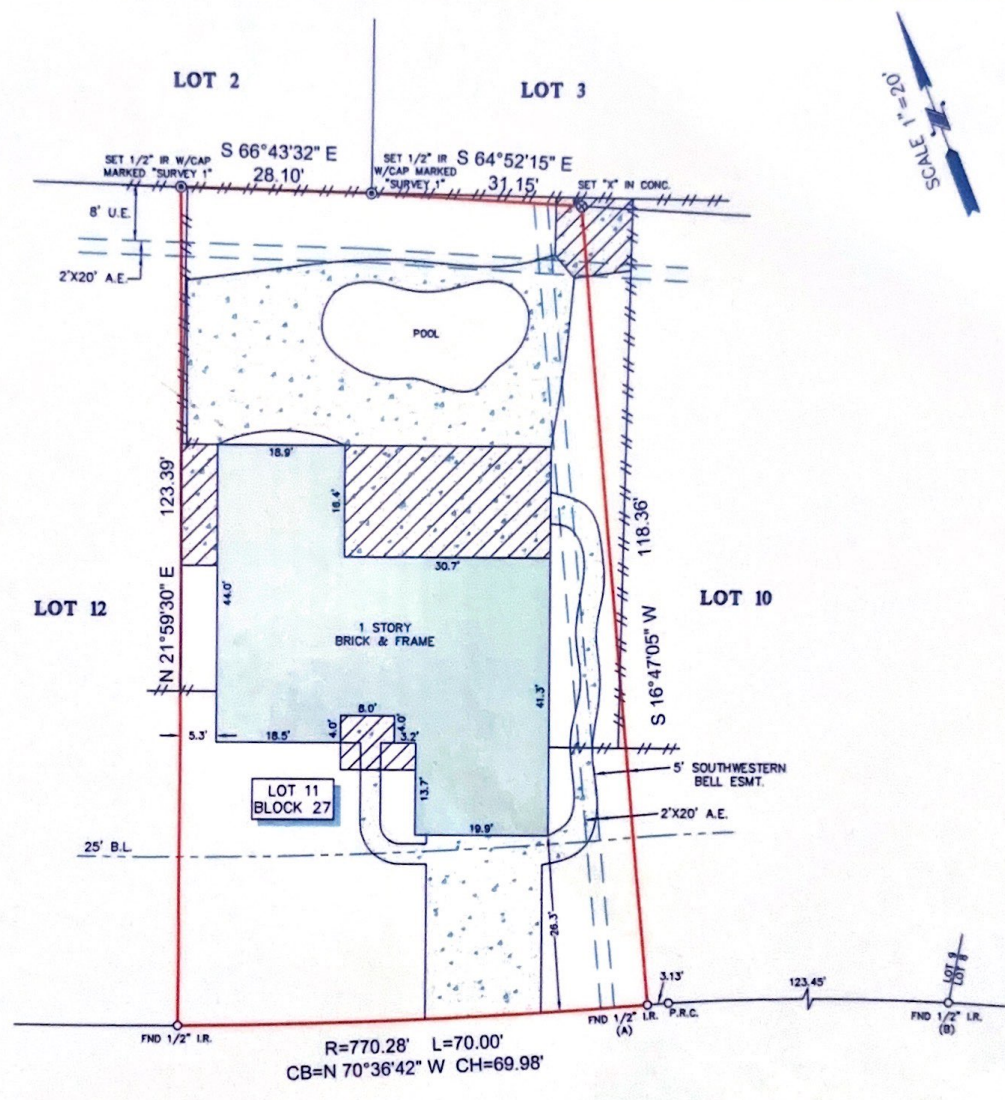




TITLE COMPANY:
GREAT AMERICAN
 TITLE COMPANY
 281-606-2000
 G.F. #: 51584-GAT88 ISSUE DATE: APRIL 18, 2017



TOWNES ROAD
 (60' R.O.W.)

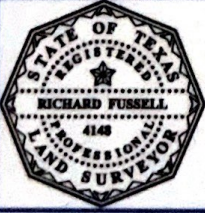
LEGEND

	CONCRETE		COVERED AREA
	FENCE		WOOD
	B.L. = BUILDING LINE		U.E. = UTILITY EASEMENT
	A.E. = AERIAL EASEMENT		

NOTES:

- ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE SUBDIVISION PLAT NAMED BELOW, POINTS (A) AND (B) WERE HELD FOR HORIZONTAL CONTROL.
- ABSTRACT INFORMATION FOR THE SUBJECT TRACT WAS PROVIDED BY THE TITLE INSURANCE COMPANY LISTED ABOVE.
- THIS SURVEY IS CERTIFIED TO THE TITLE INSURANCE COMPANY LISTED ABOVE FOR THIS TRANSACTION ONLY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.
- THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.
- SUBJECT TO THE RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B OF THE TITLE COMMITMENT ISSUED ON APRIL 18, 2017, UNDER G.F. NO. 51584-GAT88.
- EASEMENT TO H.L.&P. AS RECORDED IN 0707606 D.P.R.H.C.

LEGAL DESCRIPTION: LOT 11, IN BLOCK 27, OF WEDGEWOOD VILLAGE, SECTION 5, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 196, PAGE 1 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.



SURVEYOR'S CERTIFICATE:
 IN MY PROFESSIONAL OPINION, THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND DURING THE COURSE OF A BOUNDARY SURVEY CONDUCTED UNDER MY SUPERVISION ON MAY 18, 2017 AND THAT THIS PLAT SUBSTANTIALLY COMPLES WITH THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND THAT THERE ARE NO ENCUMBRANCES OR PROTRUSIONS EXCEPT AS SHOWN.

Richard Fussell
 RICHARD FUSSELL
 RPLS 4148

CLIENT: MICHAEL HOLMES
 ADDRESS: 16211 TOWNES ROAD
 www.survey1inc.com
 survey1@survey1inc.com
Survey 1, Inc.
 Your Land Survey Company
 Firm Registration No. 100758-00
 P.O. Box 2543 | Alvin, TX 77512 | (281)393-1382

FIELD CREW: JN	TECH: RK
DRAFTER: RK	FINAL CHECK: ET
DATE: MAY 23, 2017	
JOB# 5-54072-17	