



Inspection Report

Alex Ha

Property Address:
16211 Townes Rd
Friendswood TX 77546



GOLDEN SCOPE INSPECTION SERVICES

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PROPERTY INSPECTION REPORT

Prepared For:

Alex Ha

(Name of Client)

Concerning:

16211 Townes Rd, Friendswood, TX 77546

(Address or Other Identification of Inspected Property)

By:

Tony Ngo - TREC License # 22826 8/6/2020

(Name and License Number of Inspector) (Date)

(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standard for inspections by TREC Licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers.

Promulgated by the Texas Real Estate Commission(TREC) P.O. Box 12188, Austin, TX 78711-2188 (512)936-3000 (<http://www.trec.state.tx.us>).

You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or

systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:

Type of building:

Single Family (1 story)

Approximate age of building:

Over 45 Years

Home faces (general direction):

South, West

In Attendance:

Inspector only

Home is:

Vacant

Temperature:

80 to 90 degrees

Weather:

Clear

Table of Contents

[Cover Page](#)

[Table of Contents](#)

[I STRUCTURAL SYSTEMS](#)

[II ELECTRICAL SYSTEMS](#)

[III HEATING, VENTILATION AND AIR
CONDITIONING SYSTEMS](#)

[IV PLUMBING SYSTEM](#)

[V APPLIANCES](#)

[VI OPTIONAL SYSTEMS](#)

[General Summary](#)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation (s): Concrete slab on grade

Comments:

- In the inspectors opinion, the foundation is performing as intended. Visual evidence of excessive structural movement was not observed at the time of inspection.
- High soil levels, flower, planting beds, and high concrete flat work were observed at the foundation walls. This prevented visual inspection of the foundation.
- **Buyers Advisory Notice - Limitations Regarding Foundation:** The foundation inspection is limited. The inspector does not pull up floor coverings, move furniture, measure elevations or propose major repairs. The inspector does not enter crawl space areas less than 18". It is important to keep soil moisture contents by foundation consistent year round. The client should understand that inspectors are not professional engineers. Our inspection is based on general observation of the foundation and the inspector's personal experience with similar structures. (An opinion on performance is mandatory)
- The home was observed to have concrete flatwork (porches, driveways, pool deck and sidewalks) that is comparatively higher than normal in relation to the floor level of the home. These conditions can be a water penetration hazard to the home in heavy rains. It is important to provide clear and adequate drainage from these areas. Consideration to these conditions should be given when installing landscaping near the concrete flatwork. Installing gutter to direct roof run off away from this area may also be helpful.



A. Item 1(Picture)

- **Buyers Advisory Notice:** Assessment of foundation performance and condition is based solely upon this Inspectors opinion and his interpretation of the visually observed conditions at the time the inspection was performed without prediction of future performance. Generally, foundation movement occurs over an extended period of time. This inspection is of a first impression nature without the opportunity to monitor possible movement or review documents related to this foundations past performance. This opinion was formed without the knowledge or intent of the design criteria or designer. Previous foundation repairs may not be detected by this inspection. This inspection will not detect or identify plumbing leaks, under ground springs, fault lines, deficient soil conditions, or any other conditions not detectable within the limitations of a visual only inspection. Other inspectors or foundation experts may form a different opinion when assessing the condition of this foundation.
- The benchmark was taken at the center of the living room. Floor covering is tile.

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- The foundation level measurements indicated a variance of approximately +/- 1.5" inch]. Concrete Slab foundations most often reveal some unevenness due to workmanship at the time of construction. Therefore, these measurements do not necessarily represent the actual degree of deflection from differential movement of the foundation. Although deviations/slopes in the foundation can assist the inspector in evaluating the foundation performance as to the direction and degree of possible movement, these deviations/slopes is not, by themselves, a measurement of foundation movement. Based on the floor measurements taken, it is my opinion the slab was reasonably level at time of the inspection.



A. Item 2(Picture) Living room (center benchmark)



A. Item 3(Picture) Front left bedroom



A. Item 4(Picture) Middle left bedroom



A. Item 5(Picture) Hall bathroom

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A. Item 6(Picture) Master bedroom



A. Item 7(Picture) Living room rear



A. Item 8(Picture) Kitchen



A. Item 9(Picture) Entry

B. Grading and Drainage

Comments:

- **Buyers Advisory Notice:** A complete gutter system with extensions is recommended on this structure. The gutter system is designed to expedite the drainage of water away from the property. Splash blocks located under the down spouts can help direct water away from the foundation and reduce soil erosion, which can reduce the effectiveness of the termite chemicals placed in the soil. A properly installed gutter system is an important tool in maintaining even moisture content in the surrounding soil.
- The ground drains located at the rear of the home will need periodical cleaning and maintenance.



B. Item 1(Picture)

- The gutters were observed to be in need of repair in various locations. Loose gutters should be properly secured and checked for slope to drain properly. Any damaged or deteriorated sections of gutter and down spouts should be replaced on as needed bases. Defective gutters may create leakage into the roof eave causing structural damaged into the home.

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I NI NP D



B. Item 2(Picture)



B. Item 3(Picture)

- High soil levels/flower/planting beds were observed at the foundation walls in various locations. This prevented visual inspection of the foundation. A minimum of four inches of foundation wall should be exposed under the brick veneer and a minimum of six inches of foundation wall should be exposed under the wood surfaces. High soil levels are conducive to wood destroying insect infestation, and possible water penetration into the home. When repaired, the grade should slope downward away from the home directing runoff away from the foundation. Improvements should be undertaken by professional landscaper.



B. Item 4(Picture)



B. Item 5(Picture)



B. Item 6(Picture)



B. Item 7(Picture)

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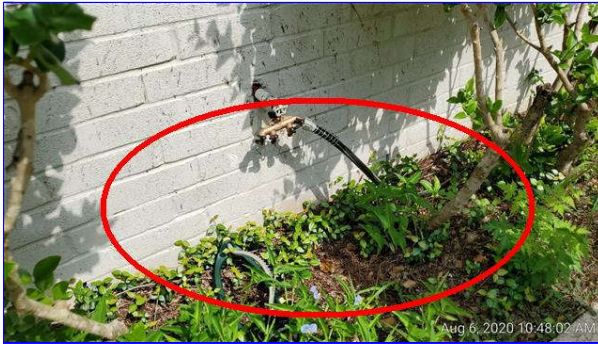
I NI NP D



B. Item 8(Picture)



B. Item 9(Picture)



B. Item 10(Picture)

- The gutters and down spouts was observed to be in need of cleaning. Gutters and downspouts should be further examined for possible defects after cleaning for proper drainage.



B. Item 11(Picture)

C. Roof Covering Materials

Types of Roof Covering: Composition shingles

Viewed Roof From: Walked roof

Comments:

- Examples of Roof Views

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I NI NP D



C. Item 1(Picture)



C. Item 2(Picture)



C. Item 3(Picture)



C. Item 4(Picture)



C. Item 5(Picture)



C. Item 6(Picture)



C. Item 7(Picture)



C. Item 8(Picture)

- The roof covering was observed to be in fair condition. Minor repairs are needed. A qualified roofer should be consulted to further evaluate these conditions and provide an estimated cost of repairs.
- **Buyers Advisory Notice - Inspector Limitations Regarding Roof Systems** : Roof systems consist of many components, some of which are not accessible under the best of conditions. The

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I NI NP D

height, pitch, line of sight, and weather conditions at the time of inspection dictate the method of inspection. These conditions often limit the Inspectors ability to inspect a roof system. Detection of defects should only be expected within the reasonable limitations of the method of inspection safely allowable at the time of inspection. Even under the best of condition there in guarantee against leakage.

- **Buyers Advisory Notice:** Should a roofing contractor be required now or in the future, it is my recommendation you consult the National Roofing Contractors Association for qualified roofing contractors. As with any repair person or repair company, references should always be verified to protect the homeowners interest. You can find the National Roofing Contracts Association at <http://www.nrca.net/>
- The flashings were observed have the following defect: raised and damaged in various locations on the roof. Defective flashing should be repaired to prevent water intrusion.



C. Item 9(Picture)



C. Item 10(Picture)



C. Item 11(Picture)



C. Item 12(Picture)



C. Item 13(Picture)

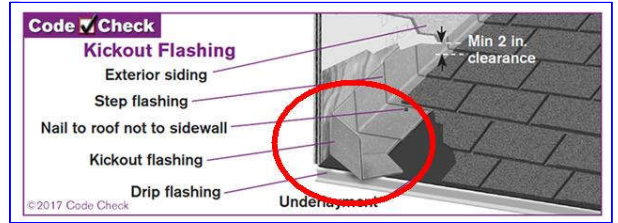
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- Kick out flashings were observed to be missing. Kick out flashings should be installed to help direct the water away from the home. Bent counter flashing is not a substitute for proper kickout flashings. A qualified, verified roofing contractor should be consulted regarding repairs.



C. Item 14(Picture)



C. Item 15(Picture) Kick Out Flashing

- Exposed nail heads at the roof surface should be sealed to prevent water intrusion.



C. Item 16(Picture)

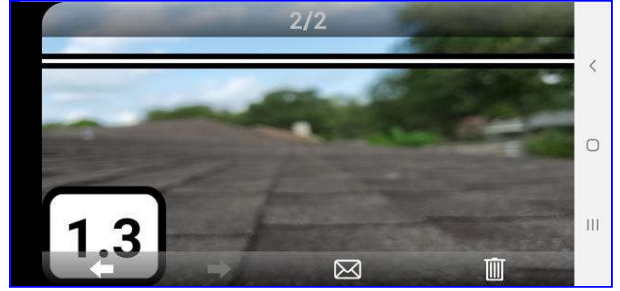
- The roofing material at the rear of the home is not intended for this low slope application. While this condition does not pose a serious short term concern, it may be affect the reliability and longevity of this section of roof.

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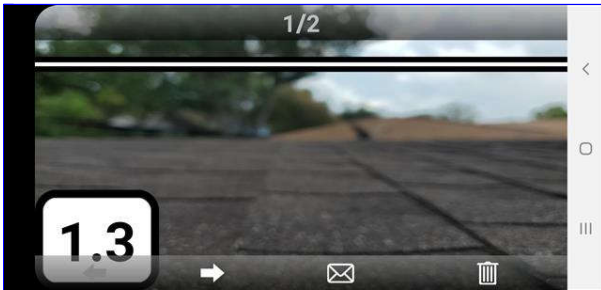
I NI NP D



C. Item 17(Picture)



C. Item 18(Picture)



C. Item 19(Picture)

D. Roof Structures and Attics

Attic info: Pull Down stairs

Method used to observe attic: From attic walkways, Not all areas accessible

Roof decking: Plywood

Roof Ventilation: Ridge vents, Soffit Vents, Gable vents, Turbines

Roof Structure: Stick-built

Attic Insulation: Blown

Approximate Average Depth of Insulation: less than 6 inches

Approximate Average Thickness of Vertical Insulation: See Information Below

Extra Info: Wall voids were not visible at the time of inspection

Comments:

- Examples of Attic Views

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I NI NP D



D. Item 1(Picture)



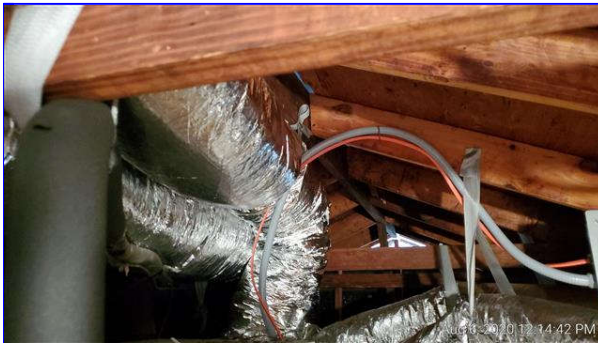
D. Item 2(Picture)



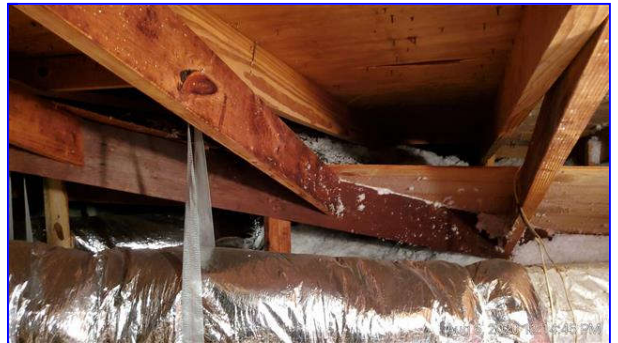
D. Item 3(Picture)



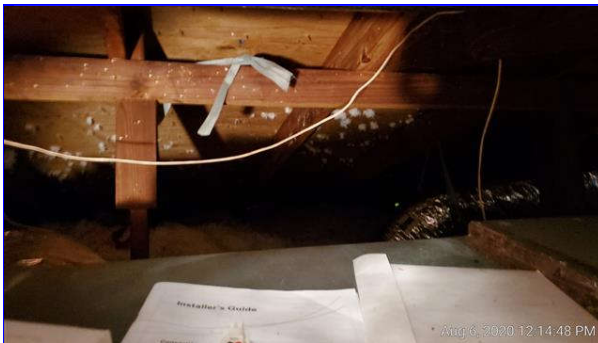
D. Item 4(Picture)



D. Item 5(Picture)



D. Item 6(Picture)



D. Item 7(Picture)

- **ACCESSABILITY AND LIMITATION NOTICE:** Some of the attic areas were not reasonably accessible due to low clearance, plumbing lines or A/C-Heating ductwork. No solid surface walkway has been installed, and it also has a low ceiling. This inhibits the inspector's ability to fully inspect different components of the attic.

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I NI NP D

- The turbine fan operates, but was/were observed to have the following defect(s): noisy.



D. Item 8(Picture)

- The pull down stairs were observed to have the following defect: installed with incorrect hardware, per manufacturer instructions. Injury could result if not repaired. Attic access ladders should be installed with 16d or larger nails or bolts per manufacturer's instructions for safety reasons.



D. Item 9(Picture)



D. Item 10(Picture)



D. Item 11(Picture)



D. Item 12(Picture)

- The roof sheathing was observed to be de-laminating (deterioration caused by moisture). In most cases, damaged roof sheathing must be replaced prior to re-roofing. Improved roof and attic ventilation typically control moisture levels within the roof structure. This condition should be further investigated when re-roofing.

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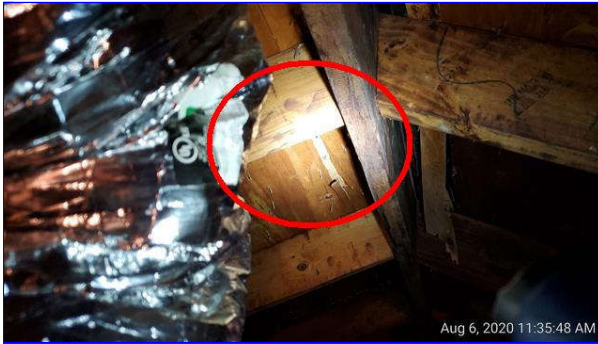
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D. Item 13(Picture)



D. Item 14(Picture)



D. Item 15(Picture)



D. Item 16(Picture)



D. Item 17(Picture)

- The soffits were observed to be damaged or deteriorated. Repairs should be made by a qualified, verified contractor.



D. Item 18(Picture)

- The insulation was observed to be thin or compressed. Insulation improvements may be cost effective, depending on the anticipated term of ownership.

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I NI NP D



D. Item 19(Picture)

- Ceiling joists were observed to be damaged or deteriorated. The inspector recommends that the structural supports be further evaluated and repaired as needed by a certified, licensed foundation specialist.



D. Item 20(Picture)

E. Walls (Interior and Exterior)

Exterior Wall Covering: Brick veneer, Fiber cement siding

Comments:

- BUYERS ADVISORY NOTICE: Freshly painted or repaired interior/exterior wall coverings may conceal defects that would otherwise be observed. The inspector recommends that the interior/exterior walls be monitored over time for defects concealed at the time of the inspection.
- Brick repairs were observed. The reason for these repairs is unknown. Some repairs maybe potentially related to foundation movement or repairs from foundation movement. There is no way for the inspector to determine the exact cause for these repairs.



E. Item 1(Picture)

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I NI NP D

- The siding and trim, in various locations, were observed to have the following defects: damaged, detached, in poor condition and needs improvement. This condition could lead to moisture intrusion into the home. While it could not be verified, there may be concealed damage to the underlying structure. A qualified exterior contractor should be consulted regarding repairs.



E. Item 2(Picture)



E. Item 3(Picture)



E. Item 4(Picture)



E. Item 5(Picture)



E. Item 6(Picture)

- Caulking at the exterior penetrations into home, in various locations, was/were observed to be in poor condition and needs improvement.

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I NI NP D



E. Item 7(Picture)

- All vegetation should be removed from the exterior walls. Vegetation, especially climbing vegetation is conducive to insects and excessive moisture conditions. This prevent full inspection of the foundation and the exterior walls.
- Heavy foliage covering the foundation perimeter was observed. Heavy foliage limits the inspector's and the homeowner's visual observation of the foundation and exterior wall surfaces. Heavy foliage also creates conducive conditions for wood destroying insects and moisture damage.



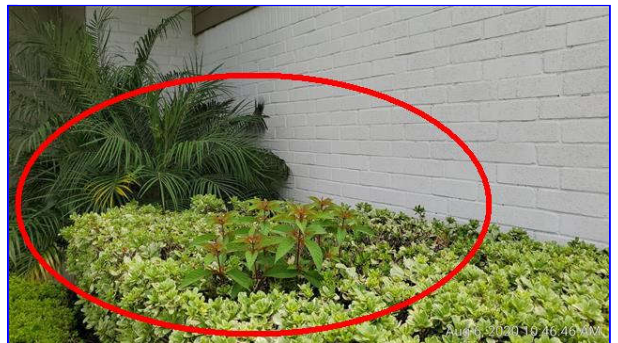
E. Item 8(Picture)



E. Item 9(Picture)



E. Item 10(Picture)



E. Item 11(Picture)



E. Item 12(Picture)

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I NI NP D

- Wood was observed to be in contact with structure. This is considered a condition conducive for wood destroying insects. Recommend clearing the contact between the structure and the wood.



E. Item 13(Picture)

- Wood was observed to be contact with ground in and/or around the structure. It is recommended that these areas be observed for wood destroying insect; (i.e. termites). When possible, remove any wood to ground contact.



E. Item 14(Picture)

- An organic biological substance was/were observed to be present on walls, ceiling or other surfaces. We did not inspect, test or determine if this growth is or is not a health hazard. The underlying cause is moisture or dampness. I recommend you contact a licensed mold inspector for investigation or correction if needed. This is a potential safety hazard and should be investigated further.



E. Item 15(Picture)



E. Item 16(Picture)

F. Ceilings and Floors

[Comments:](#)

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I NI NP D

- BUYERS ADVISORY NOTICE: Freshly painted or repaired ceilings may conceal defects that would otherwise be observed. Ceilings should be monitored over time for defects that may be concealed at the time of the inspection.

G. Doors (Interior and Exterior)

Comments:

- The exterior door at the side entrance was observed to have the following defect: damaged. A repair or replacement is needed.



G. Item 1(Picture)

H. Windows

Window type: Aluminum frame, Single Pane

Comments:

- Safety glass is needed at the shower. Proper glazing should be installed to prevent potential safety hazards.

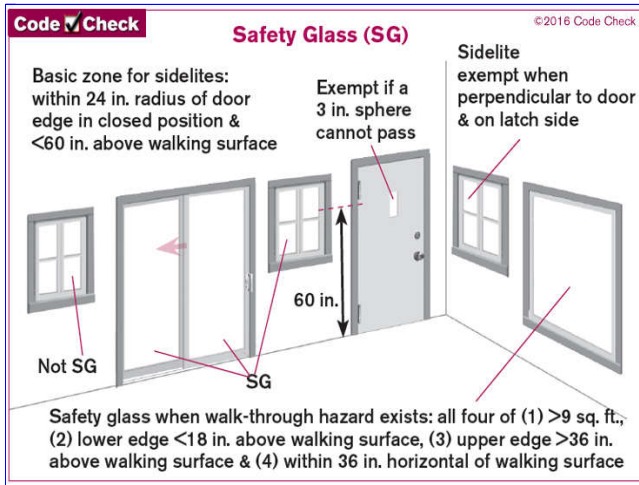
- Section R308.4 of the 2015 IRC establishes the locations where safety glazing is required. They include the following:
 1. Glazing in and near swinging and sliding doors;
 2. Large lites of glass near walkways;
 3. Glazing around tubs, showers, pools and similar fixtures; and
 4. Glazing near stairways, ramps and the landings for both.

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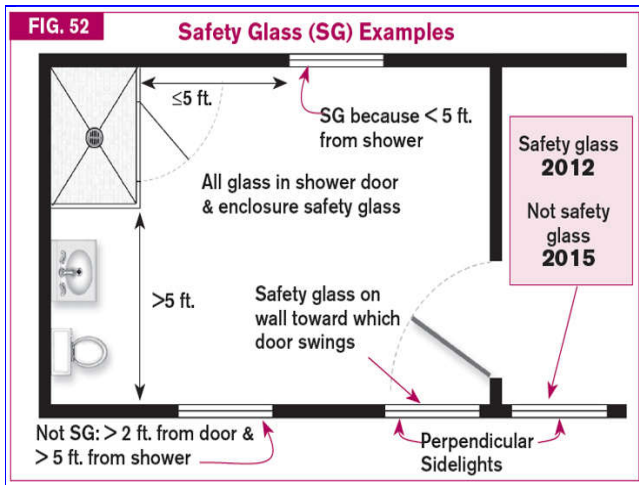
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H. Item 1(Picture)



H. Item 2(Picture) Safety Glass Diagram

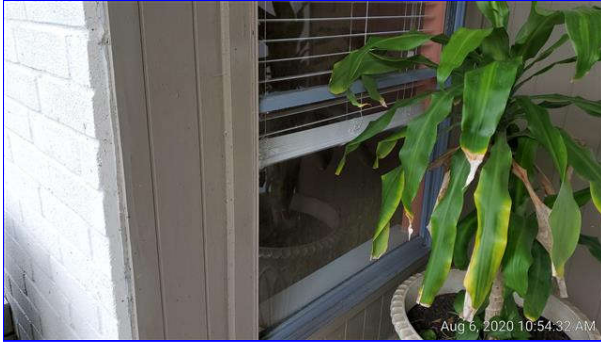


H. Item 3(Picture) Bathroom Safety Glass

- One or more window screens were observed to be missing or damaged. Repair or replacement is needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



H. Item 4(Picture)

- Several windows in various locations were observed to have the following defect: evidence of leaks. The windows should be repaired as needed.



H. Item 5(Picture)



H. Item 6(Picture)



H. Item 7(Picture)

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Types of Fireplaces: See Information Below

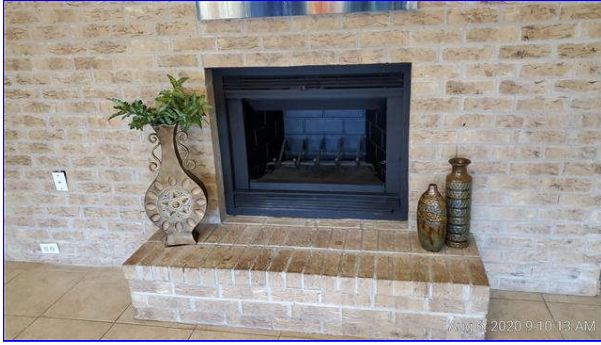
Extra Info: Gas vented fireplace

Comments:

- Fireplace and Chimney Views

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J. Item 1(Picture)



J. Item 2(Picture)



J. Item 3(Picture)



J. Item 4(Picture)

- Inspector does not light gas fireplaces and does not start fires with organic materials. Many potential safety hazards exist lighting units that are not in regular use. Given the limited winter in our area of Texas, many fireplaces are not used regularly. A qualified, verified chimney professional and/or plumber should be consulted regarding further inspection, should the buyer need a full inspection of the gas aspects of the fireplace.
- If the fireplace is used extensively, it should be cleaned and serviced regularly by a professional that is certified by the Chimney Safety Institute of America. For more information go to www.csia.org.
- The National Fire Protection Association (nfpa.org) recommends that fireplaces and chimneys be professionally inspected (Level 2 Inspection) with each change of ownership. The chimney should also be inspected by a qualified chimney sweep certified by the Chimney Safety Institute of America (csia.org).
- The fire screen was observed to be missing. This is a safety concern and is a potential fire hazard. Screens are used to keep organic materials from leaving the fire box area and causing burns or fires. Fire screen should be replaced prior to using the fire place.



J. Item 5(Picture)

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I NI NP D

- The fireplace does not have damper stop installed. Damper stops are needed for fireplace burning hydrocarbon fuels to assure carbon monoxide fumes are vented out of the home.



J. Item 6(Picture)



J. Item 7(Picture)

- One or more flue vents are in contact with or does not have adequate clearance from combustibles. A minimum of 1" clearance is required per manufacturer instructions. Adjustment is needed to prevent possible safety hazards such as fire.



J. Item 8(Picture)

K. Porches, Balconies, Decks and Carports

Comments:

- The concrete driveway and concrete walkway at the front of the home were observed to have the following defects: has settlement cracks and is uneven. Further deterioration can occur if not repaired. This condition is a tripping hazard.

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I NI NP D



K. Item 1(Picture)



K. Item 2(Picture)



K. Item 3(Picture)



K. Item 4(Picture)



K. Item 5(Picture)



K. Item 6(Picture)



K. Item 7(Picture)

- Fencing is old and deteriorated. Repairs should be made. A qualified contractor should be consulted regarding repair or replacement. This home has a pool. The pool/spa has not been protected from pedestrian traffic by an acceptable fence. Lack of an acceptable fence was observed to be a SAFETY HAZARD.

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I NI NP D



K. Item 8(Picture)



K. Item 9(Picture)

L. Other

Home Is: Vacant

Structure Type: Single Family

Comments:

- Examples of Exterior Views of Property at Time of Inspection

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I NI NP D



L. Item 1(Picture) Front right elevation



L. Item 2(Picture) Front left elevation



L. Item 3(Picture) Front left elevation



L. Item 4(Picture) Rear right elevation



L. Item 5(Picture) Rear elevation



L. Item 6(Picture) Rear elevation

- Examples of Interior Views of Property at Time of Inspection

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I NI NP D



L. Item 7(Picture) Living room



L. Item 8(Picture) Breakfast area



L. Item 9(Picture) Kitchen



L. Item 10(Picture) Converted garage to living space



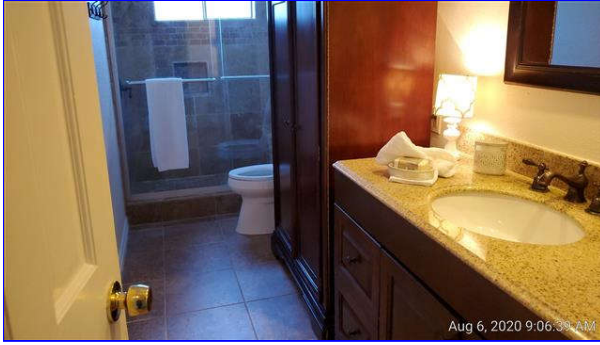
L. Item 11(Picture) Front left corner bedroom



L. Item 12(Picture) Middle left bedroom

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



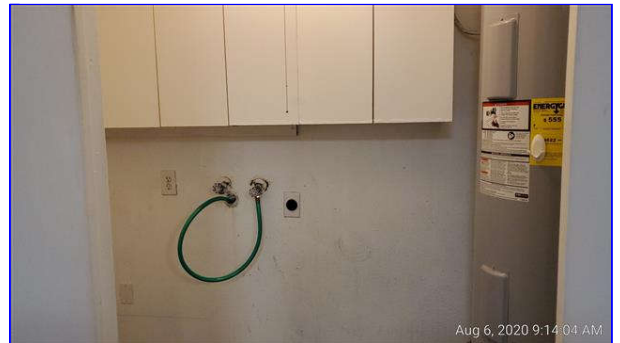
L. Item 13(Picture) Hall bathroom



L. Item 14(Picture) Master bedroom



L. Item 15(Picture) Master bathroom



L. Item 16(Picture) Laundry closet

- Evidence of possible active, previous activity and/or evidence of previous treatment of a wood-destroying insect was detected at the time of this inspection. Full evaluation of the amount of damage caused by the insects cannot be detected within the wall voids or other hidden areas without defacing the property and cannot be addressed in this inspection report. With the detection of active or previous activity of a wood destroying insect, it should be assumed that some degree of damage is present. A licensed pest control specialist should be consulted for further investigation of this condition.



L. Item 17(Picture)

- Excessive number of a wasp like insect was observed in various locations of the home. A qualified, verified, licensed pest control specialist should be consulted regarding this condition and possible treatment.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



L. Item 18(Picture)



L. Item 19(Picture)



L. Item 20(Picture)

- There is evidence of possible vermin activity in the attic. A pest control specialist should be consulted regarding this condition.



L. Item 21(Picture)

- The enclosed pool equipment/storage room was observed to have been installed in a substandard manner or DIY project. Some components are in poor condition. Further deterioration can occur if not repaired. A fall or injury could occur if not corrected. This is a safety hazard condition. A qualified exterior contractor should be consulted regarding repairs.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



L. Item 22(Picture)



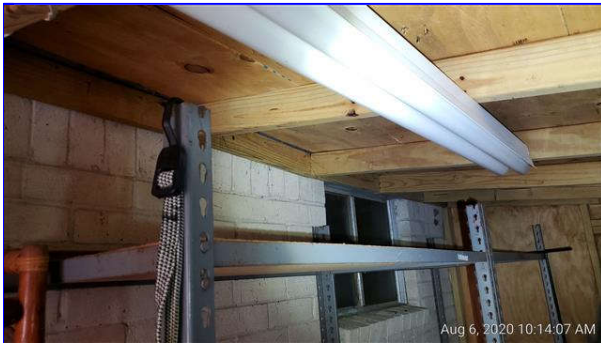
L. Item 23(Picture)



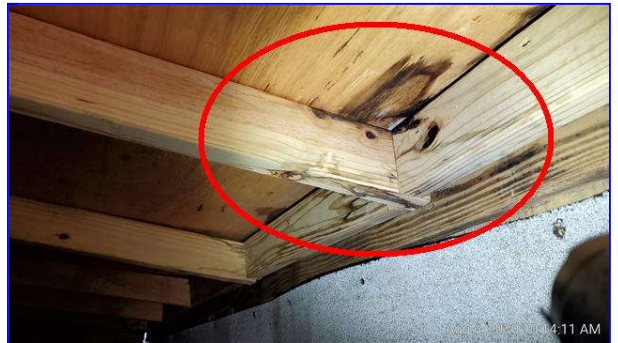
L. Item 24(Picture)



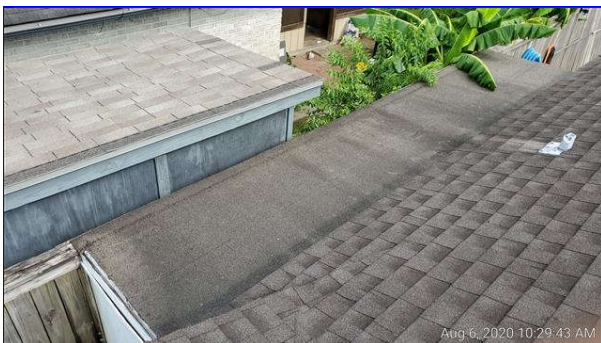
L. Item 25(Picture)



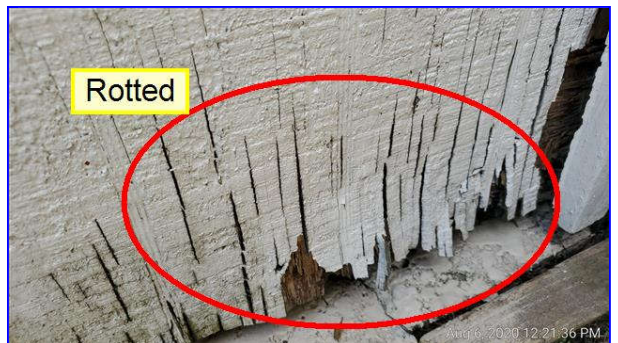
L. Item 26(Picture)



L. Item 27(Picture)



L. Item 28(Picture)



L. Item 29(Picture)

- The garage was observed to have been converted into a living area. This work may or may not have been performed by a licensed contractor(s) with proper permits and code inspections, or conducted in a proper workmanship, etc. The inspector recommends verifying with the seller and local building authorities to determine if the work was done properly and conforms to the applicable building standards of the repairs. Amateur or un-permitted work has the potential to conceal poor workmanship and/or hidden defects. The inspector recommends reviewing the municipal inspector

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

records and permit information for this property prior to closing. They may contain information on upgrades, additions, renovations, change-outs, etc., which were not a part of the routine inspection process or were concealed at the time of the inspection.



L. Item 30(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Main Panel Located: Exterior of the home

Main Disconnet Located: In the main panel

Electric Panel Manufacturer: General Electric

Main Breaker Amps: 200 AMP

Electrical Service Conductors: Below ground

Feeder wire type: Aluminum, Copper

Branch wire type: Copper

Comments:

- Panel Views

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

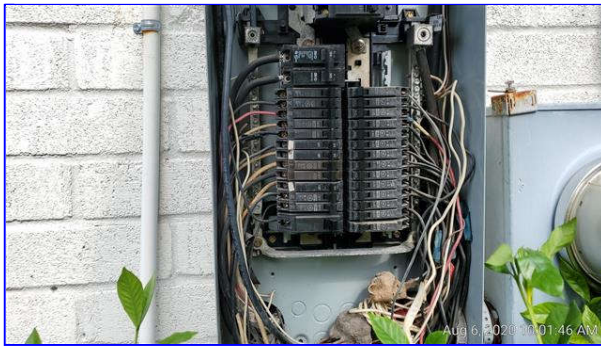
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A. Item 1(Picture)



A. Item 2(Picture)

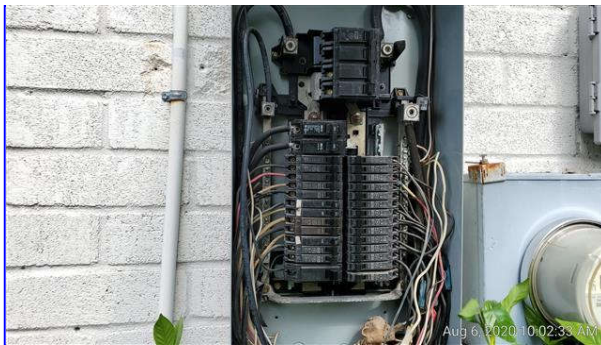


A. Item 3(Picture)



A. Item 4(Picture)

- **Buyers Advisory Notice:** Ancillary wiring items not inspected include but are not limited to: telephone, cable, speaker, intercom, computer, photocells, low voltage, hard wiring on smoke detectors, electric gates and doors, and yard and tree lighting.
- **Buyer Advisory Notice Note:** Today's building standards require that AFCI devices be used for all circuits serving family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas. Although this was not a requirement at the time of construction, the Texas Real Estate Commission (TREC) Standards Of Practice requires that licensed inspectors mark any home not in compliance with this standard as Deficient.



A. Item 5(Picture)

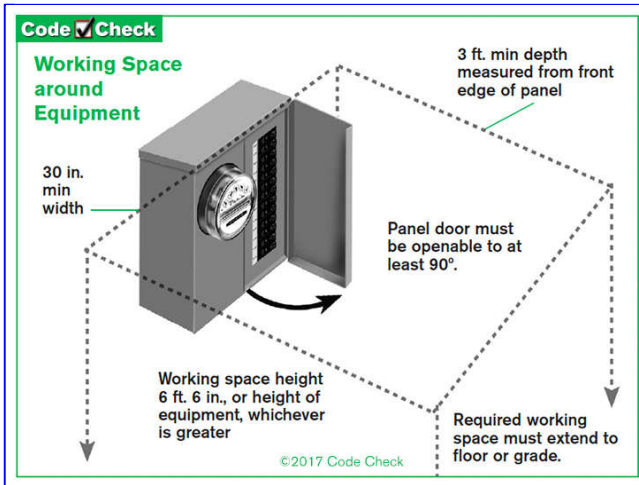
- Proper clearance for the electrical enclosure is needed. The included diagram illustrates the proper clearances needed.
- The heavy foliage at and around the main electrical panel should be trimmed back. This is a safety hazard condition.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 6(Picture)



A. Item 7(Picture) Panel Clearances

- Pointed screws were observed securing the deadfront to the electrical panel. Blunt tip screws designed for the the panel should be installed. This condition is a safety hazard.

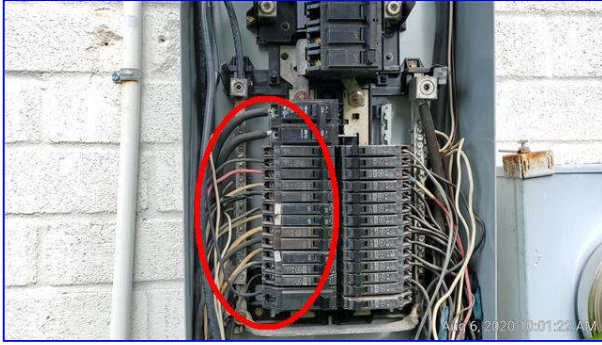


A. Item 8(Picture)

- Cables at breakers are white, an improper color code for these cables.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 9(Picture)

- Some labels are present, but are illegible or confusing. Without proper labelling the inspector cannot determine the proper amperage for appliances such as the HVAC condensing unit(s). I recommend correcting for safety reasons.



A. Item 10(Picture)

- Wasp's nest was observed in the panel. When debris is present, it is mostly likely due to excessive openings in the panel. Excessive openings should be sealed to prevent further intrusion into the panel. The panel enclosure may also need to be caulked at the wall, top and sides, while leaving the bottom open for moisture relief. Repairs should be made.



A. Item 11(Picture)

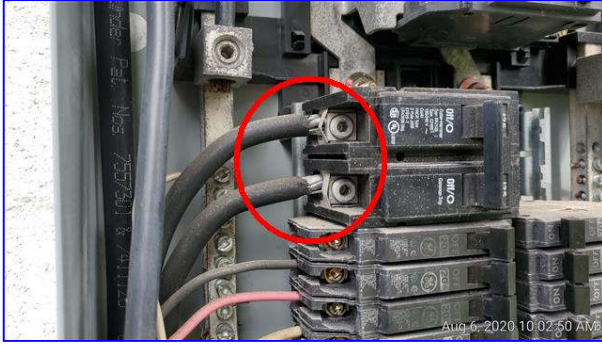


A. Item 12(Picture)

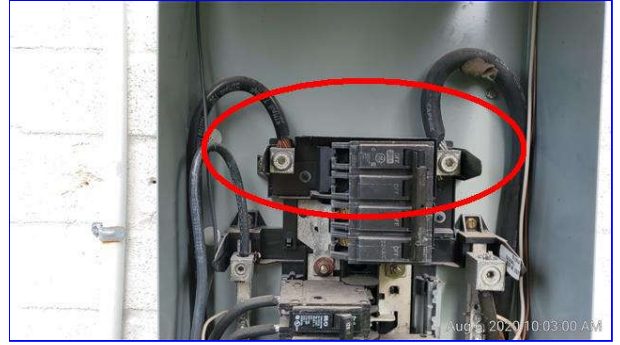
- Cable was observed to have the sheathing cut back too far, over exposing the conductor. Sheathing should not be cut more than a 1/4" from the connection to the breaker.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

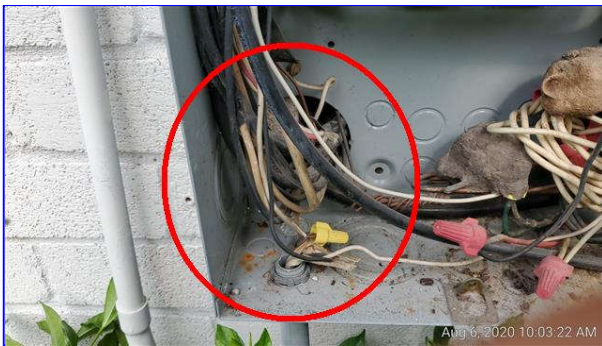


A. Item 13(Picture)



A. Item 14(Picture)

- Missing bushings to protect wiring were observed at the main panel enclosure. Bushings should be installed to prevent damage to the wiring.

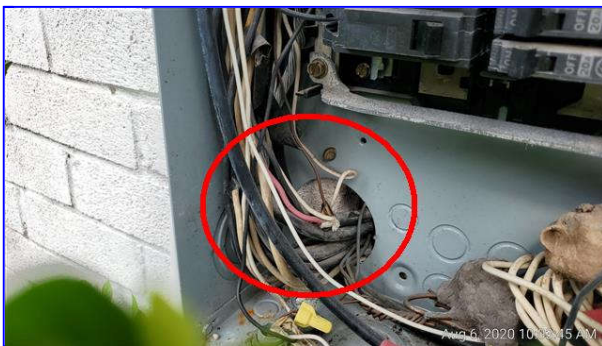


A. Item 15(Picture)



A. Item 16(Picture)

- Excessive openings were observed at the electrical panel. This condition is a safety hazard. These openings should be sealed or adjustments made to close them.



A. Item 17(Picture)

- The main panel enclosure is loose on the wall. The enclosure should be properly secured.

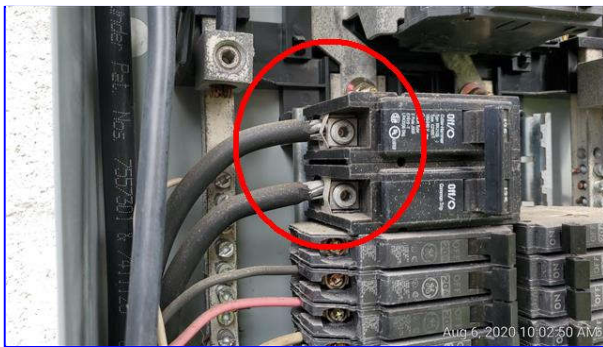
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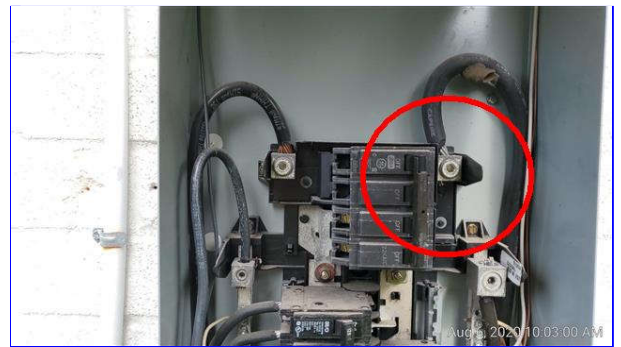


A. Item 18(Picture)

- The aluminum feeder wires are not coated with anti-oxidant paste to prevent corrosion.

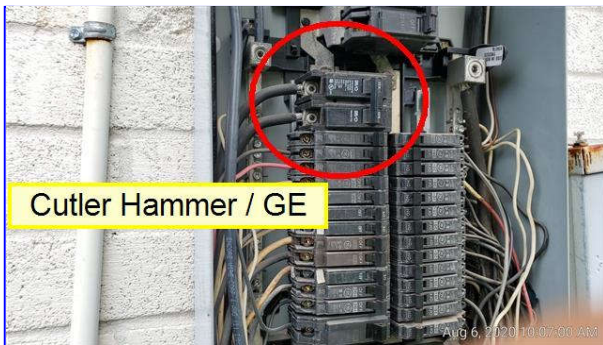


A. Item 19(Picture)



A. Item 20(Picture)

- Circuit breakers in main panel are of a different brand than panel manufacturer. The manufacturer requires that in order for the panel to be safe, only their brand is allowed to be used inside the panel. Even though these circuit breakers are all "UL approved," they are not approved to be used in panels of different manufacturers unless so indicated on the panel label.



A. Item 21(Picture)

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Romex

Comments:

- Inspector is unable to verify if can fixture(s) in the attic are "IC", in contact, rated. Some fixtures are rated for contact with insulation and other combustibles and some are not. Fixtures that are NOT IC rated should have a minimum clearance from combustibles that follow manufacturer instructions.
- **Buyers Advisory Notice:** The inspector does not check 220-volt outlets. Random testing of electrical outlets only; not all outlets are tested. In the event aluminum wiring is reported it should be

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

reviewed by a licensed electrician. We do not report copper clad aluminum wiring unless clearly labeled so at the electrical panel. Only light fixtures that appear to have been improperly installed are tested for proper operation. Burnt bulbs are not reported. Light fixtures with daylight sensors or that are on timers can not be tested for proper operation

- **Buyers Advisory Notice:** Batteries should be replaced in the smoke/carbon monoxide detectors upon moving into the residence. Smoke/carbon monoxide detectors should be tested once a month and batteries replaced accordingly. If a detector begins to beep periodically in rhythm, this means the batteries are dying and should be replaced. Regular testing of these systems ensures they are working properly and will be able to offer the protection they are designed to provide.
- **Buyers Advisory Notice:** Carbon monoxide detectors should be present in the home and installed to manufacturer instructions with gas utilities are present in the home.
- Smoke detectors were observed to have the following defect: are not installed in all of the bedrooms. Smoke detectors are critical to occupant safety and should be repaired as needed. By current standards smoke detector are required in each sleeping area, in the vicinity outside the sleeping area, and one each inhabitable level of the home. Smoke detectors in newer homes are required to be hard wired to the electrical system, have battery backup, and be interlinked to activate all smoke detectors in the home if one is activated. All smoke detectors should have batteries replaced upon moving into the home. This ensures all batteries are new and in working order.



B. Item 1(Picture)



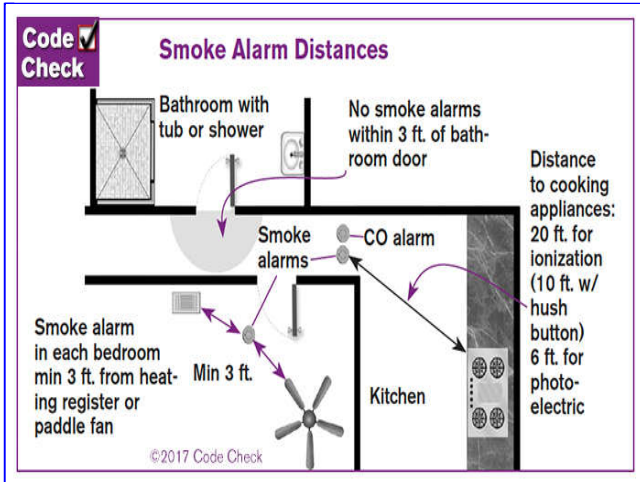
B. Item 2(Picture)



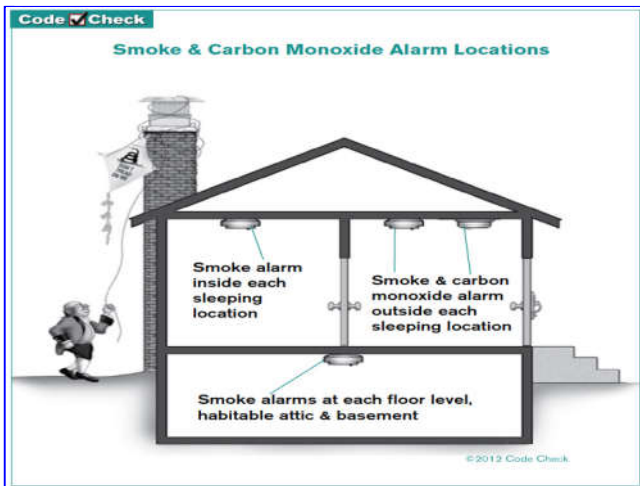
B. Item 3(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 4(Picture) Smoke Alarm Distances

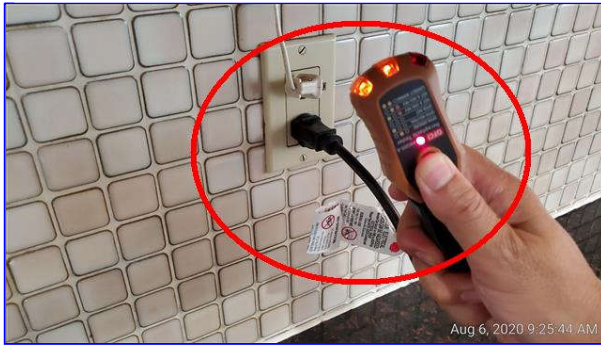


B. Item 5(Picture) Alarm Required Locations

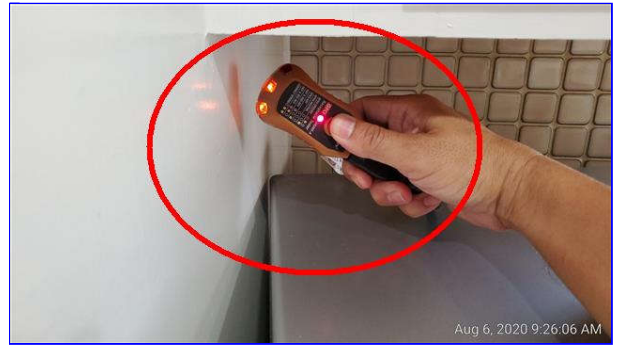
- Numerous receptacles in required locations, kitchen countertops, kitchen island, bathrooms, exterior, garage and/or within six feet of a sink, are not ground fault circuit interrupt (GFCI) protected. This condition is a safety hazard that should be repaired.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 6(Picture)



B. Item 7(Picture)



B. Item 8(Picture)



B. Item 9(Picture)

- Light fixtures at closets in various locations should have shade or globe installed. This condition is a potential fire hazard.



B. Item 10(Picture)



B. Item 11(Picture)



B. Item 12(Picture)

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I NI NP D

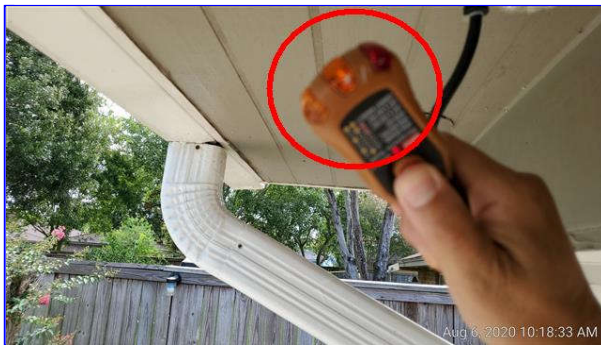
- Several receptacles at the rear porch were observed to have the following defect: not GFCI, over-spray and show to have an open ground when tested. Repairs should be performed by a qualified, verified, licensed electrician.



B. Item 13(Picture)



B. Item 14(Picture)



B. Item 15(Picture)



B. Item 16(Picture)

- Multiple receptacles in various locations were observed to have the following defect: show to have an open ground when tested. Repairs should be performed by a qualified, verified, licensed electrician.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

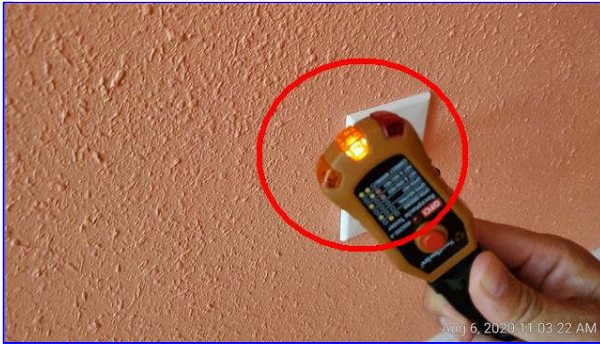
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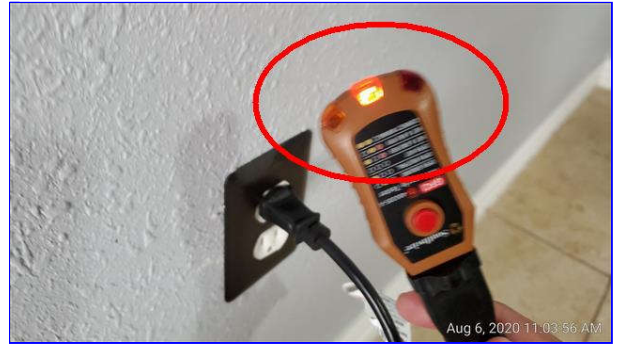
B. Item 17(Picture)



B. Item 18(Picture)



B. Item 19(Picture)



B. Item 20(Picture)



B. Item 21(Picture)

- Several receptacle/switch in the attic were observed to have the following defect: have missing cover plates. Repairs should be performed by a qualified, verified, licensed electrician.



B. Item 22(Picture)



B. Item 23(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Electric central heat systems: One

Heat System Brand: American Standard

Comments:

- View of Furnace(s) and Data Plate(s) (if available)



A. Item 1(Picture)

- **Buyers Advisory Notice:** Full evaluation of gas heat exchangers requires dismantling of furnace and is beyond the scope of this inspection. Heat pump systems are not tested when ambient temperatures are above 80 degrees Fahrenheit to avoid damage to system.
- The furnace was operable at the time of inspection.
Conditions requiring repair were not observed at the time of inspection, however, if the unit has not been serviced recently, a licensed HVAC contractor should be consulted regarding servicing the system. Inspector recommends obtaining documentation of the last service of the unit from the seller. HVAC systems should be serviced annually to ensure proper function of the unit and increase the longevity of the system.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 2(Picture) Master bedroom



A. Item 3(Picture) Front left corner bedroom



A. Item 4(Picture) Kitchen



A. Item 5(Picture) Living room

B. Cooling Equipment

Outdoor Temperature at Time of Inspection (Approximate Range): 80 to 90 Degrees

Cooling system brand / BTU: American Standard, 42,000 BTU

Cooling system Delta T: 18

Comments:

- View of Condensing Unit(s) and Data Plate(s) (if available)



B. Item 1(Picture)



B. Item 2(Picture)

- **Buyers Advisory Notice:** The inspector does not determine the adequacy (tonnage/manual load calculation) or efficiency of the system. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected. Window air conditioning and possible mismatched central units are not checked. An accurate central air conditioning cooling differential test is not possible when the ambient temperature is below 60 degrees Fahrenheit and will not be tested during these conditions to prevent potential damage to the system.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

- BUYERS ADVISORY NOTICE: Please verify that the HVAC equipment has been serviced recently, preferably in the last year. Negligence of annual servicing for the HVAC equipment may not allow the systems to provide and maintain maximum efficiency and may lessen the serviceable life span.
- Conditions requiring repair were not observed at the time of inspection, however, if the unit has not been serviced recently, a licensed HVAC contractor should be consulted regarding servicing the system. Inspector recommends obtaining documentation of the last service of the unit from the seller. HVAC systems should be serviced annually to ensure proper function of the unit and increase the longevity of the system.



B. Item 3(Picture)



B. Item 4(Picture)

- The HVAC equipment in the attic was observed to be sitting on improper material. Styrofoam may not provide adequate support and may affect equipment performance.



B. Item 5(Picture)

C. Duct Systems, Chases, and Vents

Ductwork: Flexible duct

Filter Type: Disposable

Filter Size: (Two filters)

Comments:

- **Buyers Advisory Notice:** Inspecting the interior condition of the HVAC supply and return ducts would require vent removal and/or dismantling the equipment plenums and is beyond the scope of this inspection.
- HVAC flexible ducting should be hung and not left laying on the insulation and framing members. Ducts can sweat when in contact with other materials and or structural members. This can lead to organic microbial growth if not adjusted.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

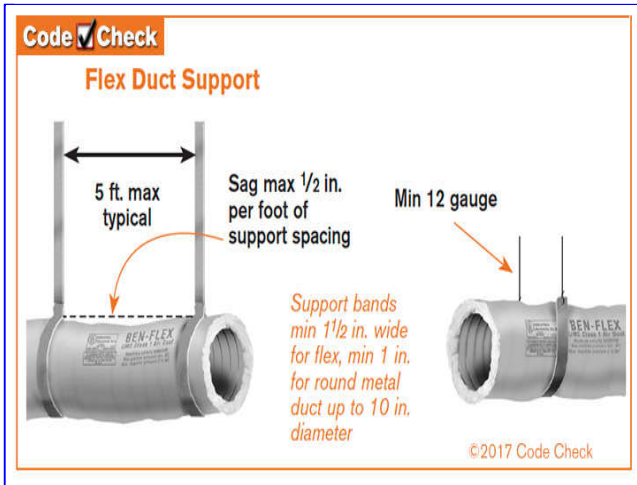
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C. Item 1(Picture)



C. Item 2(Picture)



C. Item 3(Picture) Duct Support

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

IV. PLUMBING SYSTEM

A. Plumbing Supply Distribution Systems and Fixtures

Location of water meter: Street

Location of main water supply valve: See Information Below

Extra Info: Converted garage to living space

Static water pressure reading: 71 pounds/square inch

Water Source: Public

Supply Plumbing (inside home): CPVC

Location of interior shut offs: At fixtures

Comments:

- Static pressure at the time of inspection. Normal pressure should be between 40-80 psi (pounds per square inch)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 1(Picture)

- The supply valve to the home is located in the formal garage. This is the main shut off to the home. In the event of a plumbing emergency this is where you will shut off the supply of water to the home.



A. Item 2(Picture)

- **Buyers Advisory Notice - Inspector Limitations Regarding Plumbing Systems:** Any plumbing component underground, under the foundation, in the foundation, enclosed in walls, not completely visible, or inaccessible to the Inspector for any reason should not be considered inspected. Water softeners and filters will not be inspected. Shower enclosures and shower pan inspections are limited to the visual inspection of accessible components. Static testing and or shower pan test were not performed. Removal of floor and wall coverings to inspect for leaks was not performed. The inspector cannot comment to the effectiveness of previous repairs, should any be present.

EXTERIOR PLUMBING

- No visible leaks were observed.

KITCHEN

- Evidence of previous leaks were observed under the under the sink. While it could not be verified, there may be concealed damage to the underlying structure. We recommend evaluation, repairs and further investigations for additional defects by a licensed contractor.
- Vegetable sprayer does not retract properly and can lead to cross contamination of clean, potable water and dirty, gray water. This is a potential safety hazard. Repair or replacement is needed.
- The faucet at the sink was observed to have the following defect: loose at the counter top.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 3(Picture)



A. Item 4(Picture)



A. Item 5(Picture)



A. Item 6(Picture)

LAUNDRY ROOM

- No visible leaks were observed.



A. Item 7(Picture)

HALL BATHROOM

- No visible leaks were observed.
- The drain stop at the sink was observed to have the following defect: holding water when not engaged.
- The faucet at the shower was observed to have the following defect: loose valve handle.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 8(Picture)



A. Item 9(Picture)



A. Item 10(Picture)

MASTER BATHROOM

- The drain stop at the sink was observed to have the following defect: holding water when not engaged.
- The fixture connection was observed to be slightly corroded. While not leaking at the time of inspection this condition should be monitored and qualified, verified, licensed plumber should be consulted regarding repair, if needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

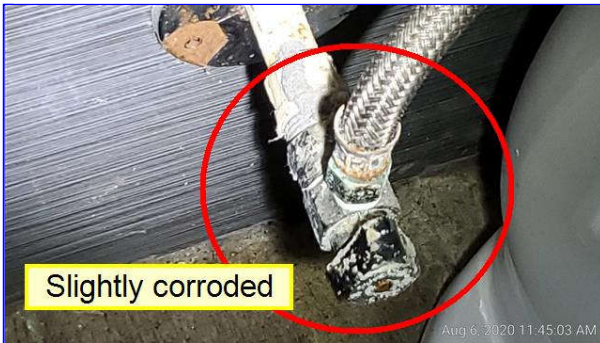
I NI NP D



A. Item 11(Picture)



A. Item 12(Picture)



A. Item 13(Picture)

ATTIC

- Water supply lines in the attic were observed to lack adequate insulation. Lack of insulation or inadequate insulation at water supply lines in the attic should be corrected to prevent water damage.



A. Item 14(Picture)

B. Drains, Waste, and Vents

Plumbing Waste: PVC

Comments:

- **Buyers Advisory Notice - Limitations Regarding Drain Systems:** The following systems, items, or components are excluded from this inspection: drain line for clothes washing machine, or water conditioning systems, drain pumps or water ejection pumps, sewer clean-outs, anti-siphon devices, components that are not visible or accessible, exterior plumbing components, and fire sprinkler systems. Drains are tested by flushing water through the system only. Vacant home drain problems may not be detectable until the home is placed back into normal occupancy use of the plumbing systems.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

C. Water Heating Equipment

Water Heater Manufacturer: Whirlpool
Capacity (Water Heater): 50 Gallon
Energy Sources: Electric
Number of water heaters: One
Water Heater Location: Interior utility closet
Comments:

- The water heater was observed to be functioning as intended.



C. Item 1(Picture) Master bathroom



C. Item 2(Picture) Hall bathroom



C. Item 3(Picture) Kitchen

- View of Water Heater(s) and Data Plate(s)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 4(Picture)



C. Item 5(Picture)



C. Item 6(Picture)

- Drain pan does not extend to exterior as required. Recommend repair to meet current standards.



C. Item 7(Picture)

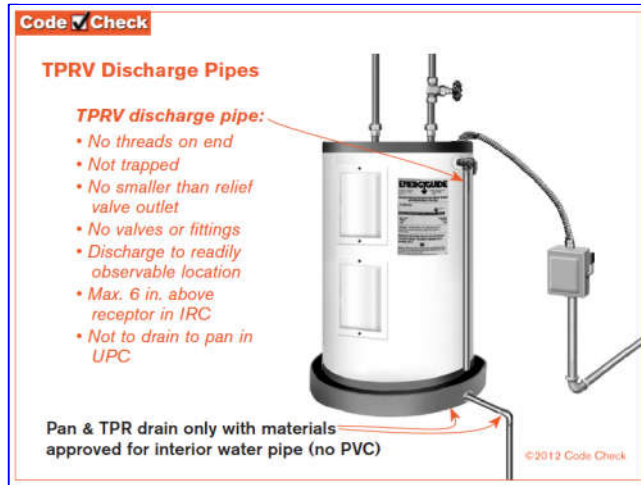
- TPR discharge requirements are for the occupant safety and should be installed so as to drain by flow of gravity, not terminate more than 6 inches (152 mm) above the floor or waste receptor, discharge to a floor drain, to an indirect waste receptor, or to the outdoors, piped independently of other equipment drains, water heater pans, or relief valve discharge piping to the point of discharge, discharge to a floor drain, to an indirect waste receptor, or to the outdoors, not have valves anywhere, not have tee fittings, not have a threaded connection at the end of the pipe so as to avoid capping, not be trapped, since standing water may become contaminated and backflow into the potable water, not be directly connected to the drainage system to prevent backflow of potentially contaminating the potable water and discharge pipe should be no smaller than 3/4-inch at any point.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 8(Picture)



C. Item 9(Picture) TPR Discharge

D. Hydro-Massage Therapy Equipment

Comments:

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

V. APPLIANCES

A. Dishwashers

Dishwasher Brand: Kenmore

Shut Off Location for Gas Appliance: See Information Below

Extra Info: Electric

Comments:

- View of Dishwasher and Data Plate (if available)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 1(Picture)



A. Item 2(Picture)

- The dishwasher was operated through a normal cycle and appeared to be in serviceable condition at the time of the inspection.

B. Food Waste Disposers

Disposer Brand: In Sink Erator

Comments:

- View of Disposal and Data Plate (if available)



B. Item 1(Picture)

- The food waste disposal was observed to be functioning as intended.

C. Range Hood and Exhaust Systems

Exhaust/Range hood: Thermador

Range hood is vented: to the interior of the home

Comments:

- View of Exhaust System and Data Plate (if available)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 1(Picture)

- The range hood was observed to be functioning as intended.

D. Ranges, Cooktops and Ovens

Cooktop: Maytag

Oven: General Electric

Comments:

- View of Cooking Appliance(s) and Data Plate(s) (if available)



D. Item 1(Picture)



D. Item 2(Picture)

- **Buyers Advisory Notice:** The inspector does not test self-cleaning, self-bake, convection, or broiler functions on ovens.
- The cooktop was observed to be functioning as intended.



D. Item 3(Picture)

- The oven was observed to be functioning as intended.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



D. Item 4(Picture)

- The cooktop electrical splice that is not placed in a box with cover. I recommend repair as needed.



D. Item 5(Picture)

E. Microwave Ovens

Built in Microwave: None

Comments:

- View of Microwave and Data Plate (if available)
- **Buyers Advisory Notice:** The inspector does not test microwave for radiation leakage.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

- The laundry area does not have an exhaust fan. Laundry room without an operable window are required to have an exhaust fan vented to the exterior.



F. Item 1(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

- The mechanical fan in the master bathroom was observed to be excessively dirty. Cleaning is recommended for proper function.



F. Item 2(Picture)

G. Garage Door Operator(s)

Number of garage door openers: N/A

Comments:

- View of Opener(s) and Data Plate(s) (if available)

H. Dryer Exhaust Systems

Comments:

- **Buyers Advisory Notice:** Dryer vents should be cleaned upon moving into the home and periodically after. The more the dryer is used the more often the vent should be checked for built up lint. Dryer fires are one of the most common causes of fires in residential settings. Cleaning the vent from built up lint is the best way to prevent potential fire hazards.

- The dryer vent piping was observed to be the following defect(s): made of flexible vent duct at it passing trough the wall.



H. Item 1(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

VI. OPTIONAL SYSTEMS

B. Swimming Pools, Spas, Hot Tubs, and Equipment

Comments:

- Swimming pool/Spa Views

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 1(Picture)



B. Item 2(Picture)



B. Item 3(Picture)



B. Item 4(Picture)

- Inspector does not inspect swimming pools or any safety concerns that may have been created by the installation of the pool. It is our recommendation the buyer have pool and related safety concerns inspected by a qualified pool safety specialist.

General Summary

Customer

Alex Ha

Address

16211 Townes Rd
Friendswood TX 77546

The following items or discoveries indicate that these systems or components **do not function as intended or adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

I. STRUCTURAL SYSTEMS

Grading and Drainage

Inspected, Deficient

1

- The gutters were observed to be in need of repair in various locations. Loose gutters should be properly secured and checked for slope to drain properly. Any damaged or deteriorated sections of gutter and down spouts should be replaced on as needed bases. Defective gutters may create leakage into the roof eve causing structural damaged into the home.

2

- High soil levels/flower/planting beds were observed at the foundation walls in various locations. This prevented visual inspection of the foundation. A minimum of four inches of foundation wall should be exposed under the brick veneer and a minimum of six inches of foundation wall should be exposed under the wood surfaces. High soil levels are conducive to wood destroying insect infestation, and possible water penetration into the home. When repaired, the grade should slope downward away from the home directing runoff away from the foundation. Improvements should be undertaken by professional landscaper.

3

- The gutters and down spouts was observed to be in need of cleaning. Gutters and downspouts should be further examined for possible defects after cleaning for proper drainage.

Roof Covering Materials

Inspected, Deficient

4

- The flashings were observed have the following defect: raised and damaged in various locations on the roof. Defective flashing should be repaired to prevent water intrusion.

5

- Kick out flashings were observed to be missing. Kick out flashings should be installed to help direct the water away from the home. Bent counter flashing is not a substitute for proper kickout flashings. A qualified, verified roofing contractor should be consulted regarding repairs.

6

- Exposed nail heads at the roof surface should be sealed to prevent water intrusion.

7

- The roofing material at the rear of the home is not intended for this low slope application. While this condition does not pose a serious short term concern, it may be affect the reliability and longevity of this section of roof.

Roof Structures and Attics

Inspected, Deficient

- 8 • The turbine fan operates, but was/were observed to have the following defect(s): noisy.
- 9 • The pull down stairs were observed to have the following defect: installed with incorrect hardware, per manufacturer instructions. Injury could result if not repaired. Attic access ladders should be installed with 16d or larger nails or bolts per manufacturer's instructions for safety reasons.
- 10 • The roof sheathing was observed to be de-laminating (deterioration caused by moisture). In most cases, damaged roof sheathing must be replaced prior to re-roofing. Improved roof and attic ventilation typically control moisture levels within the roof structure. This condition should be further investigated when re-roofing.
- 11 • The soffits were observed to be damaged or deteriorated. Repairs should be made by a qualified, verified contractor.
- 12 • The insulation was observed to be thin or compressed. Insulation improvements may be cost effective, depending on the anticipated term of ownership.
- 13 • Ceiling joists were observed to be damaged or deteriorated. The inspector recommends that the structural supports be further evaluated and repaired as needed by a certified, licensed foundation specialist.

Walls (Interior and Exterior)

Inspected, Deficient

- 14 • Brick repairs were observed. The reason for these repairs is unknown. Some repairs maybe potentially related to foundation movement or repairs from foundation movement. There is no way for the inspector to determine the exact cause for these repairs.
- 15 • The siding and trim, in various locations, were observed to have the following defects: damaged, detached, in poor condition and needs improvement. This condition could lead to moisture intrusion into the home. While it could not be verified, there may be concealed damage to the underlying structure. A qualified exterior contractor should be consulted regarding repairs.
- 16 • Caulking at the exterior penetrations into home, in various locations, was/were observed to be in poor condition and needs improvement.
- 17 • All vegetation should be removed from the exterior walls. Vegetation, especially climbing vegetation is conducive to insects and excessive moisture conditions. This prevent full inspection of the foundation and the exterior walls.
- Heavy foliage covering the foundation perimeter was observed. Heavy foliage limits the inspector's and the homeowner's visual observation of the foundation and exterior wall surfaces. Heavy foliage also creates conducive conditions for wood destroying insects and moisture damage.
- 18 • Wood was observed to be in contact with structure. This is considered a condition conducive for wood destroying insects. Recommend clearing the contact between the structure and the wood.
- 19 • Wood was observed to be contact with ground in and/or around the structure. It is recommended that these areas be observed for wood destroying insect; (i.e. termites). When possible, remove any wood to ground contact.
- 20 • An organic biological substance was/were observed to be present on walls, ceiling or other surfaces. We did not inspect, test or determine if this growth is or is not a health hazard. The underlying cause is moisture or dampness. I recommend you contact a licensed mold inspector for investigation or correction if needed. This is a potential safety hazard and should be investigated further.

Doors (Interior and Exterior)

Inspected, Deficient

- 21 • The exterior door at the side entrance was observed to have the following defect: damaged. A repair or replacement is needed.

Windows

Inspected, Deficient

- 22 • Safety glass is needed at the shower. Proper glazing should be installed to prevent potential safety hazards.
- Section R308.4 of the 2015 IRC establishes the locations where safety glazing is required. They include the following:

1. Glazing in and near swinging and sliding doors;
2. Large lites of glass near walkways;
3. Glazing around tubs, showers, pools and similar fixtures; and
4. Glazing near stairways, ramps and the landings for both.

- 23** • One or more window screens were observed to be missing or damaged. Repair or replacement is needed.
- 24** • Several windows in various locations were observed to have the following defect: evidence of leaks. The windows should be repaired as needed.

Fireplaces and Chimneys

Inspected, Deficient

- 25** • The fire screen was observed to be missing. This is a safety concern and is a potential fire hazard. Screens are used to keep organic materials from leaving the fire box area and causing burns or fires. Fire screen should be replaced prior to using the fire place.
- 26** • The fireplace does not have damper stop installed. Damper stops are needed for fireplace burning hydrocarbon fuels to assure carbon monoxide fumes are vented out of the home.
- 27** • One or more flue vents are in contact with or does not have adequate clearance from combustibles. A minimum of 1" clearance is required per manufacturer instructions. Adjustment is needed to prevent possible safety hazards such as fire.

Porches, Balconies, Decks and Carports

Inspected, Deficient

- 28** • The concrete driveway and concrete walkway at the front of the home were observed to have the following defects: has settlement cracks and is uneven. Further deterioration can occur if not repaired. This condition is a tripping hazard.
- 29** • Fencing is old and deteriorated. Repairs should be made. A qualified contractor should be consulted regarding repair or replacement. This home has a pool. The pool/spa has not been protected from pedestrian traffic by an acceptable fence. Lack of an acceptable fence was observed to be a SAFETY HAZARD.

Other

Inspected, Deficient

- 30** • Evidence of possible active, previous activity and/or evidence of previous treatment of a wood-destroying insect was detected at the time of this inspection. Full evaluation of the amount of damage caused by the insects cannot be detected within the wall voids or other hidden areas without defacing the property and cannot be addressed in this inspection report. With the detection of active or previous activity of a wood destroying insect, it should be assumed that some degree of damage is present. A licensed pest control specialist should be consulted for further investigation of this condition.
- 31** • Excessive number of a wasp like insect was observed in various locations of the home. A qualified, verified, licensed pest control specialist should be consulted regarding this condition and possible treatment.
- 32** • There is evidence of possible vermin activity in the attic. A pest control specialist should be consulted regarding this condition.
- 33** • The enclosed pool equipment/storage room was observed to have been installed in a substandard manner or DIY project. Some components are in poor condition. Further deterioration can occur if not repaired. A fall or injury could occur if not corrected. This is a safety hazard condition. A qualified exterior contractor should be consulted regarding repairs.
- 34** • The garage was observed to have been converted into a living area. This work may or may not have been performed by a licensed contractor(s) with proper permits and code inspections, or conducted in a proper workmanship, etc. The inspector recommends verifying with the seller and local building authorities to determine if the work was done properly and conforms to the applicable building standards of the repairs.

Amateur or un-permitted work has the potential to conceal poor workmanship and/or hidden defects. The inspector recommends reviewing the municipal inspector records and permit information for this property prior to closing. They may contain information on upgrades, additions, renovations, change-outs, etc., which were not a part of the routine inspection process or were concealed at the time of the inspection.

II. ELECTRICAL SYSTEMS

Service Entrance and Panels

Inspected, Deficient

- 35
 - Proper clearance for the electrical enclosure is needed. The included diagram illustrates the proper clearances needed.
 - The heavy foliage at and around the main electrical panel should be trimmed back. This is a safety hazard condition.
- 36
 - Pointed screws were observed securing the deadfront to the electrical panel. Blunt tip screws designed for the the panel should be installed. This condition is a safety hazard.
- 37
 - Cables at breakers are white, an improper color code for these cables.
- 38
 - Some labels are present, but are illegible or confusing. Without proper labelling the inspector cannot determine the proper amperage for appliances such as the HVAC condensing unit(s). I recommend correcting for safety reasons.
- 39
 - Wasp's nest was observed in the panel. When debris is present, it is mostly likely due to excessive openings in the panel. Excessive openings should be sealed to prevent further intrusion into the panel. The panel enclosure may also need to be caulked at the wall, top and sides, while leaving the bottom open for moisture relief. Repairs should be made.
- 40
 - Cable was observed to have the sheathing cut back too far, over exposing the conductor. Sheathing should not be cut more than a 1/4" from the connection to the breaker.
- 41
 - Missing bushings to protect wiring were observed at the main panel enclosure. Bushings should be installed to prevent damage to the wiring.
- 42
 - Excessive openings were observed at the electrical panel. This condition is a safety hazard. These openings should be sealed or adjustments made to close them.
- 43
 - The main panel enclosure is loose on the wall. The enclosure should be properly secured.
- 44
 - The aluminum feeder wires are not coated with anti-oxidant paste to prevent corrosion.
- 45
 - Circuit breakers in main panel are of a different brand than panel manufacturer. The manufacturer requires that in order for the panel to be safe, only their brand is allowed to be used inside the panel. Even though these circuit breakers are all "UL approved," they are not approved to be used in panels of different manufacturers unless so indicated on the panel label.

Branch Circuits, Connected Devices, and Fixtures

Inspected, Deficient

- 46
 - Smoke detectors were observed to have the following defect: are not installed in all of the bedrooms. Smoke detectors are critical to occupant safety and should be repaired as needed. By current standards smoke detector are required in each sleeping area, in the vicinity outside the sleeping area, and one each inhabitable level of the home. Smoke detectors in newer homes are required to be hard wired to the electrical system, have battery backup, and be interlinked to activate all smoke detectors in the home if one is activated. All smoke detectors should have batteries replaced upon moving into the home. This ensures all batteries are new and in working order.
- 47
 - Numerous receptacles in required locations, kitchen countertops, kitchen island, bathrooms, exterior, garage and/or within six feet of a sink, are not ground fault circuit interrupt (GFCI) protected. This condition is a safety hazard that should be repaired.
- 48
 - Light fixtures at closets in various locations should have shade or globe installed. This condition is a potential fire hazard.

49

- Several receptacles at the rear porch were observed to have the following defect: not GFCI, over-spray and show to have an open ground when tested. Repairs should be performed by a qualified, verified, licensed electrician.
- 50 • Multiple receptacles in various locations were observed to have the following defect: show to have an open ground when tested. Repairs should be performed by a qualified, verified, licensed electrician.
- 51 • Several receptacle/switch in the attic were observed to have the following defect: have missing cover plates. Repairs should be performed by a qualified, verified, licensed electrician.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Cooling Equipment

Inspected, Deficient

- 52 • The HVAC equipment in the attic was observed to be sitting on improper material. Styrofoam may not provide adequate support and may affect equipment performance.

Duct Systems, Chases, and Vents

Inspected, Deficient

- 53 • HVAC flexible ducting should be hung and not left laying on the insulation and framing members. Ducts can sweat when in contact with other materials and or structural members. This can lead to organic microbial growth if not adjusted.

IV. PLUMBING SYSTEM

Plumbing Supply Distribution Systems and Fixtures

Inspected, Deficient

- 54 *KITCHEN*
 - Evidence of previous leaks were observed under the under the sink. While it could not be verified, there may be concealed damage to the underlying structure. We recommend evaluation, repairs and further investigations for additional defects by a licensed contractor.
 - Vegetable sprayer does not retract properly and can lead to cross contamination of clean, potable water and dirty, gray water. This is a potential safety hazard. Repair or replacement is needed.
 - The faucet at the sink was observed to have the following defect: loose at the counter top.
- 55 *HALL BATHROOM*
 - No visible leaks were observed.
 - The drain stop at the sink was observed to have the following defect: holding water when not engaged.
 - The faucet at the shower was observed to have the following defect: loose valve handle.
- 56 *MASTER BATHROOM*
 - The drain stop at the sink was observed to have the following defect: holding water when not engaged.
 - The fixture connection was observed to be slightly corroded. While not leaking at the time of inspection this condition should be monitored and qualified, verified, licensed plumber should be consulted regarding repair, if needed.
- 57 *ATTIC*
 - Water supply lines in the attic were observed to lack adequate insulation. Lack of insulation or inadequate insulation at water supply lines in the attic should be corrected to prevent water damage.

Water Heating Equipment

Inspected, Deficient

- 58 • Drain pan does not extend to exterior as required. Recommend repair to meet current standards.
- 59 • TPR discharge requirements are for the occupant safety and should be installed so as to drain by flow of gravity, not terminate more than 6 inches (152 mm) above the floor or waste receptor, discharge to a floor

drain, to an indirect waste receptor, or to the outdoors, piped independently of other equipment drains, water heater pans, or relief valve discharge piping to the point of discharge, discharge to a floor drain, to an indirect waste receptor, or to the outdoors, not have valves anywhere, not have tee fittings, not have a threaded connection at the end of the pipe so as to avoid capping, not be trapped, since standing water may become contaminated and backflow into the potable water, not be directly connected to the drainage system to prevent backflow of potentially contaminating the potable water and discharge pipe should be no smaller than 3/4-inch at any point.

V. APPLIANCES

Ranges, Cooktops and Ovens

Inspected, Deficient

- 60
- The cooktop electrical splice that is not placed in a box with cover. I recommend repair as needed.

Mechanical Exhaust Vents and Bathroom Heaters

Inspected, Deficient

- 61
- The laundry area does not have an exhaust fan. Laundry room without an operable window are required to have an exhaust fan vented to the exterior.
- 62
- The mechanical fan in the master bathroom was observed to be excessively dirty. Cleaning is recommended for proper function.

Dryer Exhaust Systems

Inspected, Deficient

- 63
- The dryer vent piping was observed to be the following defect(s): made of flexible vent duct at it passing through the wall.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.