

BP Inspections

1620 McFadden Rd Lake Jackson TX 77566
(979) 888-0272



This Professional Inspection Report Has Been Prepared Exclusively For:

*Shelly Wallace
119 Mobile Matagorda TX 77457*

Inspector: Burns Phillips TREC#21731

BP Inspections

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(979) 888-0272

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PROPERTY INSPECTION REPORT

Prepared For: Shelly Wallace 432-250-3220 shelly_wallace@ymail.com
(Name of Client)

Concerning: 119 Mobile, Matagorda, TX 77457
(Address or Other Identification of Inspected Property)

By: Burns Phillips TREC#21731 Dec 02, 2019
(Name and License Number of Inspector) (Date)

(Name, License Number and Signature of Sponsoring Inspector, if required)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.state.tx.us.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188, (512) 936-3000 (<http://www.trec.texas.gov>)

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST) [or other metal gas tubing or piping where requires].

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Property inspected was: Vacant
Real Estate Office: Crowned Eagle

Parties present at inspection:
Selling Agent: Mercer, Sheryl

Weather Condition at Time of Inspection

Weather Condition during inspection: Clear

Outside temperature at Arrival: 60°

Outside temperature at Departure: 60°

Cost of inspection services: \$375.00

paid at: Pending

Important Limitations and Disclaimers

This Property Inspection Report reports on only the items listed and only on the current condition of those items as of the date of inspection. This report reflects only if the items inspected are observed to be "operable" or "inoperable" at the time of inspection; that is whether such items are observed to serve the purpose for which they are ordinarily intended, at this time. This report reflects only those items that are reasonably observable at the time of inspection. NO REPRESENTATION OR COMMENT is made concerning any latent defect or defects not reasonably observable at the time of the inspection or of items which require the removal of major or permanent coverings. For example, but without limitation, recent repairs, painting or covering may conceal prior or present leak damage which is not reasonably observable by the inspector and no representation or comment can be made. NO REPRESENTATION IS MADE CONCERNING ANY OTHER CONDITION OR THE FUTURE PERFORMANCE OF ANY ITEM. NO REPRESENTATION IS MADE AS TO ITEMS NOT SPECIFICALLY COMMENTED UPON. ALL WARRANTIES, EXPRESSED OR IMPLIED, NOT SPECIFICALLY STATED HEREIN ARE EXCLUDED AND DISCLAIMED. If a comment is made concerning the condition of any item, the Client is URGED to contact a qualified SPECIALIST to make further inspections or evaluations of that item. Client must notify BP Inspections in writing of any complaints within seven (7) days of the date of inspection and must thereafter allow prompt re-inspection of the item in question. Otherwise, all claims for damages arising out of such complaint are waived by Client. If Client institutes any legal action concerning this inspection, and fails to prevail on all causes of action alleged, Client shall be liable to BP Inspections for all of its attorney's fees incurred in such action. Actual damages for any breach of contract or warranty, negligence or otherwise are limited to the amount of the inspection fee paid. The Client, by accepting this Report or relying upon it in any way, expressly agrees to these Limitations and Disclaimers.

For more information concerning your rights, contact the Consumer Protection Division of the Attorney General's Office, your local District or County Attorney, or the attorney of your choice.

I FULLY and COMPLETELY understand that this inspection is not a warranty or guarantee. This inspection is essentially visual, it is not technically exhaustive, and it does not imply that every defect will be discovered. It is only a statement of opinion and/or condition as of and on this date.

CLIENT SIGNATURE: _____ DATE: _____

INSPECTED BY: Burns Phillips TREC#21731

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Pier and beam

Comments:

Performance Opinion:

At this time, the foundation appears to be supporting the structure and immediate significant repair needs are not evident.

Additional Notes

B. Grading and Drainage

Comments: Performing as intended.

Drainage: Adequate

Additional Notes:

C. Roof Covering Materials

Type(s) of Roof Covering: Comp shingles

Viewed From: Roof surface

Comments: Installed correctly and performing as intended.

Condition: Showing normal ware for age. Has aprox 7 yrs life left.

Note: This inspection does not warrant against future roof leaks.

Additional Notes: (This inspector is not a roofing expert. Client should have a roofing company inspect the roof for further evaluation if the Client so chooses)

D. Roof Structure and Attics

Viewed From: Attic

Comments: Continuity is present throughout.

Approximate Average Thickness of Vertical Insulation: 8in Current recommended R-Value calls for 16 in blown.

Attic Ventilation Type: Ridge and soffit

Attic

Attic Insulation: Blown

Roof

Ventilation observed to be adequate.

Additional Notes:

E. Walls (Interior and Exterior)

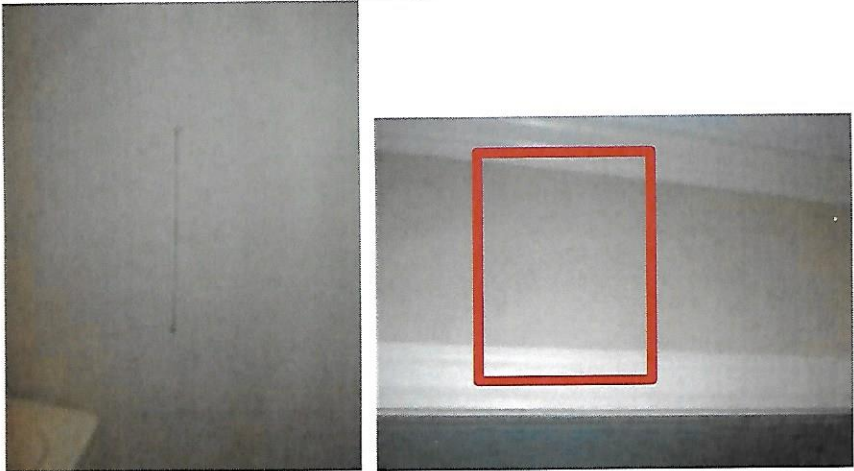
Comments:

Prevalent exterior siding: Hard board

Interior Wall: Minor settlement cracks and cosmetic damage noted.

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I	NI	NP	D
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Exterior Wall Fresh caulking needed.

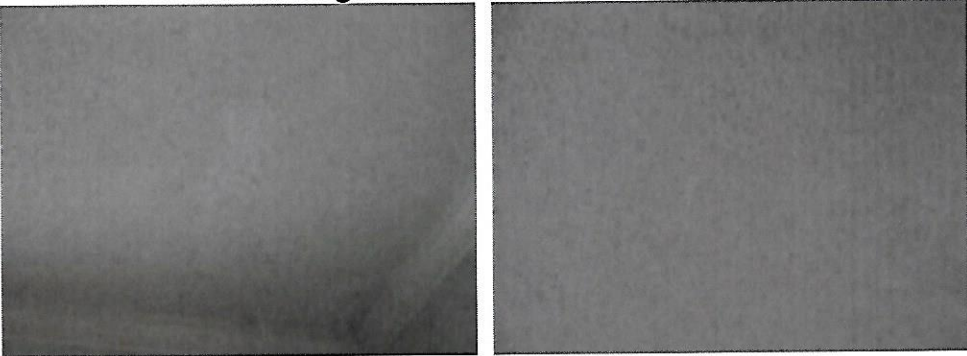
Additional Notes:

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-
-
-

F. Ceilings and Floors

Comments:

Ceilings: Previous repairs noted.



Floors: Paint worn off floors in multiple areas. Carpet on stairs is worn and loose.



Additional Notes:

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G. Doors (Interior and Exterior)

Comments:

Interior: Fasteners missing from hinge.



Exterior: Storm doors are damaged. Some cosmetic damage to trim.



Garage Door: No defects noted.

Additional Notes:

H. Windows

Comments: All operational

Screens: Some damaged.

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I	NI	NP	D
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Additional Notes:

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I. Stairways (Interior and Exterior)

Comments: Baluster spacing at staircase guardrail is greater than the allowable 4" maximum.



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-
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J. Fireplace and Chimneys

Comments:

Additional Notes:

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K. Porches, Balconies, Decks, and Carports

Comments: Performing as intended.

Note: Structural load capabilities were not inspected

Additional Notes:

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-
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L. Other

Comments:

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I	NI	NP	D
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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments: Main with one sub.

Main panel location: Main on exterior wall with sub inside.

Panel Condition: Inadequate panel labeling



Type of wiring: Copper

ARC Fault (Refer to OP-I form)

ARC Outlet location(s): None installed

Grounding Electrode present: Yes

Note: All systems in the house could not be verified for bonding.

Additional Notes:

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments: Noted on junction box with cover missing.



Receptacle Type:

3 prong

Ground Fault Circuit Interrupter (GFCI) (Refer to OP-I form)

GFCI Outlets are installed and operational.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Additional Notes:

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I NI NP D

III. HEATING, VENTING, AND AIR-CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Forced air 2 Units

Energy Sources: Electric

Comments: Installed correctly and performing as intended.

Normal Δ range 30° - 50°

Additional Notes:

B. Cooling Equipment

Type of System: Split central

Comments: 2 units. Installed correctly. Both exterior units are showing weather damage on casing. This is typical with location of home. This is not affecting operation.



Air conditioning unit(s) were inspected but were not operated since the ambient temperature is below 60°F

Normal Δ range 15° - 21°

Additional Notes:

Due to defects observed, recommend service by qualified H.V.A.C Service Company
Note: RECOMMEND MAINTENANCE AND SERVICE PRIOR TO USE.

C. Duct Systems, Chases and Vents

Comments: Duct run has been terminated in attic. Does not appear to be affecting home air flow, but it is not typical.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Additional Notes:

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IV. PLUMBING SYSTEM

A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: Back of lot.

Location of main water supply valve: Rear of home



Static water pressure reading: 50 PSI

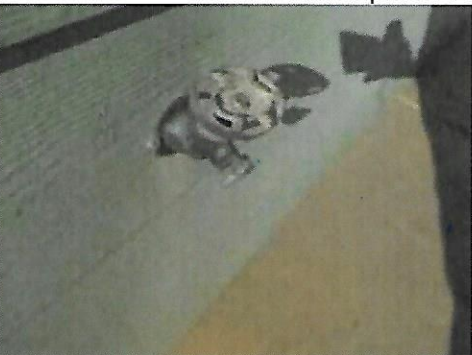
Comments: Faucet in bathroom off of garage is leaking around handle.



Note: Water pressure reported was a cursory test, the pressure can vary throughout the day.

Type of supply lines: PVC

Anti Siphon / Back Flow / Air Gap(s): Not installed on all exterior hose bibs.



Fixture Shut Off Valves: All in place

Additional Notes:

B. Drain, Wastes and Vents

Comments: Operational

Type of waste lines: PVC

Additional Notes:

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C. Water Heating Equipment

Energy Source: Electric

Capacity: 40 gal

Comments: Operational

(Refer to OP-I form)

Unit 1:

Location: Garage

Safety Pan and Drain Installed: No



Temperature & Relief Valve (TPR): Not piped to drain pan or exterior.



Additional Notes:

D. Hydro-Massage Therapy Equipment

Comments: Operational

GFCI condition: Unknown. GFCI Reset Location: Unknown

Underside of tub not readily accessible.