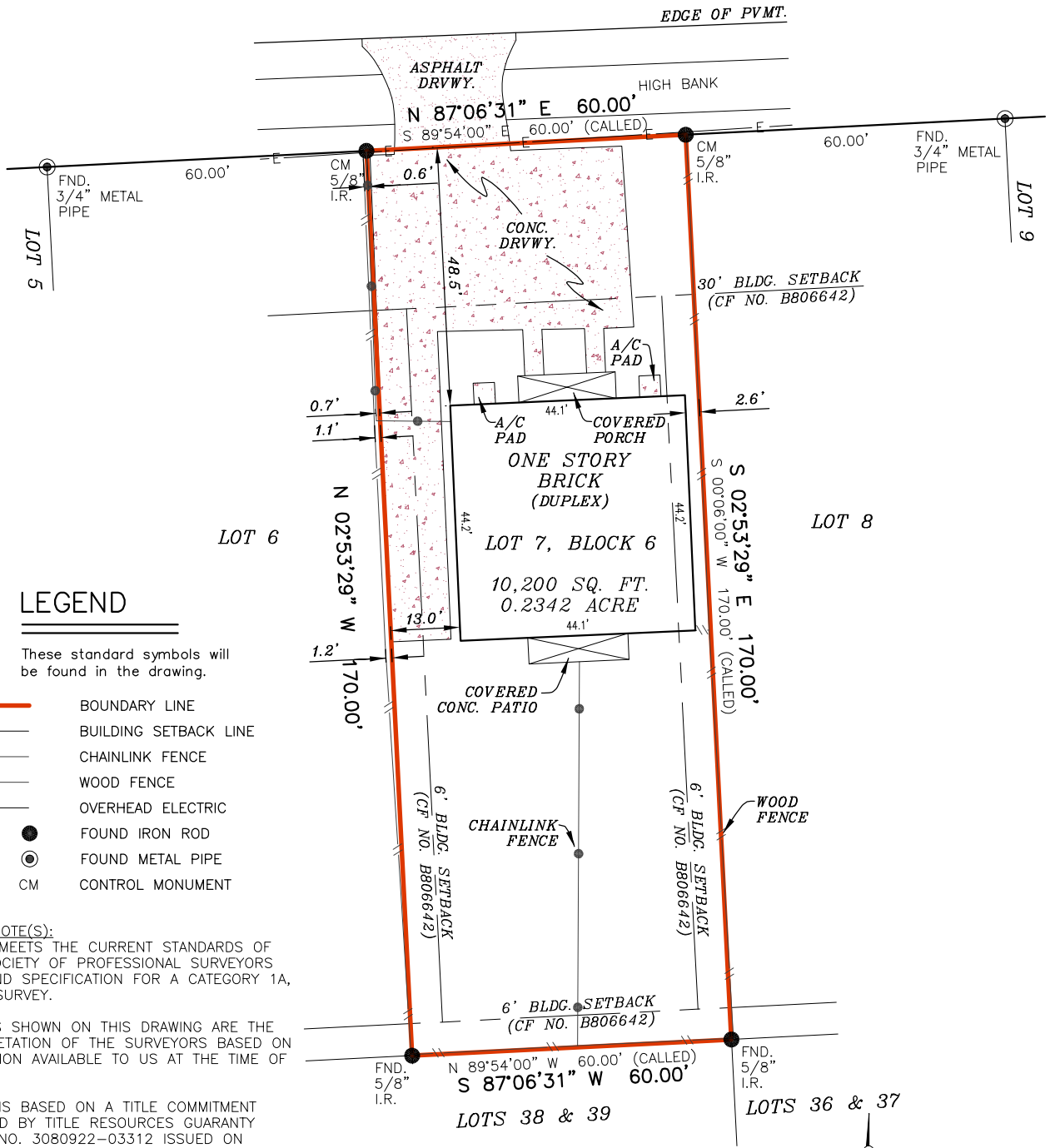


# WESTFORD AVE.

(60' R.O.W. - PER PLAT)



## LEGEND

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- BUILDING SETBACK LINE
- CHAINLINK FENCE
- WOOD FENCE
- OVERHEAD ELECTRIC
- FOUND IRON ROD
- FOUND METAL PIPE
- CONTROL MONUMENT

### SURVEYOR'S NOTE(S):

THIS SURVEY MEETS THE CURRENT STANDARDS OF THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATION FOR A CATEGORY 1A, CONDITION II SURVEY.

THE SETBACKS SHOWN ON THIS DRAWING ARE THE BEST INTERPRETATION OF THE SURVEYORS BASED ON THE INFORMATION AVAILABLE TO US AT THE TIME OF THE DRAWING.

THIS SURVEY IS BASED ON A TITLE COMMITMENT REPORT ISSUED BY TITLE RESOURCES GUARANTY COMPANY GF NO. 3080922-03312 ISSUED ON 09/19/22.

BASIS OF BEARINGS, TEXAS SOUTH CENTRAL NAD 83.

FLOOD INFORMATION  
FIRM: 48201C PANEL: 0680 L  
REV. DATE: 06/18/2007  
ZONE: "X"

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS, THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.

I, RODRIC R REESE, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to AMERICAN TITLE COMPANY OF HOUSTON and TEXAS RE INVESTMENTS LLC

that the above map is true and correct according to an actual field survey, made by me or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no apparent visible encroachments, no apparent visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, as of the date of the field survey.

Borrower/Owner: TEXAS RE INVESTMENTS LLC  
Address: 828 WESTFORD ST., HOUSTON, TX 77022 GF No. 3080922-03312

### Legal Description of the Land:

Lot Seven (7), in Block Six (6), of BEVERLY PLACE, an addition in Harris County, Texas according to the map or plat thereof, recorded in Volume 13, Page 14 of the Map Records of Harris County, Texas.

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: VOLUME 13, PAGE 14, MAP RECORDS, HARRIS COUNTY, TEXAS CLERK'S FILE NO. B806642, OFFICIAL PUBLIC RECORDS, HARRIS COUNTY, TEXAS

PROPERTY PHOTOGRAPH:



## LAND TITLE SURVEY

|              |            |     |          |      |
|--------------|------------|-----|----------|------|
| JOB NO.:     | 2210037185 | NO. | REVISION | DATE |
| DATE:        | 11/22/22   |     |          |      |
| DRAWN BY:    | HD/DBT     |     |          |      |
| APPROVED BY: | RRR        |     |          |      |



FIRM REGISTRATION NO. 10190700  
THIS SURVEY IS CONTRACTED TO RODRIC R REESE, RPLS  
PHONE NUMBER 713-647-1315

RODRIC R REESE, R.P.L.S.  
Registered Professional Land Surveyor  
Registration No. 5883

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**Overland Consortium Inc. Surveyors**

Tel: 281-940-8869 Fax: 281-207-6476

999 E. BASSE ROAD, SUITE 180 BOX 521, SAN ANTONIO, TEXAS 78212

## GRAPHIC SCALE

