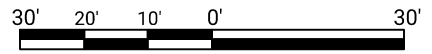


ADDRESS: 3523 TERRACE LANDING COURT

AREA: 7,946 S.F. ~ 0.18 ACRES

PLAT NO. 20210010

MFE: 75.29'



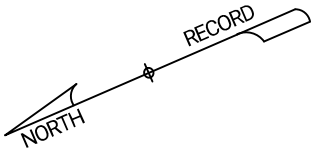
GRAPHIC SCALE: 1" = 30'

DRAINAGE TYPE: "A"

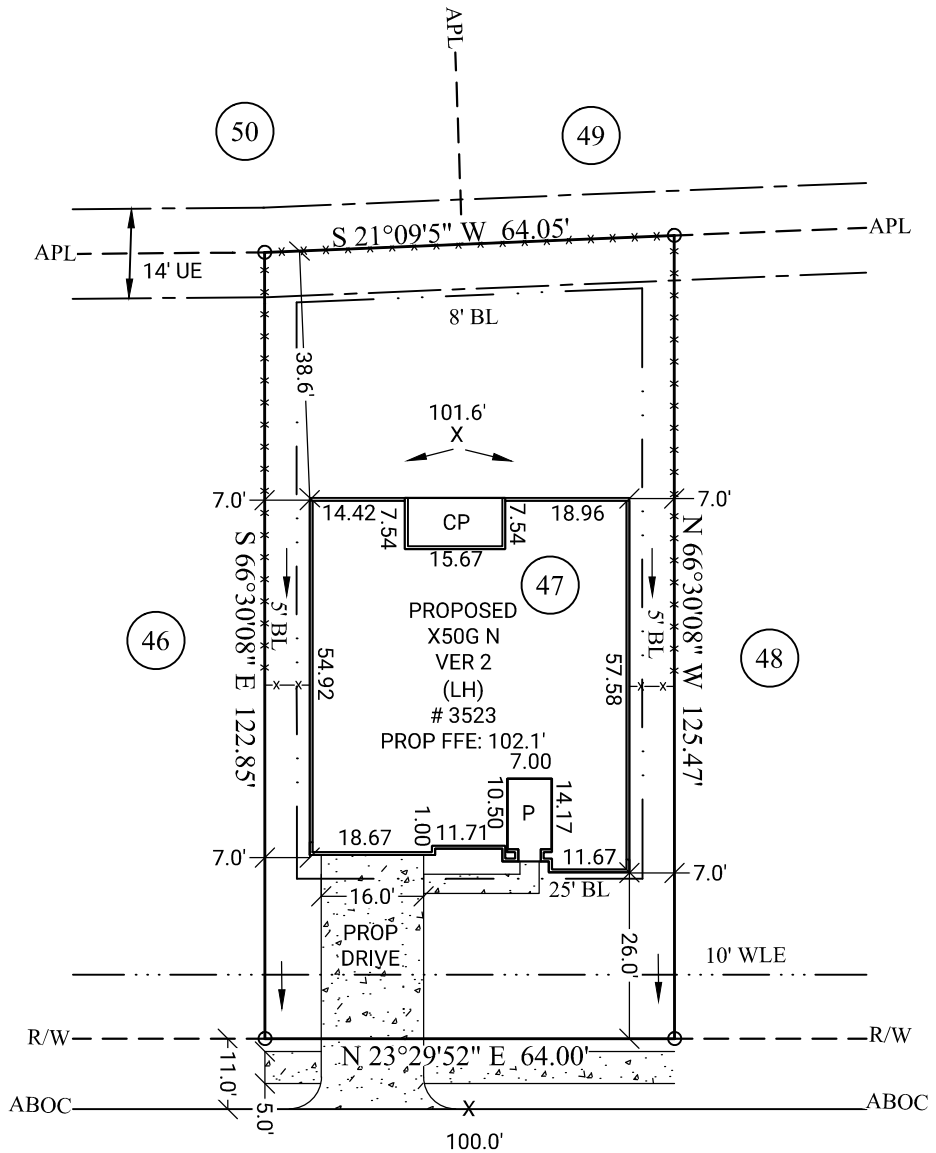
TOTAL FENCE	216 LF
FRONT	14 LF
LEFT	68 LF
RIGHT	70 LF
REAR	64 LF

AREAS	
LOT AREA	7,946 SF
SLAB	2,820 SF
LOT COVERAGE	35 %
INTURN	187 SF
DRIVEWAY	459 SF
PUBLIC WALK	240 SF
PRIVATE WALK	60 SF
REAR YARD AREA	327.8 SY
FRONT YARD AREA	214.9 SY

OPTIONS:	
4 SIDES BRICK	
COVERED PATIO	
FRAMING, FOUNDATION, & ROOF	
RAFTER DETAILS	



- LEGEND**
- BL Building Line
 - APL Approximate Property Line
 - ABOC Approximate Back of Curb
 - R/W Right of Way
 - N/F Now or Formerly
 - SM Sewer Manhole
 - CI Curb Inlet
 - UE Utility Easement
 - DE Drainage Easement
 - SSE Sanitary Sewer Easement
 - WLE Water Line Easement
 - STMSE Storm Sewer Easement
 - PROP Proposed
 - MFE Minimum Finished Floor Elevation
 - FFE Finished Floor Elevation
 - GFE Garage Floor Elevation
 - P Porch
 - CP Covered Patio
 - PAT Patio
 - S Stoop
 - CONC Concrete
 - X- Fence
 - TOF Top of Forms
 - RBF Rebar Found
 - RBS Rebar Set



**TERRACE LANDING COURT
50' PUBLIC R/W**

NOTE: BASE ELEVATION IS ASSUMED.
(FOR REFERENCE ONLY)

NOTE: PLOT PLAN PREPARED WITHOUT BENEFIT OF TITLE.

GENERAL NOTES: No field work has been performed. This property is subject to additional easements or restrictions of record. Carter & Clark Surveyors is unable to warrant the accuracy of boundary information, structures, easements, and buffers that are illustrated on the subdivision plat. Utility easement has not been field verified by surveyor. contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. City sidewalks, driveway approaches, and other improvements inside the city's right of way are provided for demonstration purposes only. consult the development plans for actual construction. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

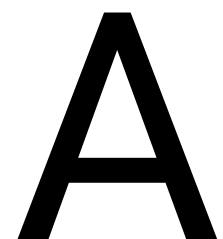
SUB: Parks Edge SEC: 11
 LOT: 47 BL: 2

City of Missouri City, Fort Bend County,
 Texas

PLOT PLAN FOR:
D·R·HORTON
America's Builder

CARTER + CLARK
 SURVEYORS ■ PLANNERS ■ ENGINEERS

3090 Premiere Parkway, Suite 600
 Duluth, GA 30097
 866.637.1048
 www.carterandclark.com
 FIRM LICENSE: 10193759



ORDER DATE: 02/26/2022
 20220211949 DRH_HTX_S FC: N/A