

LEGEND:

- E— OVERHEAD ELECTRIC LINES
- W— WOOD FENCE
- COVERED CONCRETE
- CONCRETE
- — SERVICE POLE
- — TELEPHONE PEDESTAL
- ⊞ — WATER METER
- IRF — IRON ROD FOUND
- CIRS — CAPPED IRON ROD SET
- IPF — IRON PIPE FOUND
- PFB — PORTABLE FRAME BUILDING
- F.I.R.M. — FLOOD INSURANCE RATE MAP
- S.B — STORAGE BUILDING
- AC — AIR CONDITIONER
- P.E. — POOL EQUIPMENT
- OPRLC — OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY
- POB — POINT OF BEGINNING
- DRLC — DEED RECORDS LIBERTY COUNTY

LEGAL DESCRIPTION 0.3592 ACRES
EAST LIBERTY TOWN LEAGUE, ABSTRACT NO. 359
LIBERTY COUNTY, TEXAS

BEING A TRACT OR PARCEL CONTAINING 0.3592 ACRES (15,645 SQUARE FEET) OF LAND IN THE EAST LIBERTY TOWN LEAGUE, ABSTRACT NO. 359, IN LIBERTY COUNTY, TEXAS, BEING OUT OF LOT 1, OUTER BLOCK 2 OF THE CITY OF LIBERTY, LIBERTY COUNTY, TEXAS, BEING ALL OF A CALLED 0.322 ACRE TRACT CONVEYED TO RANDY L. MAXEY AND WIFE KESHIA DAWN MAXEY DESCRIBED IN CLERKS FILE NO. 2015-017870 OF THE OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY, AND BEING ALL OF A 0.038 ACRE TRACT DESCRIBED IN A BOUNDARY LINE AGREEMENT RECORDED IN VOLUME 1443, PAGE 823 OF THE OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY, SAID 0.3592 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS. THE BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83:

BEGINNING AT A 1 INCH IRON PIPE FOUND IN THE SOUTH LINE OF HOLLY AVE. (50 FOOT RIGHT OF WAY) BEING THE NORTHWEST CORNER OF THE JOHN AND VALERIE WELPS CALLED 0.3788 ACRE TRACT DESCRIBED IN VOLUME 1524, PAGE 150 OF THE OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY, BEING THE NORTHEAST CORNER OF SAID 0.322 ACRES AND BEING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE SOUTH 02 DEGREES 41 MINUTES 34 SECONDS EAST, ALONG THE WEST LINE OF SAID JOHN AND VALERIE WELPS CALLED 0.3788 ACRE TRACT, A DISTANCE OF 164.33 FEET TO A 5/8 INCH CAPPED IRON ROD SET FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE SOUTH 87 DEGREES 00 MINUTES 00 SECONDS WEST, ALONG THE NORTH LINE OF THE BRENDA J. WALLACE CALLED 0.322 ACRE TRACT DESCRIBED IN CLERKS FILE NO. 2020-007827 OF THE OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY, PASS AT 84.74 FEET A 5/8 INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID 0.322 ACRES AND THE SOUTHEAST CORNER OF SAID 0.038 ACRE TRACT DESCRIBED IN SAID BOUNDARY LINE AGREEMENT, IN ALL A DISTANCE OF 94.74 FEET TO A 5/8 INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID 0.038 ACRES AND THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 02 DEGREES 51 MINUTES 44 SECONDS WEST, ALONG THE EAST LINE OF THE HEATHER AND DANNY REED CALLED 0.4356 ACRE TRACT DESCRIBED IN CLERKS FILE NO. 2009-005990 OF THE OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY, A DISTANCE OF 165.11 FEET TO A 5/8 INCH IRON ROD FOUND IN THE SOUTH LINE OF SAID HOLLY AVE. FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 87 DEGREES 28 MINUTES 13 SECONDS EAST, ALONG THE SOUTH LINE OF SAID HOLLY AVE., PASS AT 10.18 FEET THE NORTHWEST CORNER OF SAID 0.322 ACRES, IN ALL A DISTANCE OF 95.23 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.3592 ACRES OF LAND, MORE OR LESS.

NOTES:

1. THE BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83.
2. SURVEYOR DID NOT ABSTRACT PROPERTY. SURVEY BASED ON LEGAL DESCRIPTIONS SUPPLIED BY TITLE COMPANY. EASEMENTS, BUILDING LINES, ETC., SHOWN ARE AS IDENTIFIED BY GF NO. 2020088791-LP OF TARVER ABSTRACT COMPANY.
3. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
4. THE WORD CERTIFY IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL JUDGMENT BY THE SURVEYOR, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF.
5. SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY.
6. THE FINDINGS AND OPINIONS OF WELLS LAND SURVEY, LLC REFLECTED HEREON ARE PRIVILEGED, CONFIDENTIAL AND INTENDED FOR THE USE OF THE INDIVIDUAL OR ENTITY FOR WHOM THIS WORK WAS PREPARED, IT IS UNDERSTOOD THAT THE USE OF, RELIANCE ON, OR REPRODUCTION OF SAME, IN WHOLE OR IN PART, BY OTHERS WITHOUT THE EXPRESS WRITTEN CONSENT OF WELLS LAND SURVEY, LLC IS PROHIBITED AND WITHOUT WARRANTY, EXPRESS OR IMPLIED. WELLS LAND SURVEY, LLC SHALL BE HELD HARMLESS AGAINST DAMAGES OR EXPENSES RESULTING FROM SUCH UNAUTHORIZED USE, RELIANCE OF REPRODUCTION. COPYRIGHT 2020. ALL RIGHTS RESERVED.

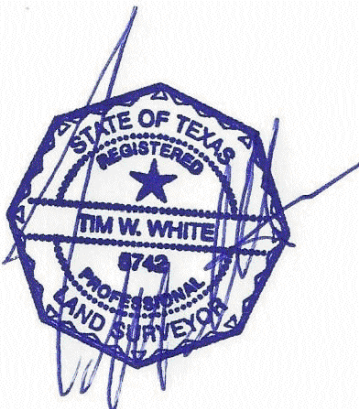
PROPERTY LIES WITHIN FLOOD ZONE 'X-SHADED', ACCORDING TO F.I.R.M. NO. 48291C0435D, DATED JAN. 19, 2018, BY GRAPHIC PLOTTING ONLY, WELLS LAND SURVEY DOES NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION. BEFORE ANY DEVELOPMENT PLANNING, DESIGN, OR CONSTRUCTION IS STARTED, THE COMMUNITY, CITY, AND COUNTY IN WHICH SUBJECT TRACT EXISTS SHOULD BE CONTACTED, SAID ENTITIES MAY IMPOSE GREATER FLOOD PLAIN AND FLOODWAY RESTRICTIONS THAN SHOWN BY THE F.I.R.M. THAT MAY AFFECT DEVELOPMENT.

SURVEY OF

BEING A TRACT OR PARCEL CONTAINING 0.3592 ACRES (15,645 SQUARE FEET) OF LAND IN THE EAST LIBERTY TOWN LEAGUE, ABSTRACT NO. 359, IN LIBERTY COUNTY, TEXAS, BEING OUT OF LOT 1, OUTER BLOCK 2 OF THE CITY OF LIBERTY, LIBERTY COUNTY, TEXAS, BEING ALL OF A CALLED 0.322 ACRE TRACT CONVEYED TO RANDY L. MAXEY AND WIFE KESHIA DAWN MAXEY DESCRIBED IN CLERKS FILE NO. 2015-017870 OF THE OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY, AND BEING ALL OF A 0.038 ACRE TRACT DESCRIBED IN A BOUNDARY LINE AGREEMENT RECORDED IN VOLUME 1443, PAGE 823 OF THE OFFICIAL PUBLIC RECORDS OF LIBERTY COUNTY.

SURVEYOR'S CERTIFICATION

TO: TARVER ABSTRACT COMPANY AND RANDY L. MAXEY, EXCLUSIVELY:
I, TIM W. WHITE, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT REPRESENTS A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION ON OCTOBER 08, 2020. AT THE TIME OF THIS SURVEY THERE WERE NO APPARENT DISCREPANCIES, SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHTS OF WAY, THAT I AM AWARE OF EXCEPT AS SHOWN HEREON, AND THAT SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY. PROPERTY IS SUBJECT TO ALL CITY ORDINANCES AND SUBDIVISION COVENANTS, CONDITIONS AND RESTRICTIONS THAT MAY APPLY.



THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY.

Tim Wells White, Registered Professional Land Surveyor No. 5742

ADDRESS: 1512 HOLLY ST. LIBERTY, TX 77575		BUYER: RANDY L. MAXEY	
		TBPLS LICENSE # 10193901	
		712 F.M. 562 ANAHUAC, TX 77514 (409) 267-3002	
www.wellslandsurvey.com			
JOB NO: 632-20		DATE: 10-08-20	
DRAWN BY: AL		SCALE: 1" = 30'	