



Smith Group Property Inspections

Property Inspection Report



12223 Kingslake Forest Dr, Houston, TX 77044
Inspection prepared for: Edwin Jimenez

Date of Inspection: 04/05/2023 Time: 8:00AM
Age of Home: 1980 Size: 1248 sqft

Inspector: Brian Smith
License: #24130

13414 Hartland Lake Lane, Houston TX
Phone: 281-734-3118
Email: smith.inspections@outlook.com
www.getyourhouseinspected.com



Smith Group Property Inspections

PROPERTY INSPECTION REPORT FORM

Name of Client: Edwin Jimenez

Date of Inspection: 2023-04-05

Address of Inspected Property: 12223 Kingslake Forest Dr Houston, TX 77044

Name of Inspector: Brian Smith

TREC License #: 24130

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- * use this Property Inspection Report form for the inspection;
- * inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- * indicate whether each item was inspected, not inspected, or not present;
- * indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component OR constitutes a hazard to life, limb or property as specified by the SOPs; and
- * explain the inspectors findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- * identify all potential hazards;
- * turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- * climb over obstacles, move furnishings or stored items;
- * prioritize or emphasize the importance of one deficiency over another;
- * provide follow-up services to verify that proper repairs have been made; or
- * inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- * a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- * an inspection to verify compliance with any building codes;
- * an inspection to verify compliance with manufacturers installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.



NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- * malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- * ordinary glass in locations where modern construction techniques call for safety glass;
- * malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- * malfunctioning carbon monoxide alarms;
- * excessive spacing between balusters on stairways and porches;
- * improperly installed appliances;
- * improperly installed or defective safety devices;
- * lack of electrical bonding and grounding; and
- * lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

We appreciate the opportunity to conduct this inspection for you!

Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process. Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects.

Note that all appliances are tested in a normal mode only for a limited time for proper operation at time of inspection. Appliances 10 years of age or older have a limited life and could fail at any time. If there are



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

ADDITIONAL INFORMATION: (continued)

concerns about appliances we recommend that you have them checked by a specialist for condition and possible life expectancy of the appliance.

Exterior Notes:

Proper drainage and soil moisture contents should be maintained around the foundation to help minimize future foundation problems. Underground drainage systems are not inspected. These should be maintained for proper drainage. Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. More damage has probably resulted from moisture and expansive soils than from most natural disasters. Also, there should be gutters and downspouts with splash blocks that discharge away from the building. In the past, we have discovered evidence of moisture intrusion inside structures when it was raining that would not have been apparent otherwise. Minor settlement or hairline cracks in drives, walks or even foundations are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary. Also tripping hazards may occur from uneven or gaps in pavement, this should be addressed as needed.

As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing the deal. Note that most roofs are walked by inspector. However some roofs may not be walked due to conditions existing which could be dangerous to the inspector, such as too high, or too steep a roofing pitch. Rain could make the surfaces of the roof too slippery to walk on safely. This may require the roof to be observed from lower portions of the roof, the edge of the roof or with a drone. As such, our inspection may be considered a limited inspection with observations and conclusions drawn from what was visible using a limited view of the roofing materials.

Note that any siding, but especially composition or hardboard siding must be closely monitored. A classic example is the older style Louisiana Pacific siding, where the failure and deterioration provided grounds for a class action lawsuit. Even modern composition siding and, especially, trim, is particularly vulnerable to moisture damage. All seams must remain sealed and paint must be applied periodically (especially the lower courses at ground level). It is imperative that continued moisture be kept from it, especially from sprinklers, rain splash back or wet grass. Swelling and deterioration may otherwise result.

Vegetation too close to the home can contribute to damage through root damage to the foundation, branches abrading the roof and siding, and leaves providing a pathway for moisture and insects into the home. Although rails are not required around drop-offs less than 30, consider your own personal needs and those of your family and guests. By today's standards, spindles at decks and steps should be spaced no more than 4 apart for the safety of children.

Interior Notes:

Interior areas consist of bedrooms, baths, kitchen, laundry, hallways, foyer, and other open areas. All exposed walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Although excluded from inspection requirements, we will inform you of obvious broken gas seals in windows. Please realize that they are not always visible, due to temperature, humidity, window coverings, light source, etc. Your inspection will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas, as the inspector may not move personal items.

Client: Edwin Jimenez



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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I NI NP D

ADDITIONAL INFORMATION: (continued)

Note that cosmetic settlement cracks may not be noted in the report.

Electrical Notes:

Note that only accessible GFCI outlets are tested and tripped. Some baths may have non-GFCI outlets which are protected by a GFCI outlet in a remote area (garage, another bath, etc.). Also, note that most electricians agree that smoke detectors are good for about 5 years, and the breakers in your panel box have an expected life of about 20 years. Therefore, if this home was built more than 20 years previous, consider having the panel box and breakers evaluated by a licensed electrician, as an overheated breaker can result in a structural fire. If your home does not have a carbon monoxide detector (few do!), we recommend making that investment. Any home that has a Bulldog Pushmatic, Sylvania, Zinsco or Federal Pacific Electric panel should have it evaluated by a licensed electrician, as these older types of panels and breakers have been known to overheat and cause house fires. Unable to inspect underground services.

Heating & Air Conditioning Notes:

The heating, ventilation, air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood. The inspector will test the heating and air conditioner using the thermostat or other controls. Units are not inspected for cleanliness and/or rust. Recommend proper maintenance of the unit and filter. Units are not inspected for proper size or efficiency. A more thorough investigation of the system, including the heat (firebox) exchanger, should be conducted by a licensed HVAC service person every year. Failure to do so may result in carbon monoxide escaping through cracks in a heat exchanger or flue pipe, resulting in death.

Plumbing Notes:

Bathrooms can consist of many features from hydro therapy tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring. Unable to test washer utility drains when appliances are connected. Sink and tub overflow drains are not tested for leaks during inspection. Water heaters are not tested for recovery rates or temperature. If a large tub is present recommend buyer test volume of hot water to tub. A 40 gallon water heater may not supply enough hot water to larger tubs. Ice maker lines are not tested.

Optional Devices Notes:

Sprinkler controls tested in manual mode only. Sprinkler rain/anti-freeze sensor is not tested. Pool checked in manual mode only. Pools shell is a visual inspection only. Pool coatings are considered cosmetic and may not be noted unless conditions are severe. Ancillary equipment such as computer controls, chlorinators or other chemical dispensers, water ionization devices or conditioners are not inspected.

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Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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I NI NP D

I. STRUCTURAL SYSTEMS

☒☐☐☒ A. Foundations

Type of Foundation(s): Post Tension

Comments: Slab-on-Grade

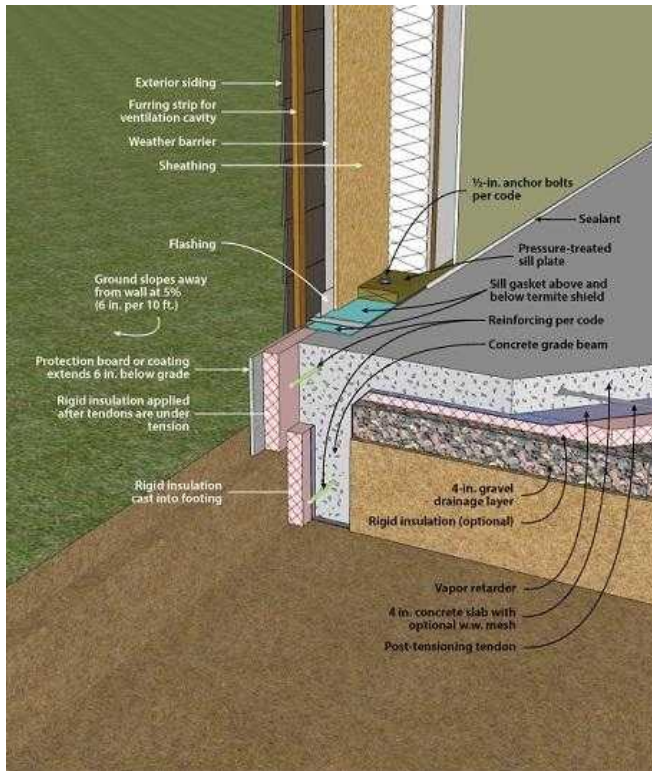
1. Corner fractures were noted on the corner(s) of the foundation, these are usually considered cosmetic nature unless other movement is noted.

Recommend sealing all cracks to help prevent further deterioration.

2. Tensioning cables exposed at foundation in multiple locations.

Exposed tensioning cables can possibly allow moisture / pest intrusion.

Correction recommended by qualified contractor.



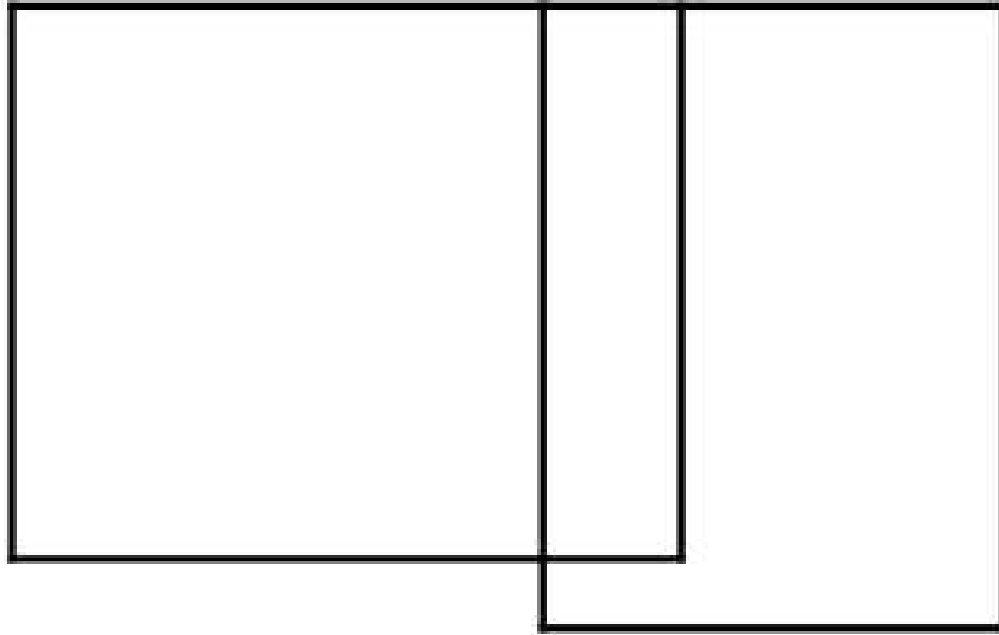
Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected **NI=Not Inspected** **NP=Not Present** **D=Deficient**

I NI NP D

A. Foundations (continued)



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Foundations (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Foundations (continued)



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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I NI NP D

A. Foundations (continued)



Foundation Opinion: In my professional opinion - the foundation is supporting the structure properly at this time.

Client: Edwin Jimenez



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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I NI NP D

B. Grading and Drainage

Comments: Moderate slope,
Soil / mulch too high at foundation (multiple).

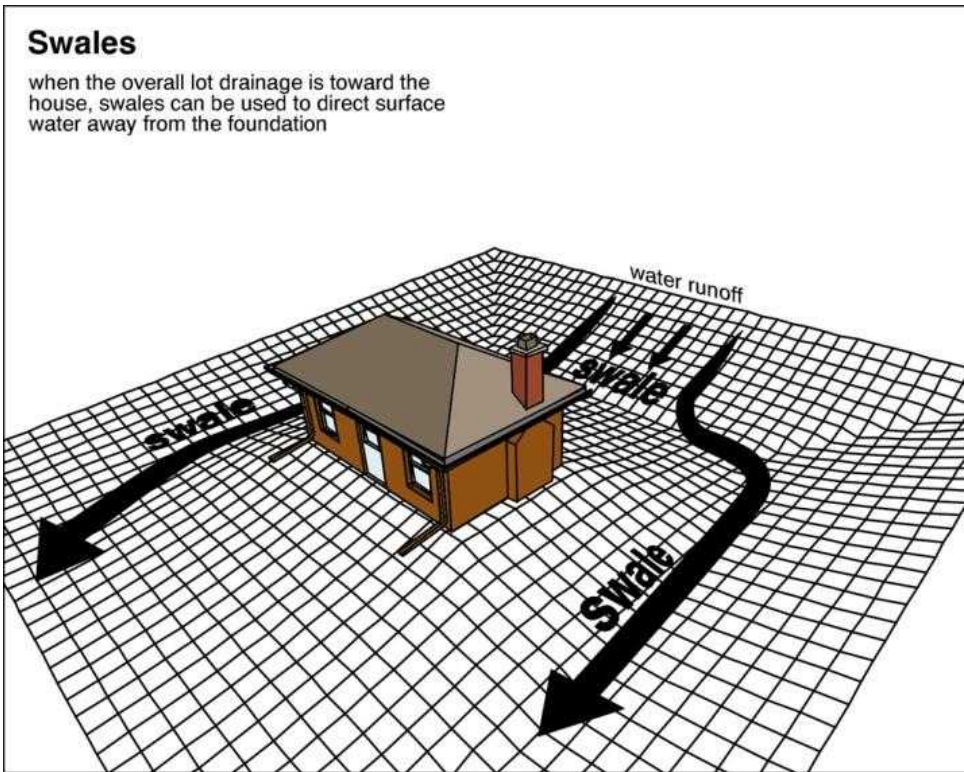
Soil (or mulch) too high at foundation can potentially promote pest intrusion.

It is recommended that at least 4 of foundation be visible.

Correction recommended by qualified contractor.

1. Seller disclosed prior termite infestation / treatment.

Recommend having any documentation from seller disclosing the treatment.



Client: Edwin Jimenez

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I NI NP D

B. Grading and Drainage (continued)





Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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C. Roof Covering Materials

Types of Roof Covering: Gable
Viewed from: Ground level with drone
Comments: Asphalt shingle

1. Observed missing / damaged shingles and prior repair.

Further evaluation and correction recommended by a qualified contractor.

2. Observed unpainted roof vents.

Roof vents should be painted to minimize UV damage to PVC vents

Correction recommended by qualified contractor

3. Observed missing saddle / cricket at chimney and roof interface.

Correction recommended by a qualified contractor to prevent water intrusion.



Client: Edwin Jimenez

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I NI NP D

C. Roof Covering Materials (continued)



Client: Edwin Jimenez



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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I NI NP D

C. Roof Covering Materials (continued)



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I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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C. Roof Covering Materials (continued)





Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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C. Roof Covering Materials (continued)



D. Roof Structures and Attics

Viewed from: In the attic

Approximate Average Depth of Insulation: 6 or less

Comments: Rafter

- 1. Observed damaged attic access ladder - safety item

Correction recommended by qualified contractor ,

- 2. Insufficient insulation observed in attic.

Proper insulation recommended for optimal HVAC efficiency.

Correction recommended by qualified contractor

Client: Edwin Jimenez

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D. Roof Structures and Attics (continued)





Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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E. Walls (Interior and Exterior)

Comments: Drywall / Brick / Wood,

1. Observed missing sealant at wall interface with multiple fixtures (not weathertight).

Correction recommended by qualified contractor to minimize possible moisture / pest intrusion

2. Damaged wall covering (exterior) observed.

Correction recommended to minimize possibility of moisture / pest intrusion.

3. Missing / damaged soffit board (multiple sides of home).

Correction recommended to avoid future moisture penetration.

4. Observed organic growth in garage.

Correction recommended by a qualified contractor.

5. Damaged wall covering (interior) observed.

Correction recommended to avoid further deterioration of wall coverings.

Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

E. Walls (Interior and Exterior) (continued)



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I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

E. Walls (Interior and Exterior) (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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E. Walls (Interior and Exterior) (continued)



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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E. Walls (Interior and Exterior) (continued)



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E. Walls (Interior and Exterior) (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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E. Walls (Interior and Exterior) (continued)



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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E. Walls (Interior and Exterior) (continued)



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Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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F. Ceilings

Comments: Drywall,

1. Observed missing fireblock in garage.

Correction recommended by qualified contractor to minimize fire spread possibility (in emergency situation).

2. Observed organic growth.

Correction recommended by a qualified contractor.

3. Observe active water leak.

Further evaluation and correction recommended by a qualified contractor to prevent further damage.

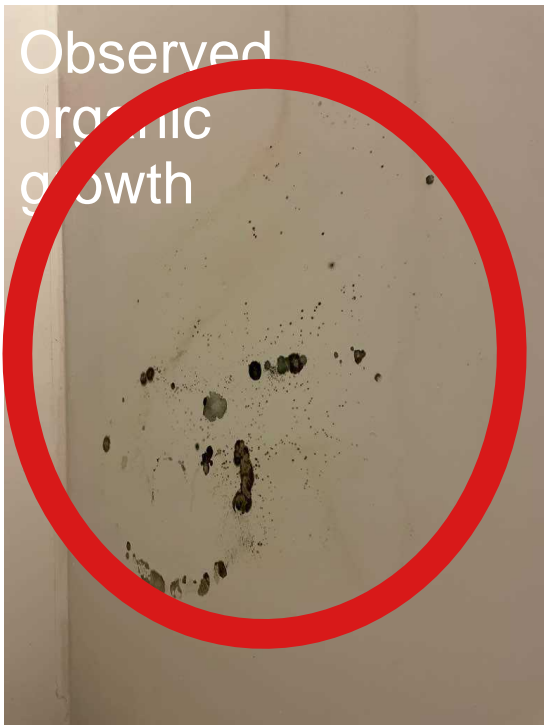


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F. Ceilings (continued)

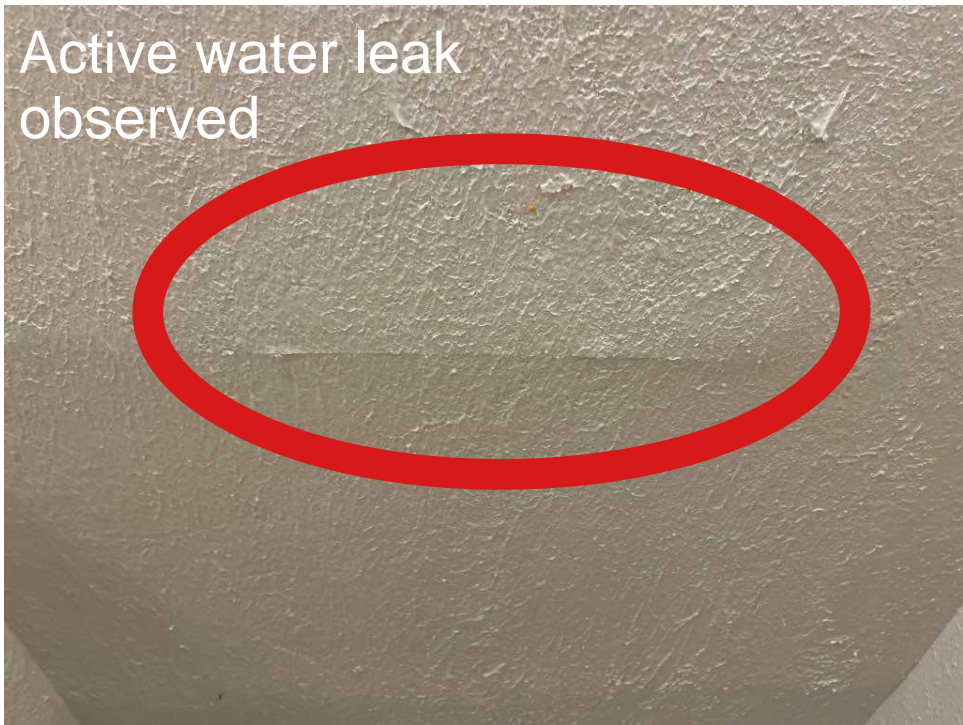


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F. Ceilings (continued)



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I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

F. Ceilings (continued)



G. Floors

Comments: Laminate, Carpet,
1. Observed damaged flooring.

Further evaluation & correction recommended by qualified contractor.

2. Flooring not sealed at baseboard interface

Correction recommended by qualified contractor to minimize possible moisture intrusion

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I NI NP D

G. Floors (continued)



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I NI NP D

G. Floors (continued)





Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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H. Doors (Interior and Exterior)

Comments: Wood,

1. Burglar bars (keyed) observed at doors.

Keyed burglar inhibit exit in emergency situations.

Further evaluation and correction recommended by qualified contractor.

2. Missing doorstop observed.

Correction recommended by qualified contractor to avoid wall damage.

3. Door to garage not self closing as required.

The purpose of self closing door at garage is carbon monoxide & fire protection.

Correction recommended by qualified contractor.

4. Observe garage door not in tracks / inoperable.

Further evaluation and correction recommended by a qualified contractor .

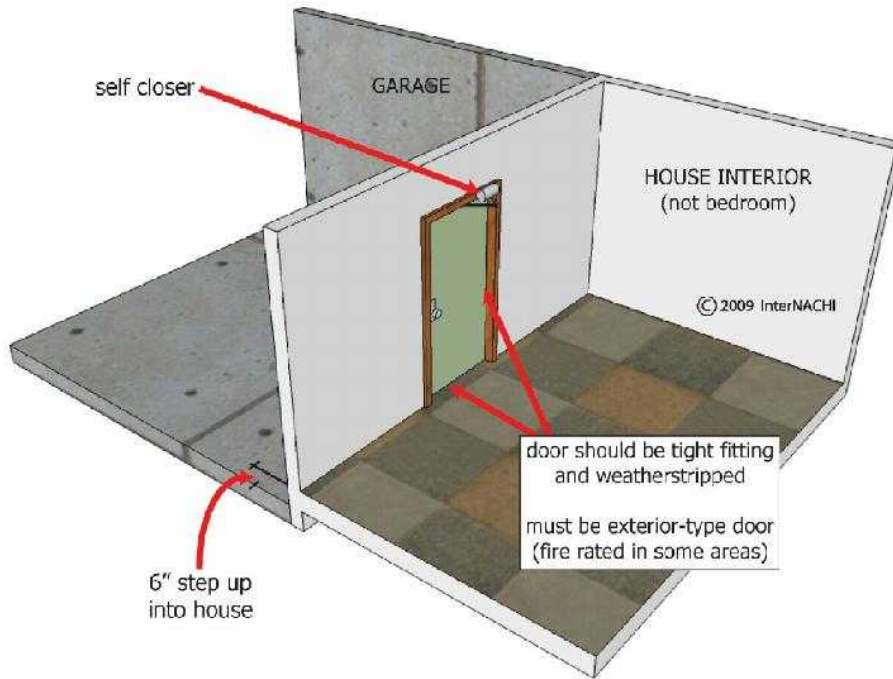
Client: Edwin Jimenez

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H. Doors (Interior and Exterior) (continued)

Man Door (attached garage)



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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H. Doors (Interior and Exterior) (continued)

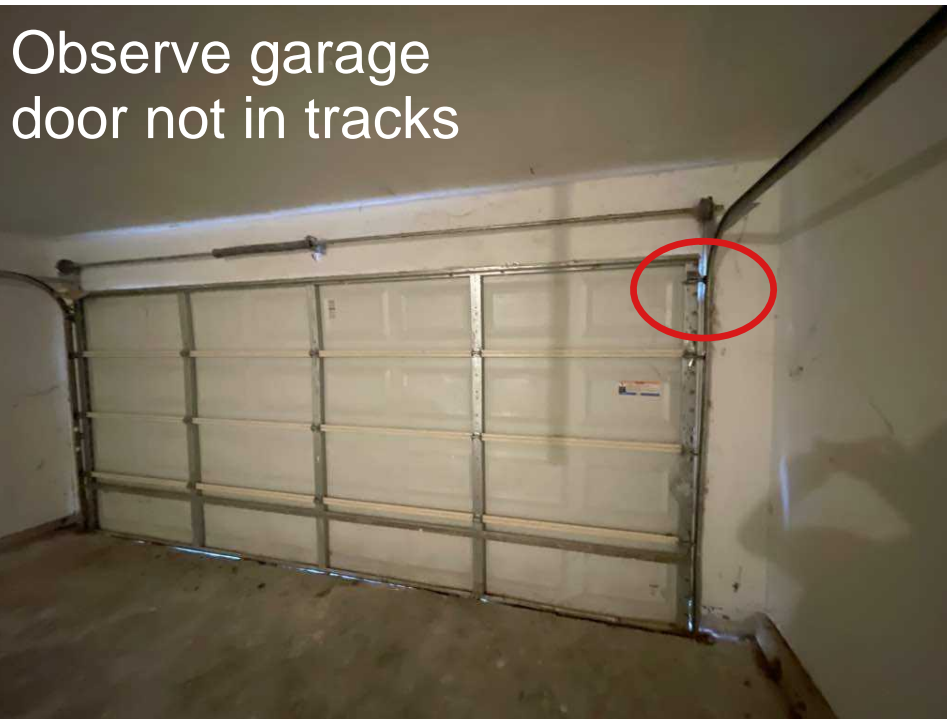


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H. Doors (Interior and Exterior) (continued)



Client: Edwin Jimenez



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

I. Windows

Comments: Single hung window,

- 1. Observed damaged sealant at windows

Correction recommended to minimize possible moisture intrusion

- 2. Observed unpainted lentils above windows.

Correction recommended by a qualified contractor to prevent wall covering damage and premature failure of lentil.

- 3. Window lock hardware damaged / not latching (multiple windows).

Correction recommended by qualified contractor.

- 4. Observed safety glass not installed on multiple windows (safety hazard).

Windows with sill heights less than 18 from finished floor elevation - safety glass with a tempered stamp should be installed in all hazardous locations, such as:

- within 24 inches of doors
- within 60 inches of the floor of a tub
- within 60 inches of a stair landing
- within 60 inches vertically and 60 inches horizontally of a pool
- at door glazing

Further evaluation and correction recommended by qualified contractor.

Client: Edwin Jimenez

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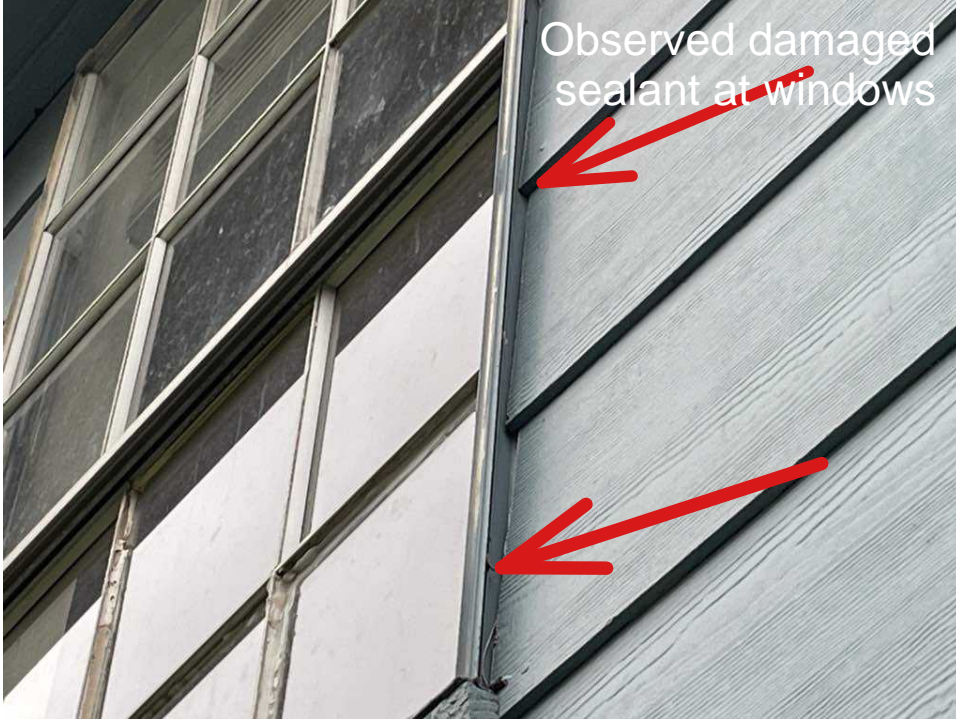
I. Windows (continued)



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I. Windows (continued)

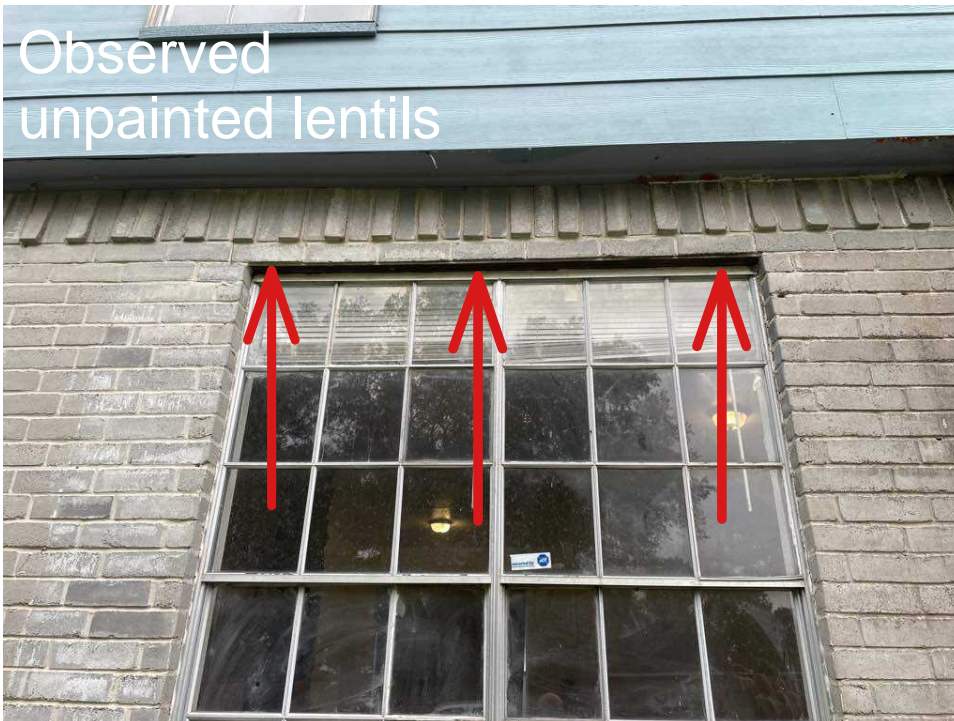


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I. Windows (continued)



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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I. Windows (continued)



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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I. Windows (continued)



Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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J. Stairways (Interior and Exterior)

Comments: Wood stairs with metal handrails,
Handrails missing (Safety)

Correction recommended by qualified contractor.



Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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K. Fireplaces and Chimneys

Comments: Prefab,

1. Observed chimney pulling away from structure.

Further evaluation and correction recommended by a qualified contractor to prevent further damage, pest intrusion, and water intrusion .

2. Unable to test fire place due to being a wood-burning fireplace.



Client: Edwin Jimenez

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I NI NP D

K. Fireplaces and Chimneys (continued)



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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I NI NP D

L. Porches, Balconies, Decks, and Carports

Comments: Wood,
Observed rusting protruding nails from walking surface (safety issue).

Correction recommended by a qualified contractor.



Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

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L. Porches, Balconies, Decks, and Carports (continued)



M. Fences / Gates

Comments: Wood Fence,
Damaged fence observed

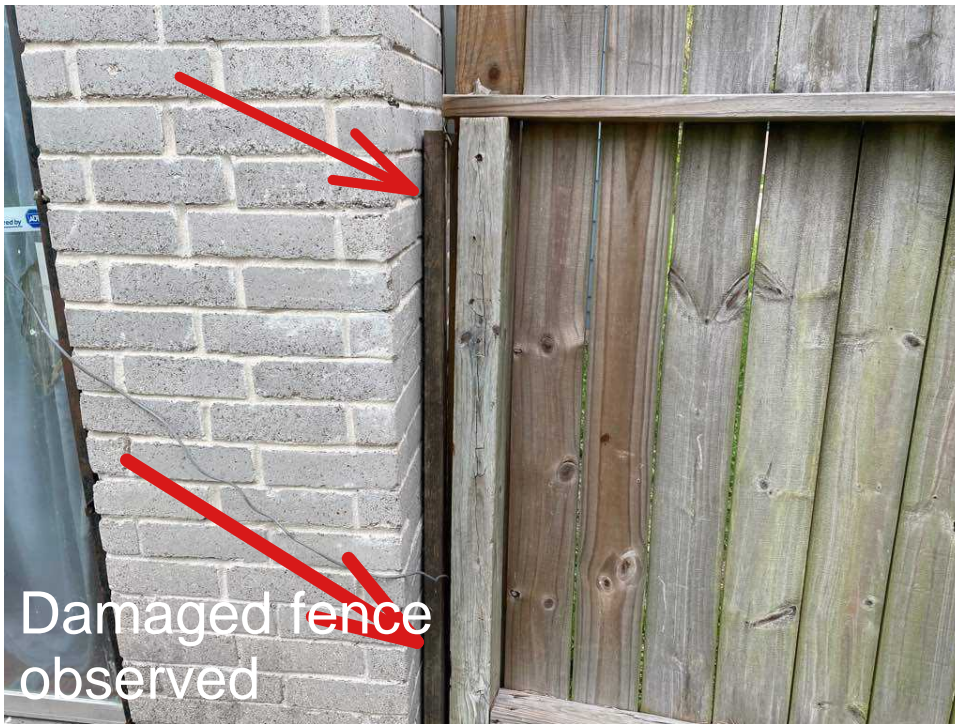
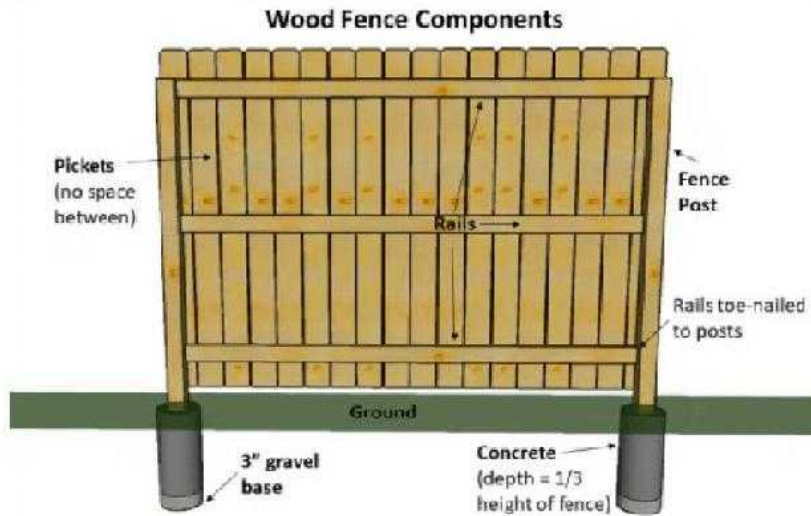
Correction recommended by qualified contractor

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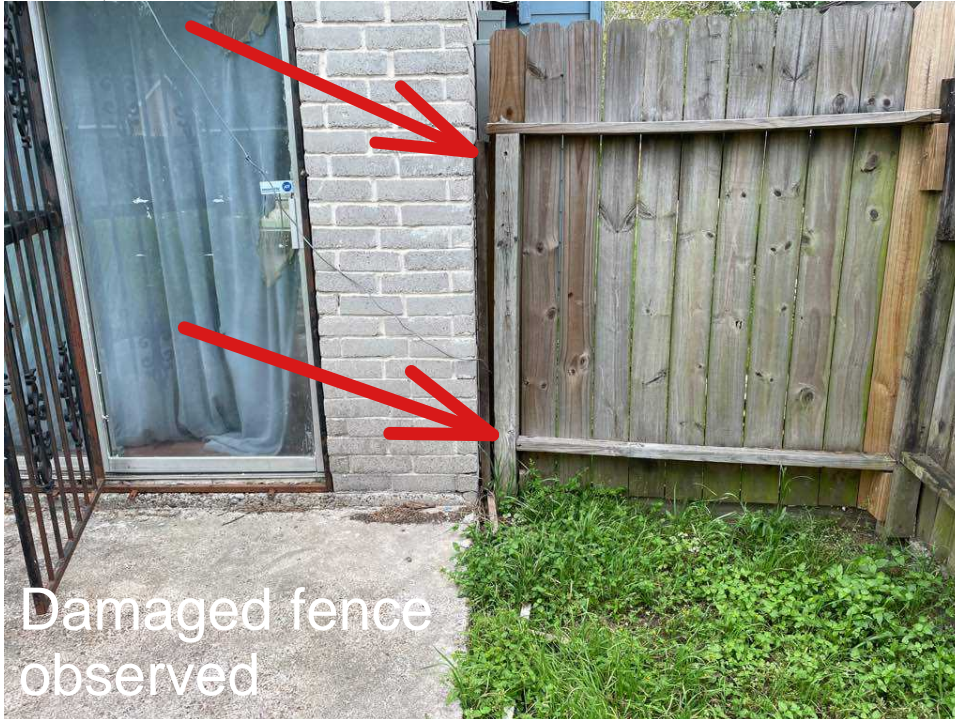
M. Fences / Gates (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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M. Fences / Gates (continued)



Client: Edwin Jimenez

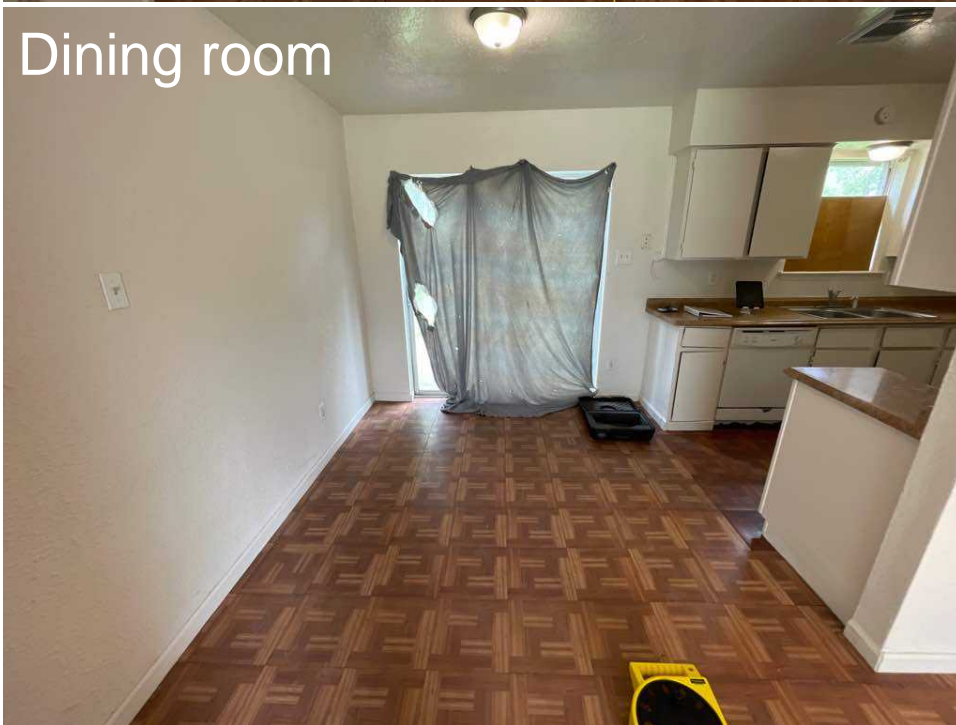
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N. General Photos

Comments: General Photos, General Photos

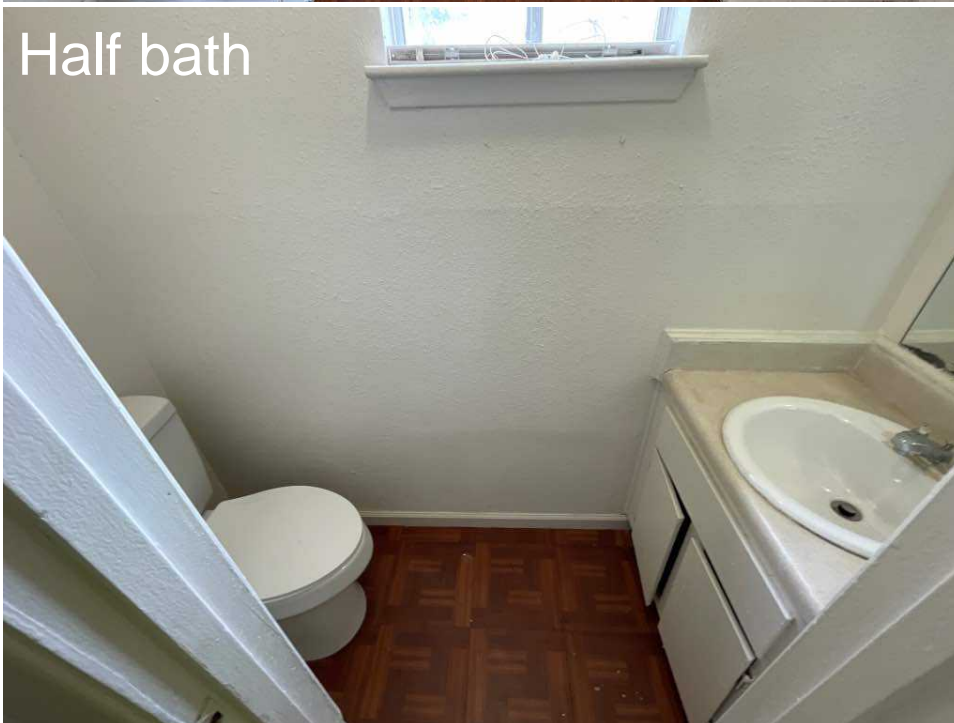


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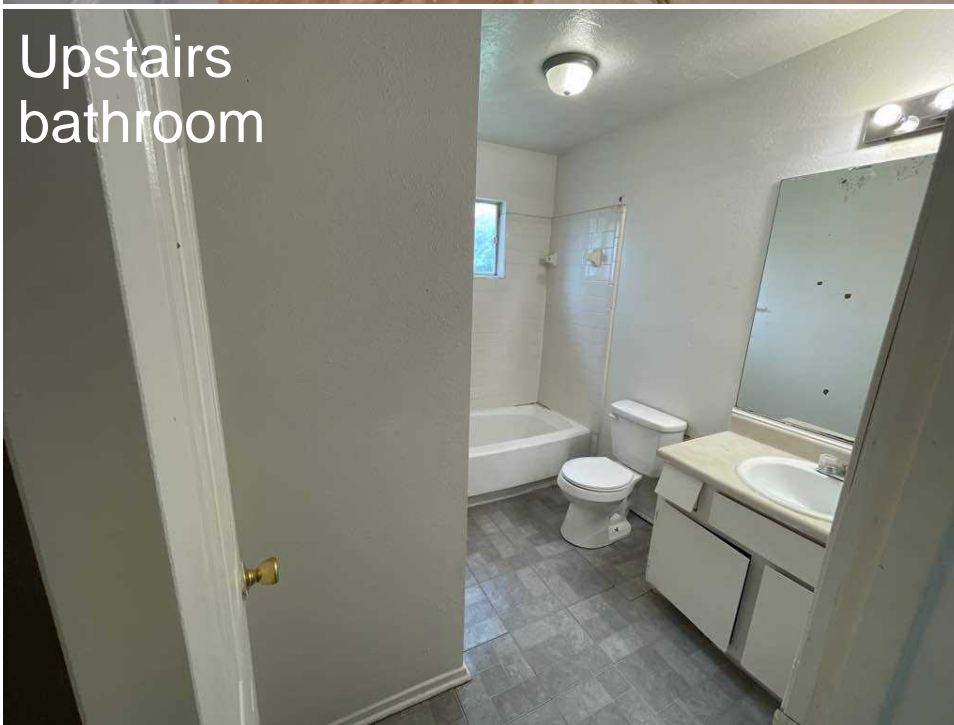
N. General Photos (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

N. General Photos (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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N. General Photos (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

N. General Photos (continued)





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I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments: Aluminum,

1. Main electrical panel breakers not clearly labeled.

Occupant will be unable to determine breaker configuration (with respect to property electrical systems) with no breaker labels.

Correction recommended by qualified contractor.

2. No anti-oxidant paste observed at main electrical aluminum cables in panel.

Anti oxidant paste is recommended for aluminum cables because (without the paste) aluminum can overheat & become fire hazard.

Further evaluation & correction recommended by qualified contractor.

3. Observed ground wires & neutral wires connected to the same busbar - potential safety item

Further evaluation and correction recommended by qualified contractor

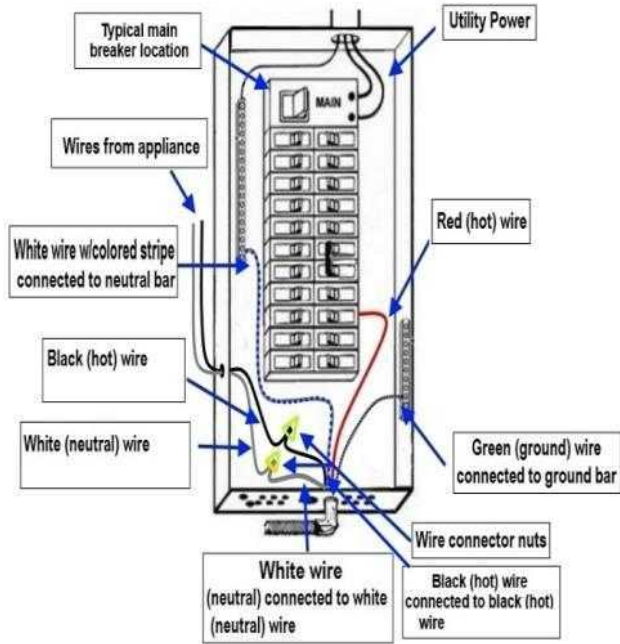
Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Service Entrance and Panels (continued)

Circuit Breaker Wiring Diagram

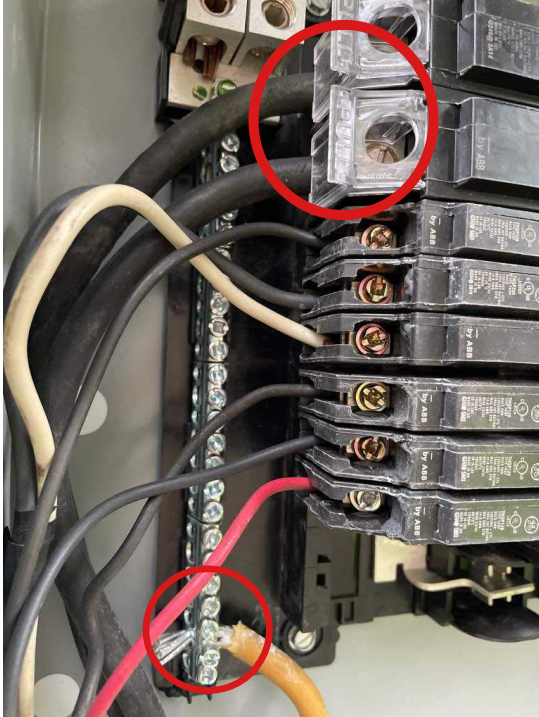


Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Service Entrance and Panels (continued)



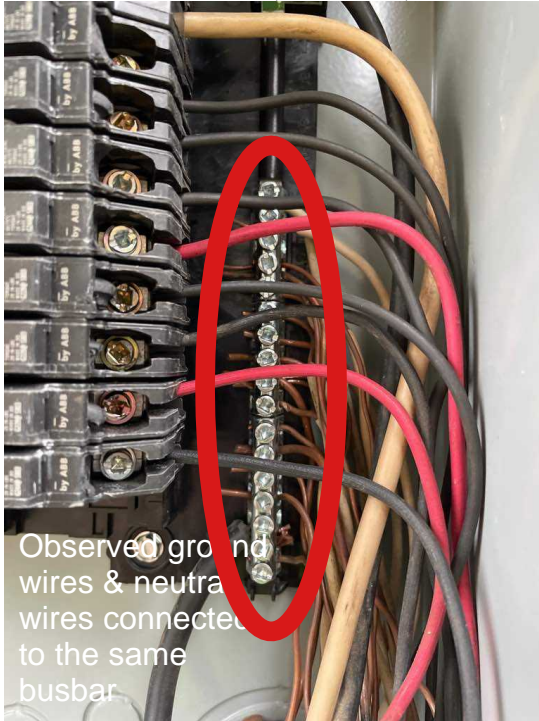
Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Service Entrance and Panels (continued)



Amps (Main Panel) 125 Amps
Location (Main Panel) Exterior
Grounding: Grounding Rod

Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

Comments: Copper

1. Electrical covers missing from outlets (multiple).

Correction recommended by qualified contractor.

2. Observed electrical connections not made in junction box - safety item.

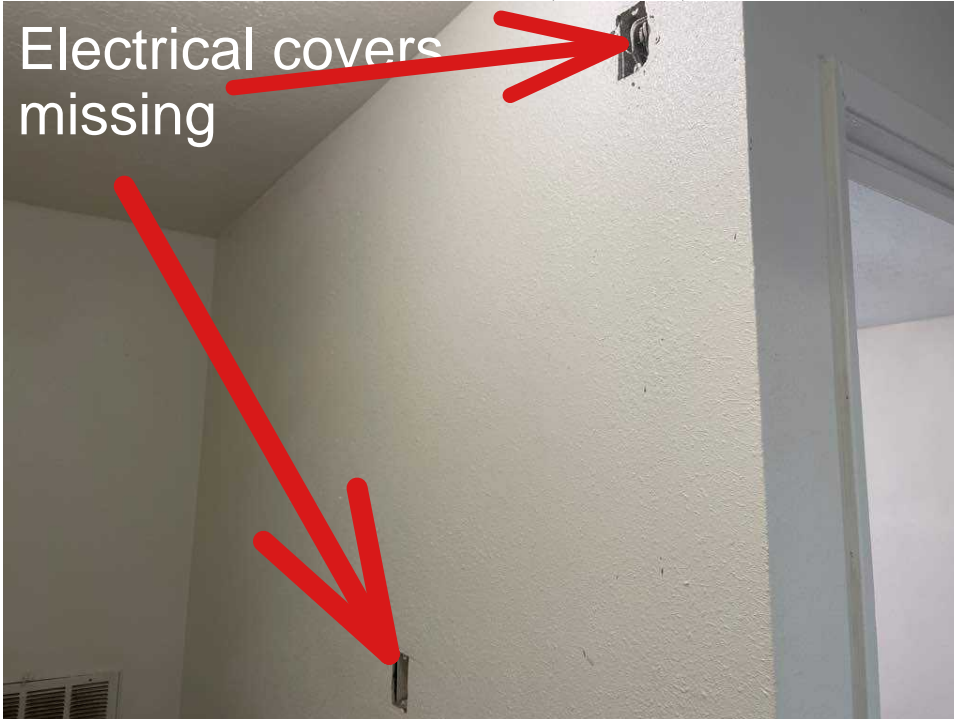
Correction recommended by qualified contractor



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

B. Branch Circuits, Connected Devices, and Fixtures (continued)

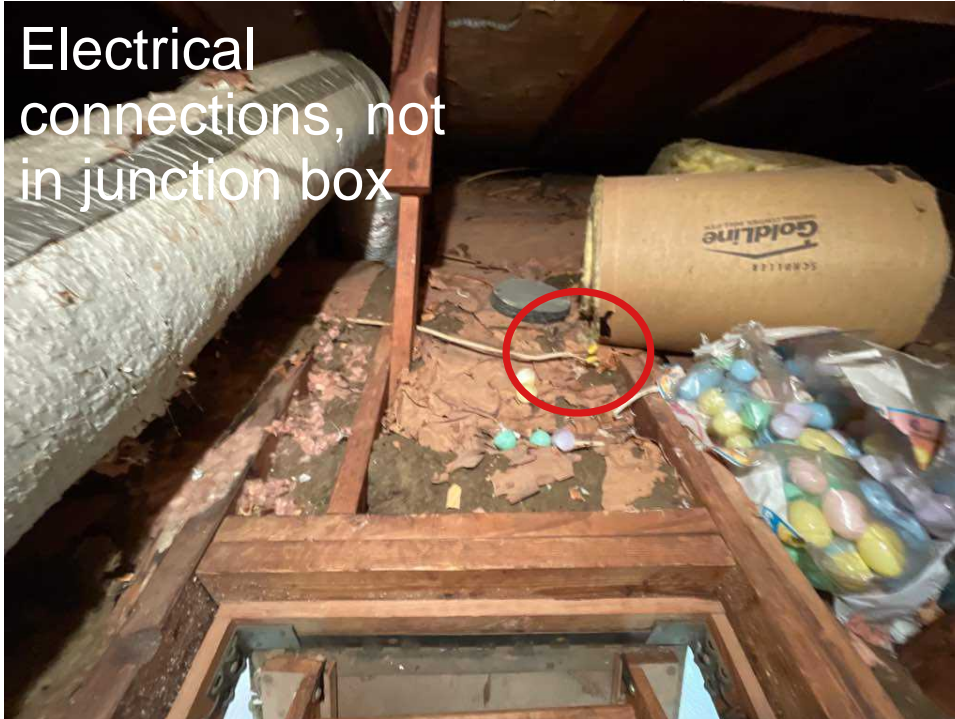


Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

B. Branch Circuits, Connected Devices, and Fixtures (continued)



C. AFCI (Arc Fault Circuit Interrupter)

Comments: Arc Fault Circuit Interrupter: Required at by current building standards, Observe no installed AFCI (Arc Fault Circuit Interrupt) device protection, as required by current building standards, for all: family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreations rooms, closets, hallways, or similar rooms or areas.

AFCI devices are intended to protect against fires caused by electrical arcing faults in the homes wiring.

Arc faults are a common cause of residential electrical fires.

Arc faults can be created by damaged, deteriorated, or worn electrical plugs, cords, and/or branch circuit conductors.

As of September 1, 2008, the State of Texas has adopted the 2005 NEC, which includes this requirement, as the minimum standard for all non-exempt electrical work.

Homes built between 2002 and late 2008, generally were only required to have arc fault protection for bedroom circuits.

However, the current TREC standard of practice requires inspectors to indicate that a hazardous or

Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

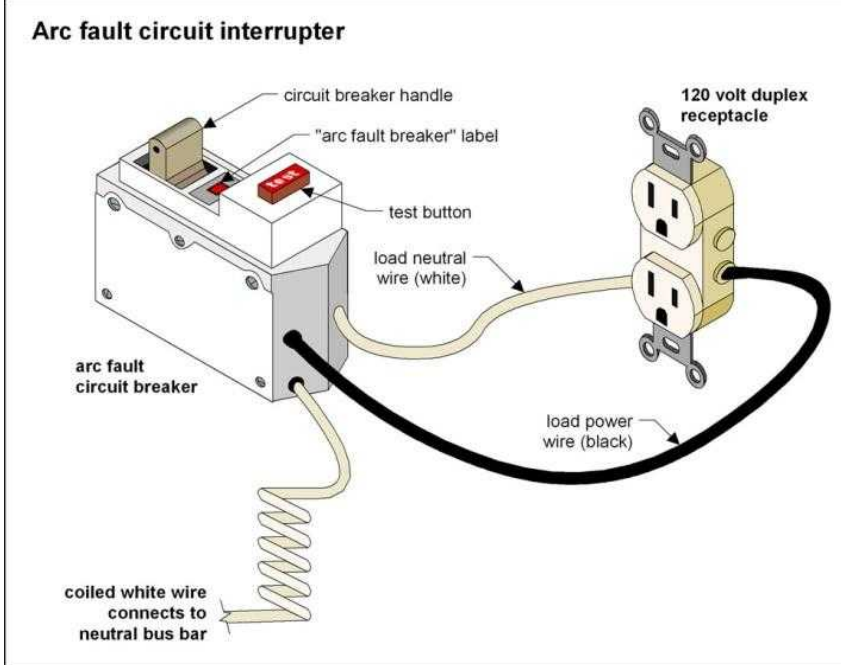
I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. AFCI (Arc Fault Circuit Interrupter) (continued)

deficient condition exists if any home does not have this protection, regardless of date the home was constructed

Correction recommended by qualified contractor.

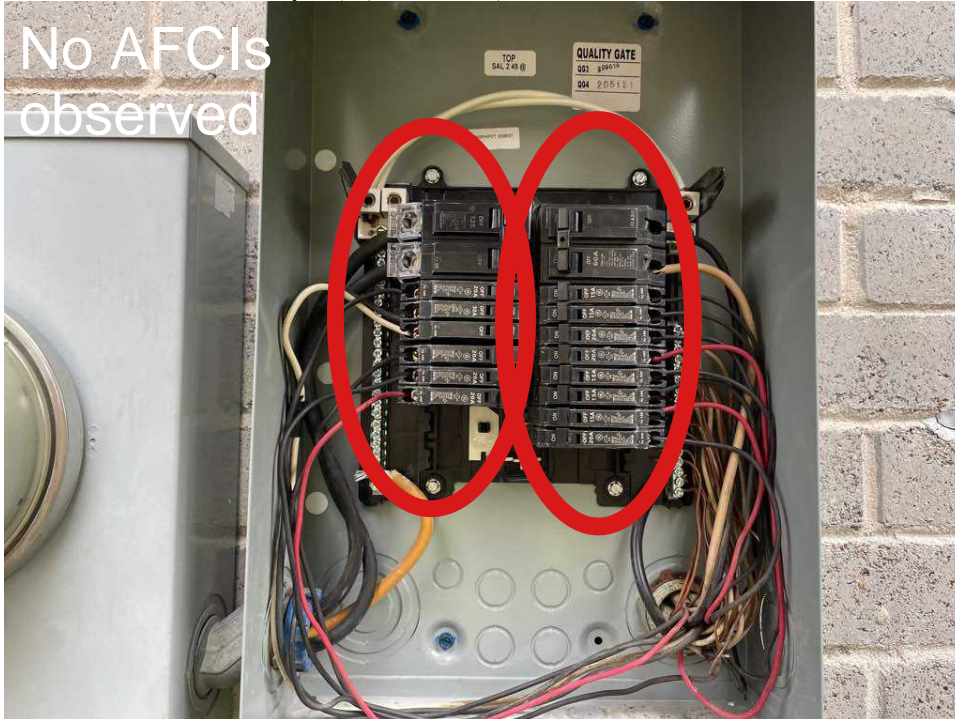


Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. AFCI (Arc Fault Circuit Interrupter) (continued)



D. GFCI (Ground Fault Circuit Interrupter)

Comments: GFCIs (Required) Locations: Kitchen, Bathrooms, & Garage, Missing GFCIs observed at time of inspection (kitchen, bathrooms, & garage).

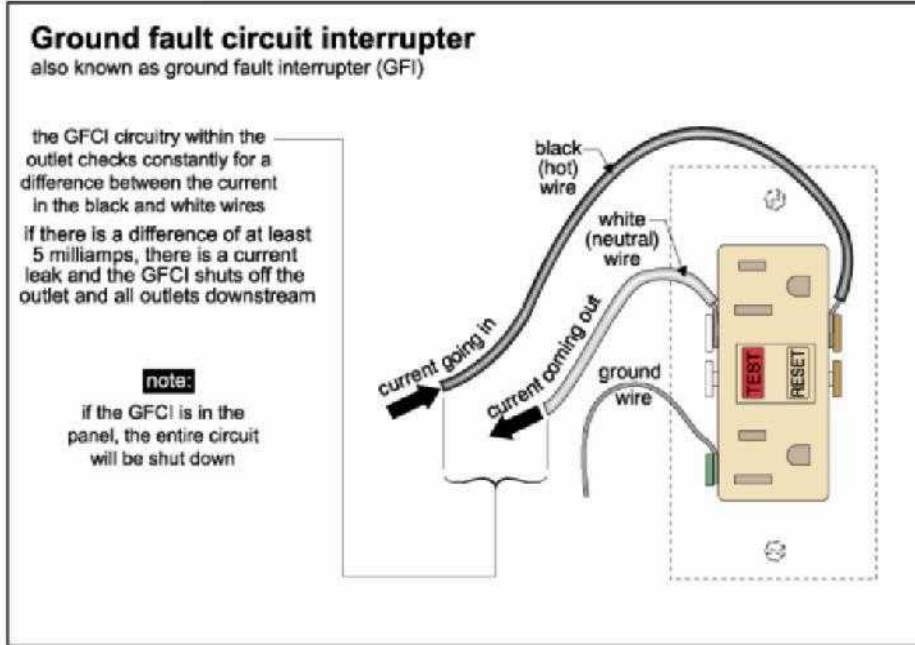
GFCIs are recommended for fire & electrical shock prevention.

Correction recommended by qualified contractor.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

D. GFCI (Ground Fault Circuit Interrupter) (continued)



☒☒☒☒ E. Smoke / Carbon Monoxide Detectors

Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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E. Smoke / Carbon Monoxide Detectors (continued)

Comments: Kiddie,
Missing carbon monoxide detector at time of inspection.

Carbon monoxide detectors protect against harmful, colorless, odorless exhaust gas carbon monoxide.

Correction recommended by qualified contractor to ensure safety.

F. Doorbell

Comments: Exterior (front entrance to property),
Doorbell not operating at time of inspection.

Further evaluation & correction recommended by qualified contractor.



Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

F. Doorbell (continued)



G. Light Fixtures

Comments: Interior / Exterior,
Observed no cage / guard for closet and attic light bulbs- safety item.

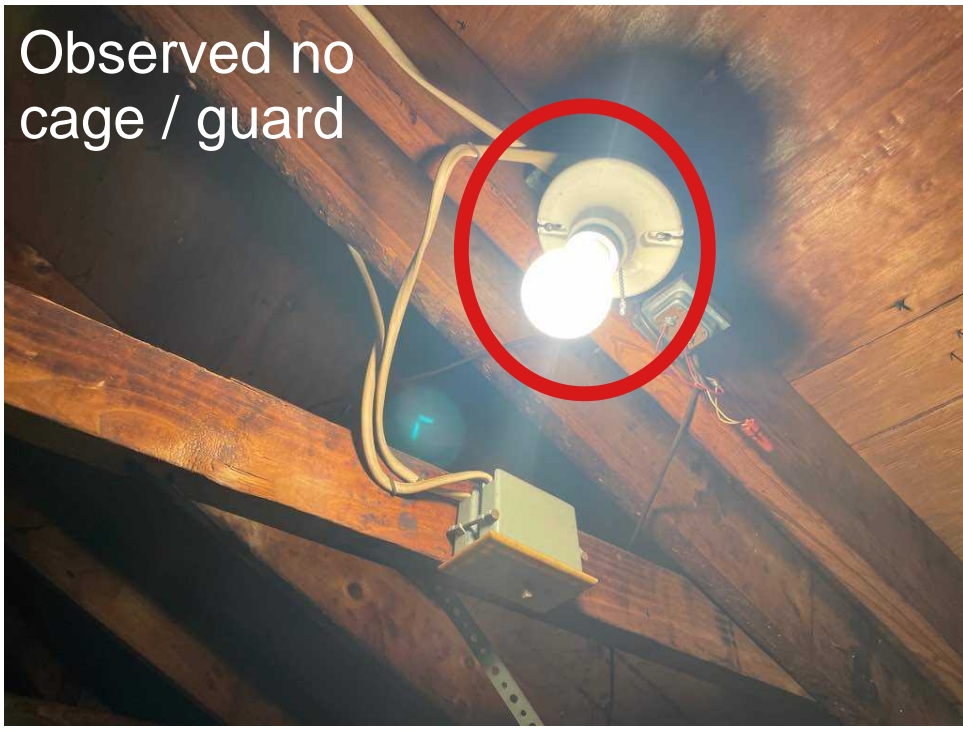
Correction recommended by qualified contractor

Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

G. Light Fixtures (continued)



Client: Edwin Jimenez



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Forced air

Energy Sources: Natural gas

Comments: Concord

1. No gas (utility) on at property - unable to test

2. No sediment trap observed / installed at furnace at time of inspection.

Purpose of sediment trap is to capture debris / sediment in natural gas before the gas enters the furnace.

Correction recommended by qualified contractor.

3. Observed wires passing through furnace without protective grommet.

Correction recommended by a qualified contractor to prevent wire damage.

Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Heating Equipment (continued)



Client: Edwin Jimenez



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Heating Equipment (continued)

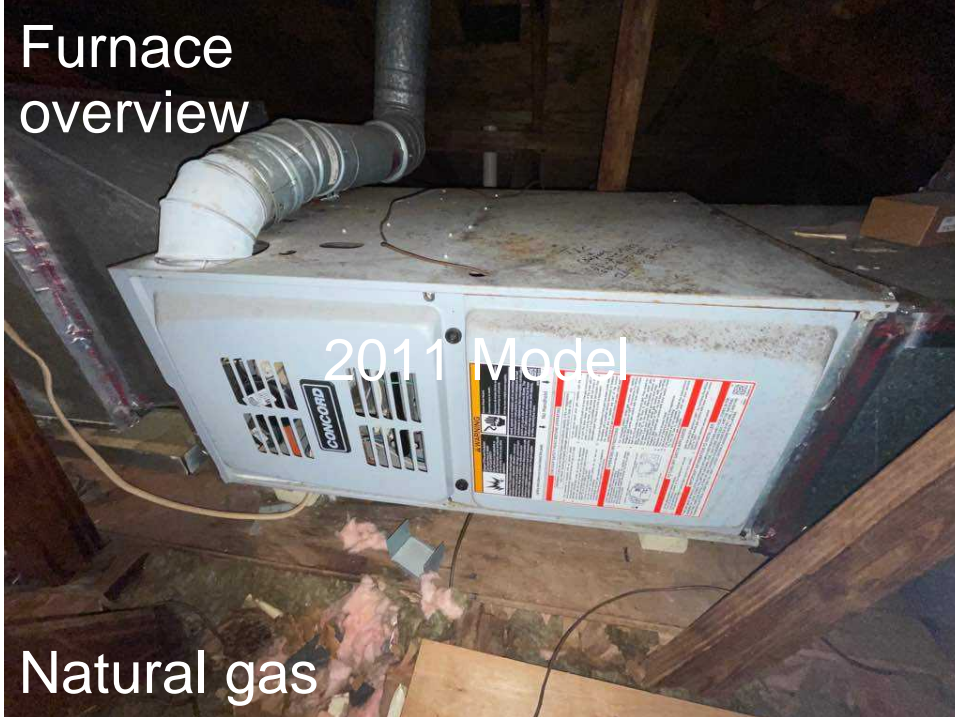


Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Heating Equipment (continued)



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Heating Equipment (continued)



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Heating Equipment (continued)



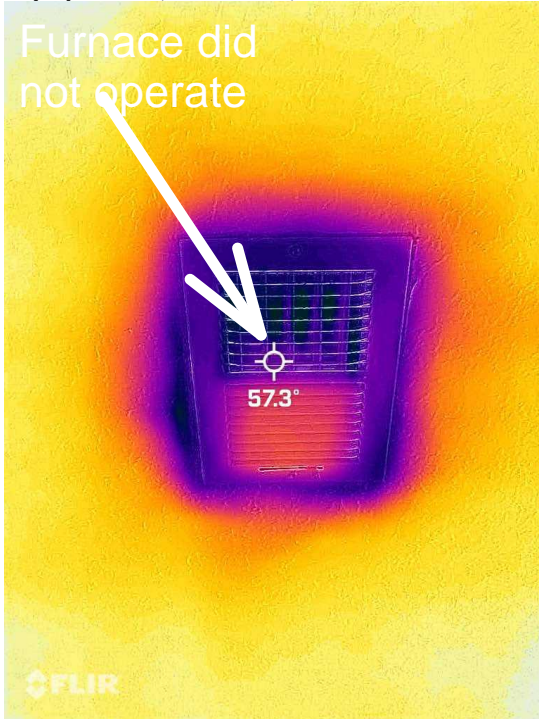
Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Heating Equipment (continued)



Year of Manufacture 2011

Client: Edwin Jimenez



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

B. Cooling Equipment

Type of Systems: Central A/C

Comments: Concord

Service recommended (before real estate transaction completed) for all HVAC systems 10+ years or older.

This system was manufactured in 2011 (12 years old).

The average life span of A/C units is 15 years.

1. Damaged insulation at A/C line (exterior).

Insulation helps optimize A/C efficiency.

Correction recommended by qualified contractor.



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

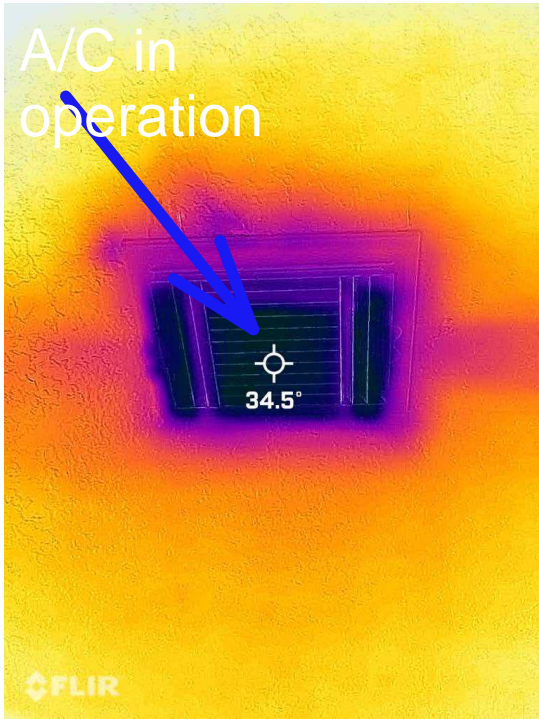
B. Cooling Equipment (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

B. Cooling Equipment (continued)



Year of Manufacture 2011

Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Tonnage of AC System 3 Tons

C. Thermostat

Comments: Programmable, Thermostat operated as intended at time of inspection

D. Duct Systems, Chases, and Vents

Comments: Insulated flex,

1. Damage observed at air supply duct in the attic.

Correction recommended by qualified contractor.



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

D. Duct Systems, Chases, and Vents (continued)



E. Air Vents, Grilles, Registers

Comments: Ceiling Air Supply Vent, Air supply vents appeared to operate as intended at time of inspection.

IV. PLUMBING SYSTEMS

Client: Edwin Jimenez



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: The water meter is located at the front curb of home.

Location of main water supply valve: The main water supply is located at the left side of the home (see photo).

Static water pressure reading: 40-80 psi (normal range)

Type of supply piping material: PVC

Comments: Copper

- 1. Observed damaged water meter casing lid.

Correction recommended by a qualified contractor to prevent unwanted debris entering water meter casing.

- 2. No vacuum breaker on outside hose bib.

Vacuum breaker prevents back siphoning of outside water into indoor plumbing.

Correction recommended by qualified contractor.

- 3. Observed uninsulated water pipe at hose bib.

Correction recommended by qualified contractor to prevent freezing .

- 4. Observed insufficient water pressure.

Further evaluation and correction recommended by a qualified contractor.

Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Plumbing Supply, Distribution Systems and Fixtures (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Plumbing Supply, Distribution Systems and Fixtures (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Plumbing Supply, Distribution Systems and Fixtures (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Plumbing Supply, Distribution Systems and Fixtures (continued)



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

B. Toilets

Comments: Flushing (Two-Piece) Toilet,
1. Observed toilet loose at floor mounting.

Correction recommended by qualified contractor.

2. Toilets not sealed completely at floor interface (multiple).

Correction recommended by qualified contractor



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

B. Toilets (continued)



C. Sinks

Comments: Built In Sink, 1. Observed sink cabinet damage.

Correction recommended by a qualified contractor.

2. Observed missing sealant at sink and countertop interface.

Correction recommended by a qualified contractor to prevent moisture damage .

Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Sinks (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Sinks (continued)



Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

D. Bathtubs & Showers

Comments: Built In bathtub / shower,
Observed caulking or grout missing or damaged at bathtub / shower.

Correction recommended by qualified contractor to minimize possible moisture intrusion.



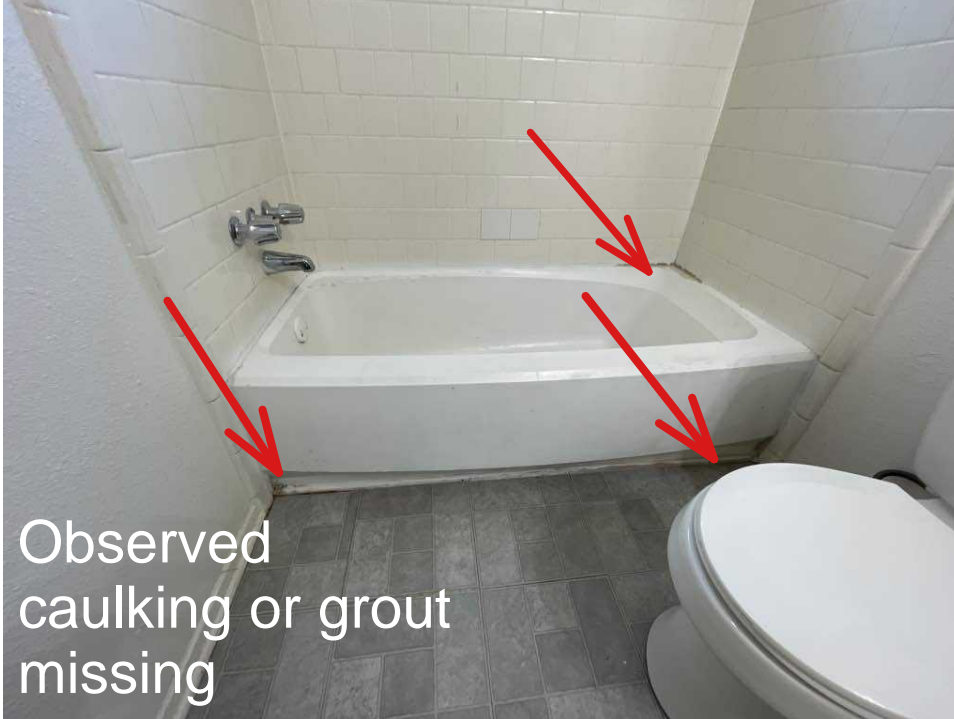
Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

D. Bathtubs & Showers (continued)



E. Drains, Wastes, and Vents

Type of drain piping material: PVC

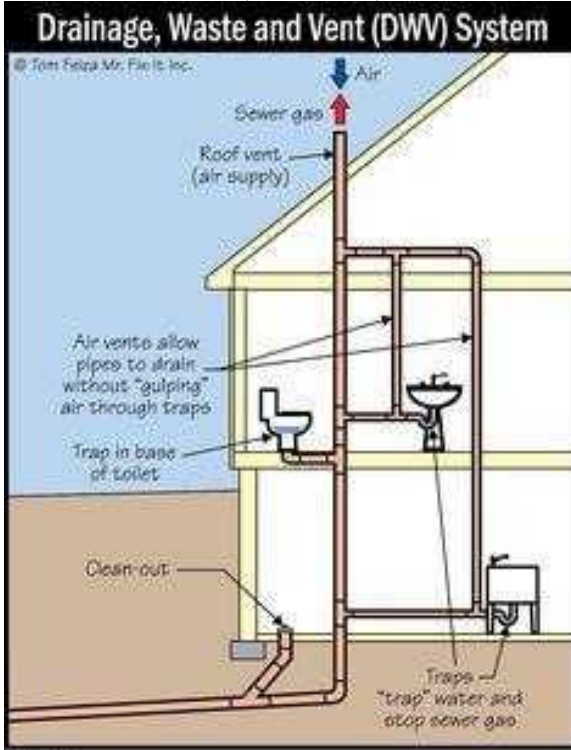
Comments: PVC Drains, wastes, and vents were operating as intended at time of inspection.

Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

E. Drains, Wastes, and Vents (continued)



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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C. Water Heating Equipment

Energy Sources: Natural gas

Capacity: 40 Gallon

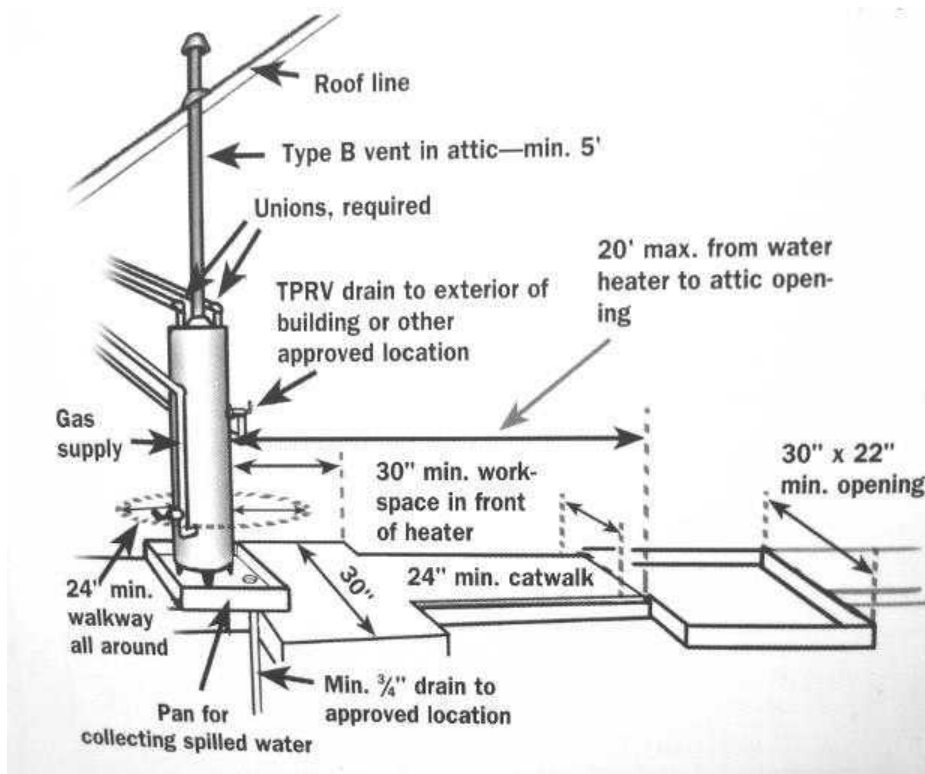
Comments: Reliance

1. No sediment trap observed / installed at hot water heater at time of inspection.

Purpose of sediment trap is to capture debris / sediment in natural gas before the gas enters the water heater.

Correction recommended by qualified contractor.

2. No gas (utility) on at property - unable to test

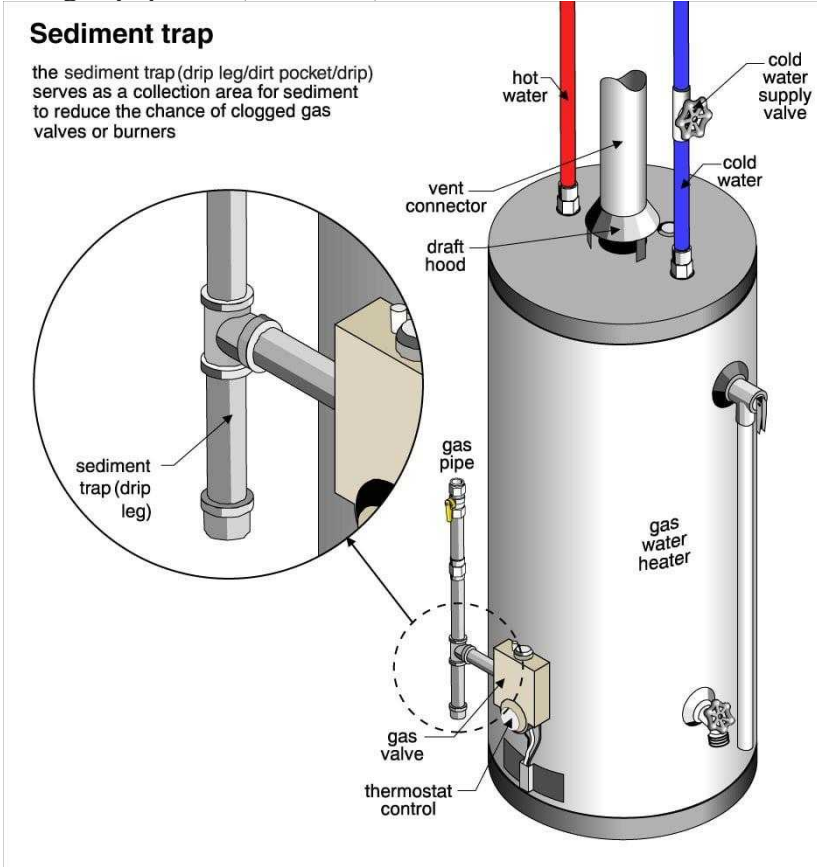


Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Water Heating Equipment (continued)



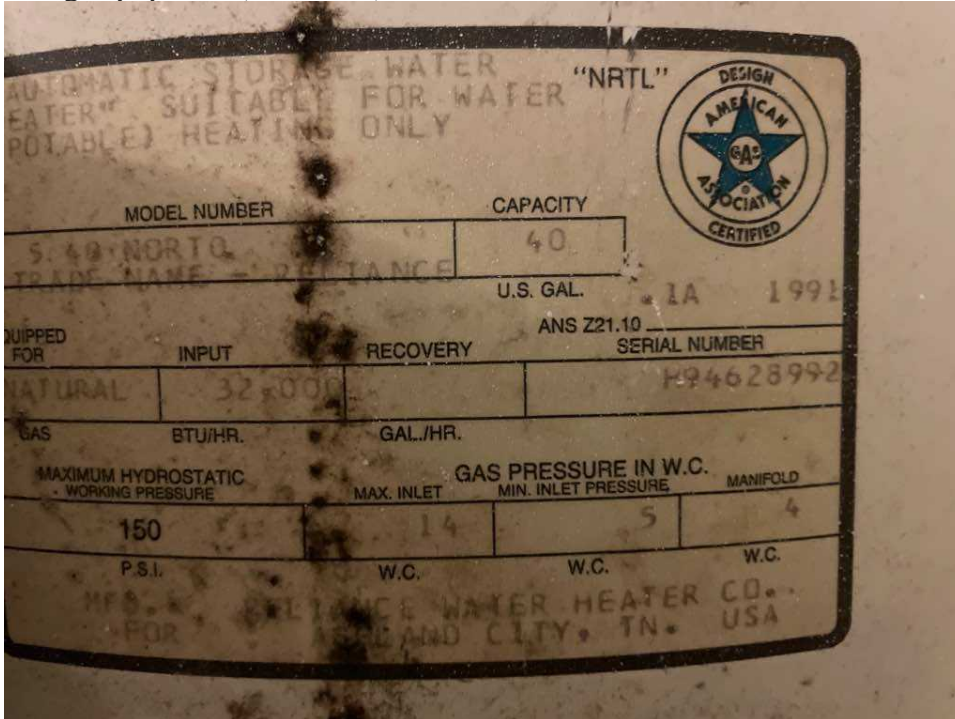
Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Water Heating Equipment (continued)



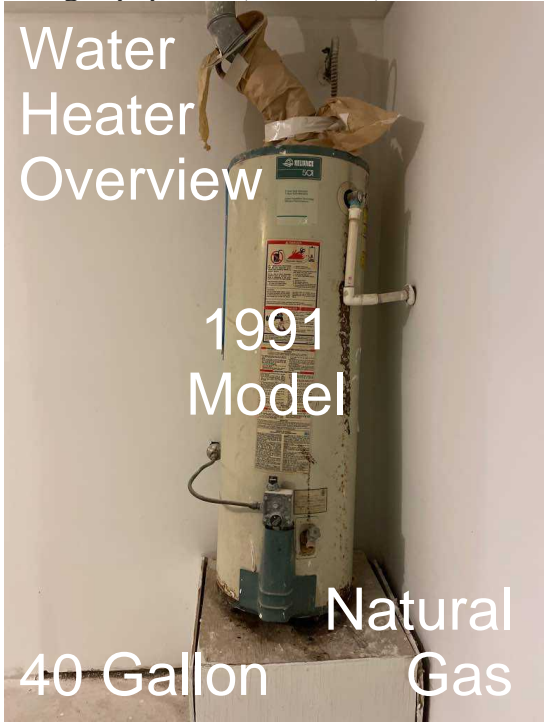
Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Water Heating Equipment (continued)



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Water Heating Equipment (continued)

No sediment trap
observed



Client: Edwin Jimenez

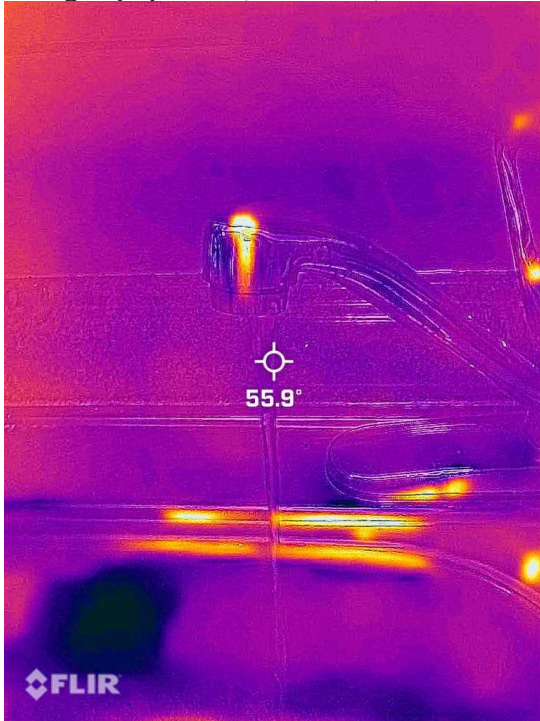


Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Water Heating Equipment (continued)



Year of Manufacture 1991

D. Hydro-Massage Therapy Equipment
Comments:

Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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E. Gas Distribution Systems and Gas Appliances

Location of gas meter: Exterior surface mount at rear side of home

Type of gas distribution piping material: Metal

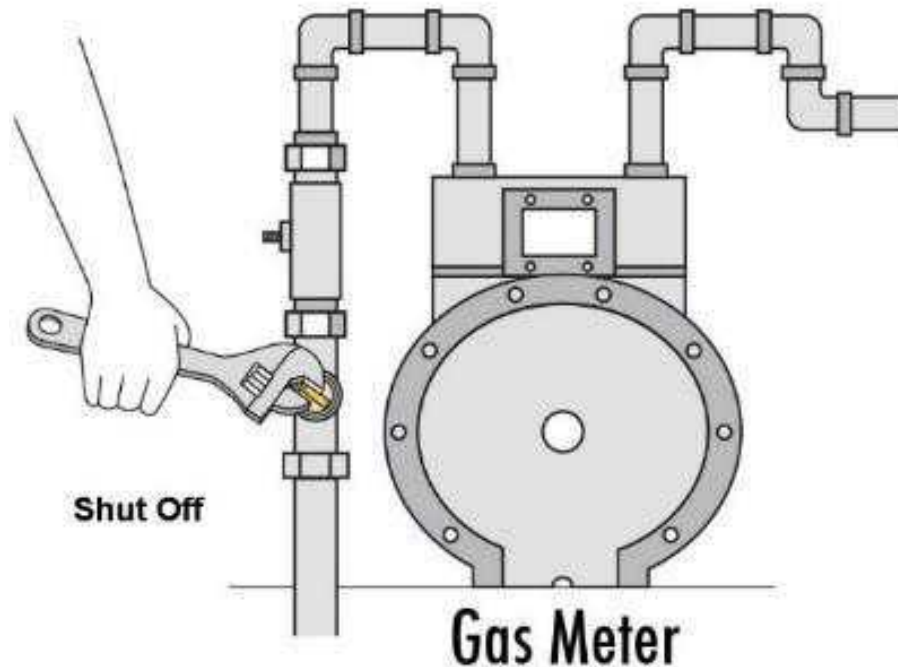
Comments: Gas Meter

1. Observed no electrical bonding at gas meter.

Electrical bonding is the practice of intentionally electrically connecting all exposed metal items not designed to carry electricity in a room or building as protection from electric shock.

Further evaluation and correction recommended by qualified contractor

2. No gas (utility) on at property - unable to test



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

E. Gas Distribution Systems and Gas Appliances (continued)



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

E. Gas Distribution Systems and Gas Appliances (continued)



F. Other
Comments:

Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

V. APPLIANCES

A. Dishwashers

Comments: Hotpoint,
Standing water observed in dishwasher

Further evaluation and correction recommended by qualified contractor



Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

A. Dishwashers (continued)



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B. Food Waste Disposers

Comments: In-Sinkerator,

1. No high (anti-siphon) loop on drain secured to underside of sink counter.

The dishwasher discharge (drain) line needs to be elevated above the inlet to disposal or drain pipe so that it has an air gap to prevent debris and gray water from draining down line from disposal or drain pipe and back into dishwasher.

Correction recommended by qualified contractor

2. Observed food waste disposer loud during operation (possible loose item in sink).

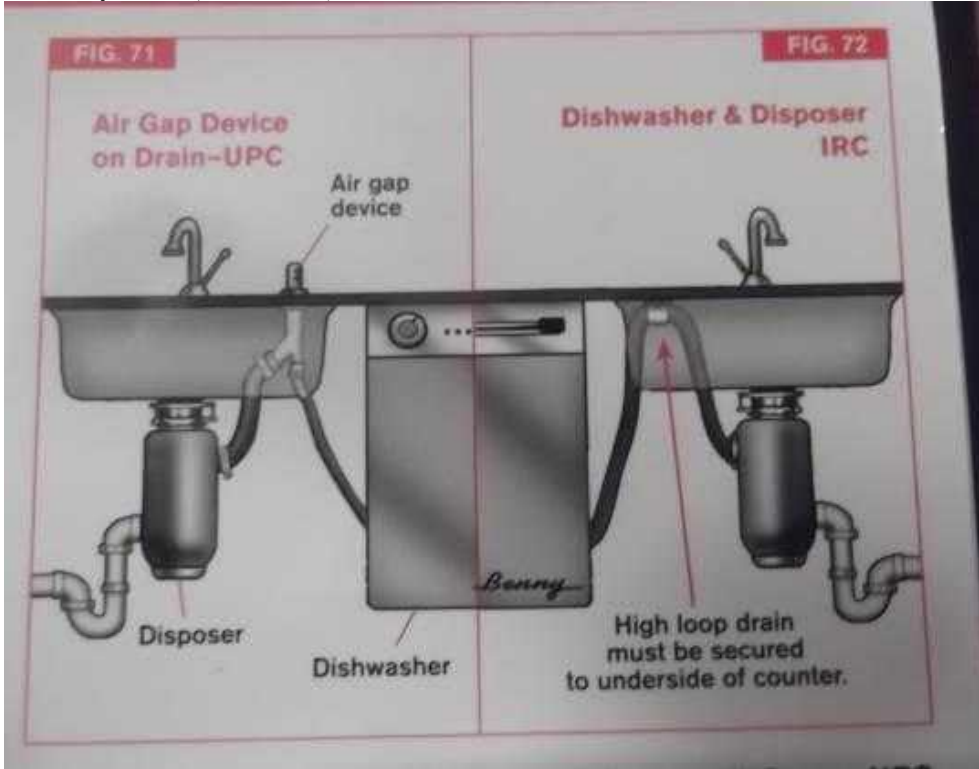
Correction recommended by qualified contractor.

Client: Edwin Jimenez

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

B. Food Waste Disposers (continued)



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Range Hood and Exhaust Systems

Comments: Broan,
Range hood exhaust vent did not operate at time of inspection.

Correction recommended by qualified contractor.



Client: Edwin Jimenez

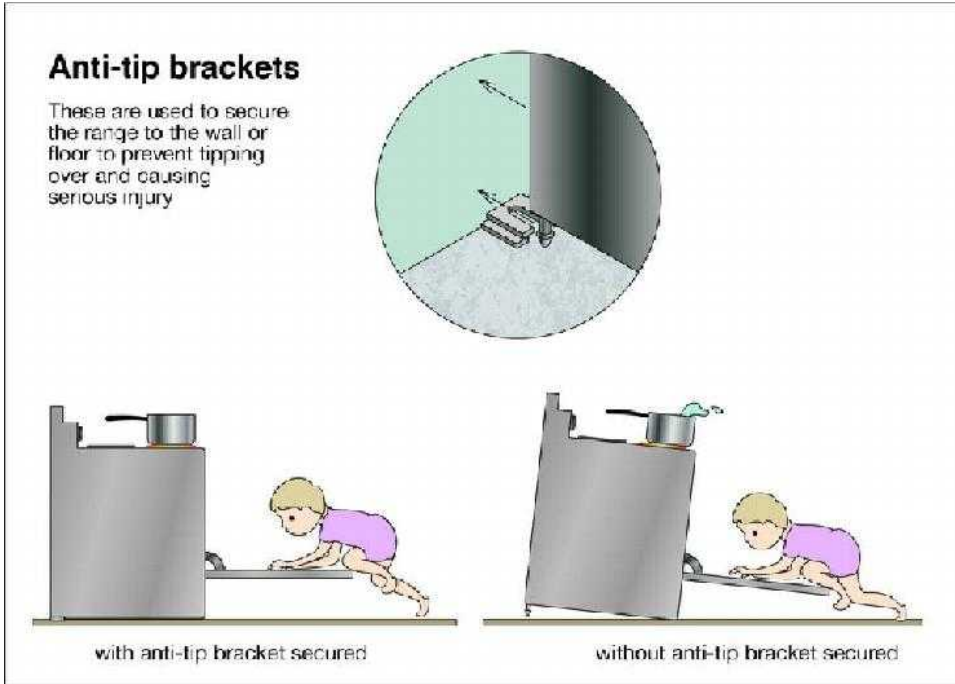
Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

D. Ranges, Cooktops, and Ovens

Comments:



E. Microwave Ovens

Comments:

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

G. Garage Door Operators

Comments:

Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

H. Dryer Exhaust Systems

Comments: Metal flex,

1. Observed dryer exhaust vent located within 3 feet of gas meter (possible safety issue).

Further evaluation and correction recommended by a qualified contractor.

2. Dryer exhaust vent cover (at exterior) not sealed / secured properly.

Correction recommended by qualified contractor to minimize potential of pest / moisture intrusion.



Client: Edwin Jimenez

Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

H. Dryer Exhaust Systems (continued)



I. Other
Comments:

Client: Edwin Jimenez



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

Summary

I. STRUCTURAL SYSTEMS

A. Foundations Slab-on-Grade,

1. Corner fractures were noted on the corner(s) of the foundation, these are usually considered cosmetic nature unless other movement is noted.

Recommend sealing all cracks to help prevent further deterioration.

2. Tensioning cables exposed at foundation in multiple locations.

Exposed tensioning cables can possibly allow moisture / pest intrusion.

Correction recommended by qualified contractor. Type of Foundation(s): Post Tension

B. Grading and Drainage Moderate slope,

Soil / mulch too high at foundation (multiple).

Soil (or mulch) too high at foundation can potentially promote pest intrusion.

It is recommended that at least 4 of foundation be visible.

Correction recommended by qualified contractor.

1. Seller disclosed prior termite infestation / treatment.

Recommend having any documentation from seller disclosing the treatment.

C. Roof Covering Materials Asphalt shingle,

1. Observed missing / damaged shingles and prior repair.

Further evaluation and correction recommended by a qualified contractor.

2. Observed unpainted roof vents.

Roof vents should be painted to minimize UV damage to PVC vents

Correction recommended by qualified contractor

3. Observed missing saddle / cricket at chimney and roof interface.

Correction recommended by a qualified contractor to prevent water intrusion. Types(s) of Roof Covering:
Gable Viewed From: Ground level with drone



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

Summary (continued)

D. Roof Structures and Attics Rafter,

1. Observed damaged attic access ladder - safety item

Correction recommended by qualified contractor ,

2. Insufficient insulation observed in attic.

Proper insulation recommended for optimal HVAC efficiency.

Correction recommended by qualified contractor

Viewed From: In the attic Approximate Average Depth of Insulation: 6 or less

E. Walls (Interior and Exterior) Drywall / Brick / Wood,

1. Observed missing sealant at wall interface with multiple fixtures (not weathertight).

Correction recommended by qualified contractor to minimize possible moisture / pest intrusion

2. Damaged wall covering (exterior) observed.

Correction recommended to minimize possibility of moisture / pest intrusion.

3. Missing / damaged soffit board (multiple sides of home).

Correction recommended to avoid future moisture penetration.

4. Observed organic growth in garage.

Correction recommended by a qualified contractor.

5. Damaged wall covering (interior) observed.

Correction recommended to avoid further deterioration of wall coverings.

F. Ceilings Drywall,

1. Observed missing fireblock in garage.

Correction recommended by qualified contractor to minimize fire spread possibility (in emergency situation).

2. Observed organic growth.



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

Summary (continued)

F. Ceilings (continued)

Correction recommended by a qualified contractor.

3. Observe active water leak.

Further evaluation and correction recommended by a qualified contractor to prevent further damage.

G. Floors Laminate, Carpet,

1. Observed damaged flooring.

Further evaluation & correction recommended by qualified contractor.

2. Flooring not sealed at baseboard interface

Correction recommended by qualified contractor to minimize possible moisture intrusion

H. Doors (Interior and Exterior) Wood,

1. Burglar bars (keyed) observed at doors.

Keyed burglar inhibit exit in emergency situations.

Further evaluation and correction recommended by qualified contractor.

2. Missing doorstop observed.

Correction recommended by qualified contractor to avoid wall damage.

3. Door to garage not self closing as required.

The purpose of self closing door at garage is carbon monoxide & fire protection.

Correction recommended by qualified contractor.

4. Observe garage door not in tracks / inoperable.

Further evaluation and correction recommended by a qualified contractor .

I. Windows Single hung window,

1. Observed damaged sealant at windows

Correction recommended to minimize possible moisture intrusion



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

Summary (continued)

I. Windows (continued)

2. Observed unpainted lentils above windows.

Correction recommended by a qualified contractor to prevent wall covering damage and premature failure of lentil.

3. Window lock hardware damaged / not latching (multiple windows).

Correction recommended by qualified contractor.

4. Observed safety glass not installed on multiple windows (safety hazard).

Windows with sill heights less than 18 from finished floor elevation - safety glass with a tempered stamp should be installed in all hazardous locations, such as:

within 24 inches of doors
within 60 inches of the floor of a tub
within 60 inches of a stair landing
within 60 inches vertically and 60 inches horizontally of a pool
at door glazing

Further evaluation and correction recommended by qualified contractor.

J. Stairways (Interior and Exterior) Wood stairs with metal handrails, Handrails missing (Safety)

Correction recommended by qualified contractor.

K. Fireplaces and Chimneys Prefab,

1. Observed chimney pulling away from structure.

Further evaluation and correction recommended by a qualified contractor to prevent further damage, pest intrusion, and water intrusion .

2. Unable to test fire place due to being a wood-burning fireplace.

L. Porches, Balconies, Decks, and Carports Wood,

Observed rusting protruding nails from walking surface (safety issue).

Correction recommended by a qualified contractor.

M. Fences / Gates Wood Fence, Damaged fence observed

Correction recommended by qualified contractor



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

Summary (continued)

M. Fences / Gates (continued)

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels Aluminum,

1. Main electrical panel breakers not clearly labeled.

Occupant will be unable to determine breaker configuration (with respect to property electrical systems) with no breaker labels.

Correction recommended by qualified contractor.

2. No anti-oxidant paste observed at main electrical aluminum cables in panel.

Anti oxidant paste is recommended for aluminum cables because (without the paste) aluminum can overheat & become fire hazard.

Further evaluation & correction recommended by qualified contractor.

3. Observed ground wires & neutral wires connected to the same busbar - potential safety item

Further evaluation and correction recommended by qualified contractor

B. Branch Circuits, Connected Devices, and Fixtures Copper,

1. Electrical covers missing from outlets (multiple).

Correction recommended by qualified contractor.

2. Observed electrical connections not made in junction box - safety item.

Correction recommended by qualified contractor

Type of Wiring:

C. AFCI (Arc Fault Circuit Interrupter) Arc Fault Circuit Interrupter: Required at by current building standards, Observe no installed AFCI (Arc Fault Circuit Interrupt) device protection, as required by current building standards, for all: family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreations rooms, closets, hallways, or similar rooms or areas.

AFCI devices are intended to protect against fires caused by electrical arcing faults in the homes wiring.

Arc faults are a common cause of residential electrical fires.



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

Summary (continued)

C. AFCI (Arc Fault Circuit Interrupter) (continued)

Arc faults can be created by damaged, deteriorated, or worn electrical plugs, cords, and/or branch circuit conductors.

As of September 1, 2008, the State of Texas has adopted the 2005 NEC, which includes this requirement, as the minimum standard for all non-exempt electrical work.

Homes built between 2002 and late 2008, generally were only required to have arc fault protection for bedroom circuits.

However, the current TREC standard of practice requires inspectors to indicate that a hazardous or deficient condition exists if any home does not have this protection, regardless of date the home was constructed

Correction recommended by qualified contractor.

D. GFCI (Ground Fault Circuit Interrupter) GFCIs (Required) Locations: Kitchen, Bathrooms, & Garage, Missing GFCIs observed at time of inspection (kitchen, bathrooms, & garage).

GFCIs are recommended for fire & electrical shock prevention.

Correction recommended by qualified contractor.

E. Smoke / Carbon Monoxide Detectors Kiddie,

Missing carbon monoxide detector at time of inspection.

Carbon monoxide detectors protect against harmful, colorless, odorless exhaust gas carbon monoxide.

Correction recommended by qualified contractor to ensure safety.

F. Doorbell Exterior (front entrance to property),

Doorbell not operating at time of inspection.

Further evaluation & correction recommended by qualified contractor.

G. Light Fixtures Interior / Exterior,

Observed no cage / guard for closet and attic light bulbs- safety item.

Correction recommended by qualified contractor

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment Concord,

1. No gas (utility) on at property - unable to test

2. No sediment trap observed / installed at furnace at time of inspection.

Purpose of sediment trap is to capture debris / sediment in natural gas before the gas enters the furnace.

Page 112 of 115

REI 7-6 (8/9/21)

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Client: Edwin Jimenez



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

Summary (continued)

A. Heating Equipment (continued)

Correction recommended by qualified contractor.

3. Observed wires passing through furnace without protective grommet.

Correction recommended by a qualified contractor to prevent wire damage. Type of System: Forced air

Energy Source: Natural gas

B. Cooling Equipment Concord,

Service recommended (before real estate transaction completed) for all HVAC systems 10+ years or older.

This system was manufactured in 2011 (12 years old).

The average life span of A/C units is 15 years.

1. Damaged insulation at A/C line (exterior).

Insulation helps optimize A/C efficiency.

Correction recommended by qualified contractor. Type of System: Central A/C

D. Duct Systems, Chases, and Vents Insulated flex,

1. Damage observed at air supply duct in the attic.

Correction recommended by qualified contractor.

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems and Fixtures Copper,

1. Observed damaged water meter casing lid.

Correction recommended by a qualified contractor to prevent unwanted debris entering water meter casing.

2. No vacuum breaker on outside hose bib.

Vacuum breaker prevents back siphoning of outside water into indoor plumbing.

Correction recommended by qualified contractor.

3. Observed uninsulated water pipe at hose bib.

Correction recommended by qualified contractor to prevent freezing .

4. Observed insufficient water pressure.

Page 113 of 115



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

Summary (continued)

A. Plumbing Supply, Distribution Systems and Fixtures (continued)

Further evaluation and correction recommended by a qualified contractor. Location of water meter: The water meter is located at the front curb of home. Location of main water supply valve: The main water supply is located at the left side of the home (see photo). Static water pressure reading: 40-80 psi (normal range) Type of supply piping material: PVC

B. Toilets Flushing (Two-Piece) Toilet,

1. Observed toilet loose at floor mounting.

Correction recommended by qualified contractor.

2. Toilets not sealed completely at floor interface (multiple).

Correction recommended by qualified contractor

C. Sinks Built In Sink, 1. Observed sink cabinet damage.

Correction recommended by a qualified contractor.

2. Observed missing sealant at sink and countertop interface.

Correction recommended by a qualified contractor to prevent moisture damage .

D. Bathtubs & Showers Built In bathtub / shower,

Observed caulking or grout missing or damaged at bathtub / shower.

Correction recommended by qualified contractor to minimize possible moisture intrusion.

C. Water Heating Equipment Reliance,

1. No sediment trap observed / installed at hot water heater at time of inspection.

Purpose of sediment trap is to capture debris / sediment in natural gas before the gas enters the water heater.

Correction recommended by qualified contractor.

2. No gas (utility) on at property - unable to test Energy Source: Natural gas Capacity: 40 Gallon

E. Gas Distribution Systems and Gas Appliances Gas Meter,

1. Observed no electrical bonding at gas meter.

Electrical bonding is the practice of intentionally electrically connecting all exposed metal items not designed to carry electricity in a room or building as protection from electric shock.



Report Identification: 12223 Kingslake Forest Dr - Houston, TX 77044

Summary (continued)

E. Gas Distribution Systems and Gas Appliances (continued)

Further evaluation and correction recommended by qualified contractor

2. No gas (utility) on at property - unable to test Location of gas meter: Exterior surface mount at rear side of home Type of gas distribution piping material: Metal

V. APPLIANCES

A. Dishwashers Hotpoint,

Standing water observed in dishwasher

Further evaluation and correction recommended by qualified contractor

B. Food Waste Disposers In-Sinkerator,

1. No high (anti-siphon) loop on drain secured to underside of sink counter.

The dishwasher discharge (drain) line needs to be elevated above the inlet to disposal or drain pipe so that it has an air gap to prevent debris and gray water from draining down line from disposal or drain pipe and back into dishwasher.

Correction recommended by qualified contractor

2. Observed food waste disposer loud during operation (possible loose item in sink).

Correction recommended by qualified contractor.

H. Dryer Exhaust Systems Metal flex,

1. Observed dryer exhaust vent located within 3 feet of gas meter (possible safety issue).

Further evaluation and correction recommended by a qualified contractor.

2. Dryer exhaust vent cover (at exterior) not sealed / secured properly.

Correction recommended by qualified contractor to minimize potential of pest / moisture intrusion.