

T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)

Date: 3/24/23

GF No. _____

Name of Affiant(s): Mark T Thompson, Elizabeth A Thompson

Address of Affiant: 6120 Southwell Ln, League City, TX 77573

Description of Property: WESTOVER PARK SEC 9 (2007) ABST 606, BLOCK 1, LOT 24, ACRES 0.276

County GALVESTON, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners."):

2. We are familiar with the property and the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.

4. To the best of our actual knowledge and belief, since _____ there have been no:
a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
b. changes in the location of boundary fences or boundary walls;
c. construction projects on immediately adjoining property(ies) which encroach on the Property;
d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

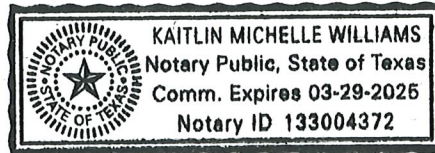
EXCEPT for the following (If None, Insert "None" Below): Small cement slab for pool header

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Mark T Thompson
Mark T Thompson

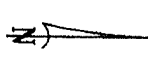
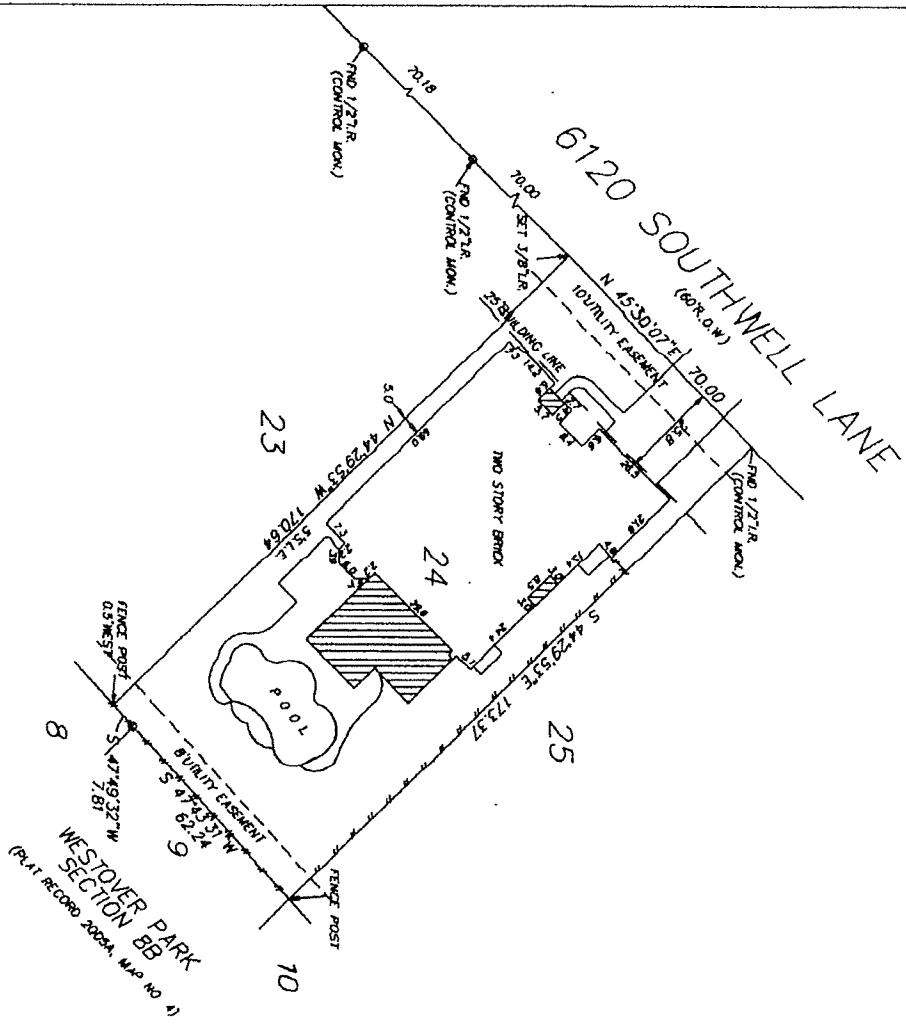
Elizabeth A Thompson
Elizabeth A Thompson



SWORN AND SUBSCRIBED this 24th day of March

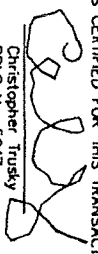
Kaitlin Williams
Notary Public
Kaitlin Williams


(TXR-1907) 02-01-2010



A SURVEY OF LOT 24 IN BLOCK 1 OF WESTOVER PARK, SECTION 9, A SUBDIVISION
 IN GALVESTON COUNTY, TEXAS.
 According to the map or plot thereof recorded in Plot Record 2006A, Map No. 115
 of the Map Records of Galveston County, Texas.
 Scale: 1 inch = 50 feet

To: First Rate Financial, Michael Higgins, Casey Higgins
 and Superior Abstract and Title, LLC, exclusively;
 I, Christopher Trusky, Registered Professional Land Surveyor
 in the State of Texas, hereby certify that this plot represents
 a survey made on the ground under my direction and super-
 vision on November 20, 2015. At the time of this survey there
 were no encroachments, conflicts or protrusions apparent on
 the ground, EXCEPT AS SHOWN. This survey was performed
 in connection with the transaction described in G.F. No.
 SP-032380 of Superior Abstract and Title Co. upon which
 surveyor relief for all matters affecting the subject property.
 THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY.


 Christopher Trusky
 RPLS No. 5247
 The Land Survey Co. LLC
 Firm Reg. No. 10045700
 ZBT-538-4008



Note:
 According to FIRM Community Panel No. 4854890025D, dated
 09/22/1999, this property lies in Flood Zone 'X', which is
 considered to be outside the Special Flood Hazard Area. Surveyor
 makes no representation as to whether or not this property may flood
 and monumented.
 Basis of bearings is the right of way of Southwell Lane, as plotted