

PROPERTY INSPECTION REPORT

Prepared For: **Elaine Wilson**

(Name of Client)

Concerning: **227 Rose Gum Ct. Willis, TX 77318**

(Address or Other Identification of Inspected Property)

By: **Rodney Sims / Lic # 10271**

(Name and License Number of Inspector)

09/03/21 / 10:00

(Date / Time)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

**Inspection and Report by:
(Real Estate Inspection Specialist)**



Occupied Vacant PRESENT AT INSPECTION: **Buyer /**

Weather Condition at Time of Inspection

Clear Overcast/Hazy Cloudy Rainy Snow/Ice

Outside Temperature: Arrival **86° F.** Departure: **91° F.**

NOTE: -Portions of this report were dictated using speech-to-text technology. On occasion, the software 'can' translate incorrect words and/or phrases. (If there is any question regarding any text in the report, please contact the inspector at 713-829-7732.)

NOTE (Regarding PHOTOS in the report) The photos provided in this report SHOULD NOT be considered representative of the 'only' -or- 'most significant' items in the report. (The photos provided are merely for 'visual reference' of random items in the report.)

NOTE (Regarding bedroom numbering) In this Report, Bedrooms (except for the Master) are 'numbered' from 'right to left', around the house. (IE: bedroom-1, bedroom-2, etc...)

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The Inspection Report is copyrighted (including, when applicable, any addenda and test results) and is prepared for the exclusive use and benefit of the Client unless otherwise specified by law. This report is non-transferable and may not be used or relied upon by other parties without the written consent of both the Client listed and Real Estate Inspection Specialist.

Photo of Subject Property:



I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

I	NI	NP	D	Inspection Item
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I. STRUCTURAL SYSTEMS

A. Foundations

TREC 'Required' Information: Type of Foundation(s): **'Post Tension' Slab-on-Grade**
Crawl Space Inspected From: **Not Applicable for a Slab**

NOTE: If the client has additional concerns regarding specific components of the foundation system, it is recommended that the client contact a competent professional Structural Engineer.

Comments: *(An opinion on performance is mandatory):*

-In the 'opinion' of the Inspector, based on the observations made, the foundation IS performing adequately on the day of the inspection.

NOTE: Other tradesmen, foundation companies or engineers may have a different opinion regarding the current foundation performance.

-In the 'opinion' of the Inspector, based on the observations made, the foundation IS performing adequately on the day of the inspection.

NOTE: Other tradesmen, foundation companies or engineers may have a different opinion regarding the current foundation performance.

-The sides of the foundation were left unfinished, in a very rough unsightly manner in several locations.

-Just 'some' of these locations are listed and/or pictured below:

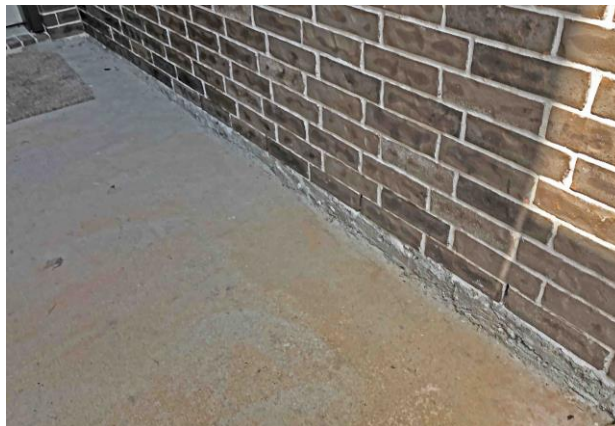
-On the right side of the entry.

-On the right side of the house, behind the fence.

-On the right side of the house the lower part of the foundation is visible where it protrudes outward a very notable amount and is very unsightly.

NOTE: -In the areas on the side of the foundation with the very rough unfinished appearance, the inspector highly recommends that a 'parge coat' or 'skim coat' of concrete is placed over the surface of those areas, as is commonly done by Chesmar Homes.

(Just 'some' areas are pictured below)



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-On the right side of the property the slope of the grade was measured at 26.0 degrees (or 48.77 percent) which is considerably greater than 33.3 percent whereby building code requires an embedment and setback from the slope surface sufficient to provide vertical and lateral support for the footing without detrimental settlement, however no setback from the slope is present. Additionally, the inspector has no manner to determine whether the foundation footing adjacent to the slope surface is founded in material with an embedment, as required by code.

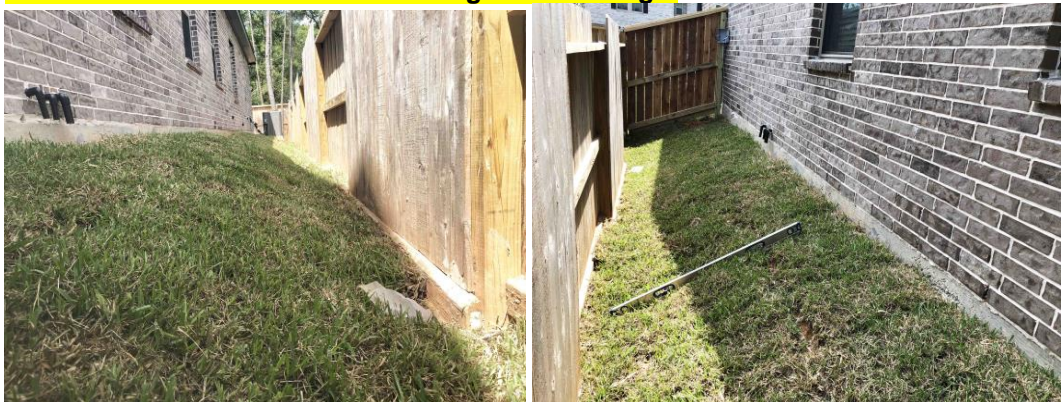
CODE REFERENCE: R403.1.7 Footings on or adjacent to slopes.
 "The placement of buildings and structures on or adjacent to slopes steeper than one unit vertical in three units horizontal (33.3-percent slope) shall conform to Sections R403.1.7.1 through R403.1.7.4."

CODE REFERENCE: R403.1.7.2 Footing setback from descending slope surfaces.
 "Footings on or adjacent to slope surfaces shall be founded in material with an embedment and setback from the slope surface sufficient to provide vertical and lateral support for the footing without detrimental settlement."

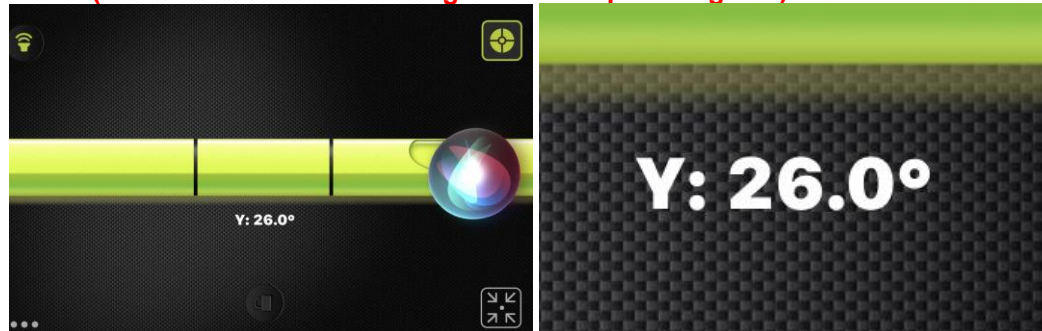
-This issue is required to be referred back to the Engineer of Record for the home to ensure that the foundation was engineered properly and adequately to meet all building code requirements for the slope present directly at the side of the foundation.

NOTE: -The inspector recommends that the Engineer of Record for the home provide a letter for the client stating that the foundation was engineered properly and adequately to meet all building code requirements for the slope present directly at the side of the foundation.

CODE REFERENCE: R301.1.3 Engineered design.



(Photos of the measured angle of the slope in degrees)



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NOTICE: Home Inspector's are NOT foundation 'experts'. A Home Inspector functions as a 'Generalist'. TREC mandates that the licensed inspector render an 'opinion' on the 'performance' of the foundation, which is unreasonable and often impossible to meet. That 'opinion' is based on his training, knowledge, experience and factors present and visible only at the time of the inspection. Actual foundation 'performance' is not black and white, but varying shades of grey and subject to interpretation. Additionally, fully defining the current performance of any foundation requires a 'starting point of reference' (original construction) to compare to the current state of the foundation and the inspector does not possess any information regarding the foundation at the time of original construction.

If there is additional concern regarding the performance of the foundation by the client, the inspector HIGHLY RECOMMENDS that the client consult with a 'Highly Competent Licensed Structural or Professional Engineer'.

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B. Grading and Drainage

Comments:

NOTE: -The property appears to have the drainage type to facilitate both "to the front" and "to the back" drainage.

-There is an insufficient Drainage of the property in the back yard and along both sides of the property toward the back or toward the front. The slope of the swale does not toward the back and/or the front properly/adequately. (Surface water is required to be directed to a storm sewer or an approved collection point.)

NOTE: -Proper 'swales' or underground drains are required to be present in the backyard draining toward the back right and back left corners of the house, and an adequate distance from the house, then from the back right and back left toward the street or toward the back on both sides.

NOTE: -There is 'no' building code which refers to standing water for more or less than 48-hours.

NOTE: -Drainage and swale slope analysis was performed with a Structural Engineer quality Technidea CompuLevel Pro-2000 gas level.

-The results of the drainage / swale slope measurements are as follows.

-From the base of the back swale on the Left side adjacent to the front left corner of the house:

- Base point 0.0 inches.
- To a point 10 feet toward the back - 0.3 inches.
- To a point 20 feet toward the back - 0.8 inches
- To a point 30 feet toward the back - 1.0 inches
- To a point 40 feet toward the back - 1.9 inches

-As indicated by the measurements above, from the front Left corner of the house, in the first 40-feet toward the back there is only a drop of -1.9 inches, which is essentially flat over a distance of 40 feet.

-From the base of the back swale on the Right side beginning immediately behind the side fence:

- Base point 0.0 inches.
- To a point 10 feet toward the back - 2.2 inches
- To a point 20 feet toward the back - 0.8 inches
- To a point 30 feet toward the back - 0.0 inches
- To a point 40 feet toward the back + 0.6 inches

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- To a point 50 feet toward the back - 1.0 inches
- To a point 60 feet toward the back + 0.4 inches
- To a point 70 feet toward the back - 3.6 inches

-As indicated by the measurements above, from the Right side of the house beginning behind the fence, in the first 60-feet toward the back the slope is inconsistent and goes upward and downward in several areas, but is 'overall' basically flat and will not facilitate proper/adequate drainage toward the front or toward the back.

-There are two underground drains present on the Right side of the property however they are not present in locations which will properly/adequately drain the surface runoff water at the base of the steep long slope, as required by code. There are also not a sufficient number of underground drains present on the Right side of the property. (The only two underground drains on the Right side of the property are positioned roughly 7 feet behind the side fence and roughly 51 feet behind the side fence.)

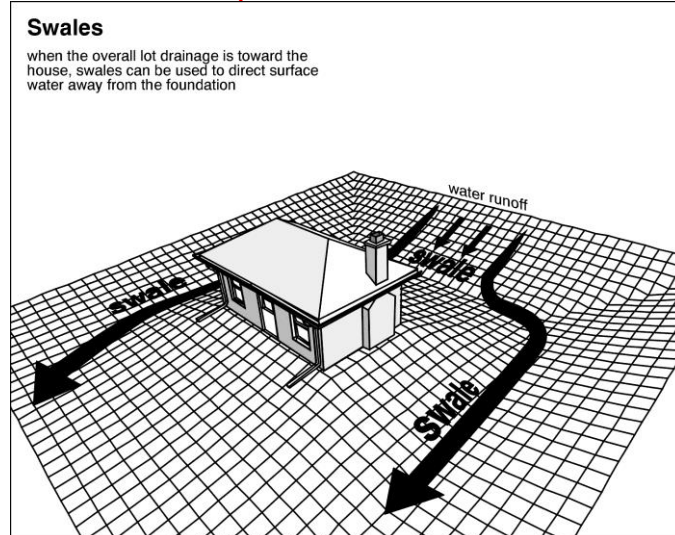
-There are two underground drains present on the Left side of the property however they are not present in locations which will properly/adequately drain the surface runoff water, as required by code. There are also not a sufficient number of underground drains present on the Left side of the property. (The only two underground drains on the Left side of the property are positioned roughly 27 feet behind the side fence and roughly 58 feet behind the side fence.)

CODE REQUIREMENT: IRC R401.3 Drainage. (paraphrased)

-The surface water drainage shall be diverted to a storm sewer conveyance or other approved point of collection as to not create a hazard. Lots shall be graded to drain surface water away from foundation...

Exception: Where lot lines, walls, slopes or other physical barriers prohibit a fall of 6 inches within 10 feet, the final grade shall slope away from the foundation at a minimum slope of 5 percent and the water shall be directed to 'drains or swales' to ensure surface water drainage away from the structure.

**(SEE diagram below for 'proper' use of Swales fro Drainage Type-A)
(all toward the front) to direct water to a Collection Point**



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-The termination point of the underground drains on the right side of the property is that the back of the property but was buried beneath the mulch, whereby the inspector had to dig it out to find it.

-Additionally, when the inspector performed a test by placing a water hose at one of the drains on the right side, water began to back up above the drain because the 'pop up' portion of the drain output did not 'pop up' as it is designed to thus it did not release an adequate amount of water.

-Additionally, the 'pop up' output of the drain was positioned significantly too low in the mulch and will likely become buried again.

-The termination point of the underground drains on the left side of the property was not located but is most likely buried somewhere underneath the mulch.

-Additionally, the 'pop up' output of the drain is likely positioned significantly too low in the mulch and will likely become buried again.

-Due to the steep grade on the right side of the property, as much 26 degrees, the surface runoff water drainage will flow directly onto the adjacent neighbor's property, which is most generally not allowed. There are only 2 underground drains present on the right side of the property which are not adequate to catch all of the surface runoff water to prevent impacting the adjacent property.

NOTE: -The inspector highly recommends that the client obtained the original Plot Plan from the builder to verify whether the slope on the right side of the property was designed and intended to be a 26 degree downward slope.

-Additionally, the inspector recommends that code requirements and laws allow the surface water runoff to drain onto an adjacent neighbors property.



-The ground has an insufficient grade (downward slope) from the side of the foundation on the left side of the home, in the area where the distance between the foundation and the lot line is less than 10-feet from the foundation.

NOTE: -A minimum slope of 5 percent (5/8 inch per foot or 3 inches in 5 feet) is required when the lot line is within 10 feet of the foundation.

NOTE: -In areas with expansive soils, inconsistent moisture content next to foundations is the main cause of foundation movement and possible failure.

-The required 6-inch downward slope with the first 10-feet of the foundation is 'commonly referred to' as the Protective Slope, for this reason.

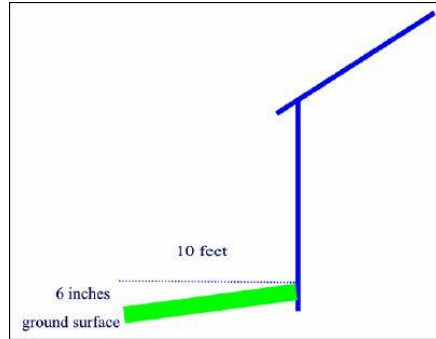
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CODE REQUIREMENT: IRC R401.3 Drainage. (paraphrased)

Exception: Where lot lines, walls, slopes or other physical barriers prohibit a fall of 6 inches within 10 feet, the final grade shall slope away from the foundation at a minimum slope of 5 percent and the water shall be directed to 'drains or swales'...

(SEE diagram below for 'proper' Grading as per Building Code)



-On the left side of the property there was notable water ponding and mud present on the day of the inspection beginning roughly 43 feet behind the fence and extending to a point roughly 62 feet behind the fence, adjacent to the back left corner the house.



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-On the left side of the property there was a very notable amount of mud and soggy soil in front of the side fence for a distance of roughly 7-8 feet.



-On the left side of the home in some areas where the water ponding or mud was present there was a notably strong odor apparently due to the period of time the water had been standing.

-There is a large amount of erosion under the outer portion of the air conditioner pad. This unstable condition may lead to the air conditioning condenser tilting, which is not allowed by the air conditioning condenser manufacturer.

NOTE: -Due to the extreme grade on the right side of the air conditioning condenser pad where the erosion is present, the inspector recommends filling that area with concrete.

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-There is no splash block at all three of the rain gutter downspouts in the front.

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C. Roof Covering Materials

TREC 'Required' Information: Viewed From: **Walked most surfaces**

Types of Roof Covering: **Composition** Levels NOT accessed: **N/A**

Evidence of 'Previous Repairs' to Roof Coverings and Flashings: **No**

Shingle Fastening Method: **Unable to Observe**

Comments:

NOTICE: The inspector makes a reasonable effort to physically access and inspect as much of the roof as possible. If certain areas cannot be physically accessed, the inspector utilizes high powered binoculars from the ground. However, there are occasionally areas which still cannot be visualized due to roof height, vantage point or other factors. If the client has additional concerns about the roof the inspector recommends that the client contact a roofing company.

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-At the roof rake on the right side of the front porch, at the portion of the roof rake that extends out roughly 8 inches past the wall, that area should have a flashing over the shingles that also turns down on the back of the fascia board.



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D. Roof Structures and Attics

TREC 'Required' Information (Attic): Viewed From: **Walked deck or safe area**
 Approximate Average Depth of Insulation: **12-13**

Comments:

NOTICE: -In 'any' house, the inspector is NOT able to observe or inspect 'all' of the attic space. Although the inspector strives to perform quality, proper inspections, this limits the inspector's ability to perform a full inspection in all areas.

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NOTE: The insulation has a rating of R-38 (according to the posted sign), which is 'greater than' the minimum required insulation rating of R-30.

NOTE: The roof decking material is the 'energy efficient' Tech Shield, reflective type.

-In several attic areas the insulation depth was notably less in the required 12.75 inches and most of these areas were generally aligned with an area three feet in front of the water heaters, past the end of the attic floor decking, extending toward the back of the house roughly 25 feet.

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E. Walls (Interior and Exterior)

Comments:

-At several/numerous locations there was brick mortar and brick mortar residue on the brick at the window sills and any other locations. (An acid wash may be required to remove the brick mortar residue.)

(Just 'some' areas are pictured below)



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-At several/numerous locations at the bottom row of the brick, the brick mortar overlaps the side of the foundation a very considerable amount in a very unsightly manner.

-Just 'some' of these locations are listed and pictured below:

-At the base of the wall of the back porch.

-In the back of the home, behind the master bedroom area the brick mortar on the lowest course of brick overlaps the side of the foundation substantially and was never cleaned off or removed.

-Around the back patio in many locations.

(Just 'some' areas are pictured below)



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 F. Ceilings and Floors

Comments:

 G. Doors (Interior and Exterior)

Comments:

-The permanent front door and door sill were not installed yet.

-At the double doors to the bathroom the roller latch that the top of the left door is not functional or appears it may be missing.

 H. Windows

Comments:

-In the first bedroom on the right at the window, the left window latch is tremendously difficult or impossible to latch.

 I. Stairways (Interior and Exterior)

Comments:

 J. Fireplaces and Chimneys

Type: Fuel Source:

Comments:

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K. Porches, Balconies, Decks, and Carports

Comments: *Note: Structural load capabilities were not inspected*

-The Left side of the back porch (by the grass) slopes downward toward the outer edge 2.3 inches over a distance of 7.5 feet, which is 'greater' in the allowed maximum amount of 1.875 inches.

NOTE: -The maximum slope for a landing at an exterior door is 1/4 inch per foot.

-The patio is 7.5 feet deep, considering the allowed slope of 1/4 inch per foot, the maximum allowed drop over that distance is 1.875 inches.



NOTE: -The Right side of the back porch (the side where the back door is located) slopes downward toward the outer edge 1.8 inches over a distance of 7.5 feet, which is 'within' code requirements.

NOTE: -The maximum slope for a landing at an exterior door is 1/4 inch per foot.

-On the left end of the back patio, there is a notable chunk out of the concrete.



L. Other

Comments:

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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

-The grounding electrode is not driven into the ground for the full eight feet length of the grounding rod, as required.



-There is only 'one' Grounding Electrode present on the exterior of the residence, however 'two' electrodes are required by current National Electric Code.

CODE REFERENCE: NEC 250.53 (A)(2) Supplemental Electrode

NOTE: It appears there was an attempt to utilize a 'concrete encased electrode' (rebar or copper wire in the foundation) as the supplemental electrode, however, this does NOT conform to National Electric Code because this foundation has a vapor barrier (plastic) under it. (The vapor barrier prevents the concrete from being in direct contact with earth.) (See the following NEC Code reference regarding foundations with vapor barriers underneath.)

CODE REF.: NEC 250.52.3 (Informational Note)

(Concrete installed with insulation, vapor barriers, films or similar items separating the concrete from the earth is NOT considered to be in "direct contact" with the earth.) Thus it is NOT a 'valid' Concrete Encased Electrode.

NOTE: -The State of Texas has adopted the current National Electric Code and the above stated electric codes apply to 'the entire state'.

NOTE: -A second grounding electrode can 'very easily' be added on the outside of the house 6-feet away from the first one and connected to it with a 6-gauge wire.

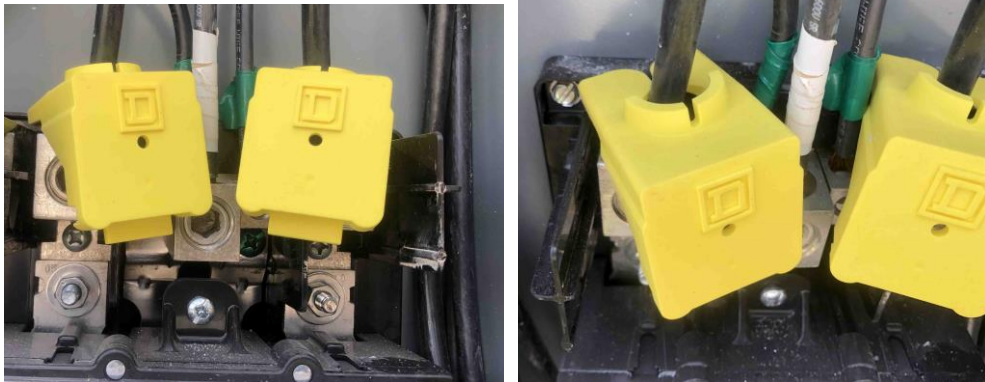
PRIMARY PANEL (outside the house):

NOTE: 125-Amp Service

-The service entrance barriers are loose and crooked and not installed properly, as specified and required by the manufacturer.

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-The bonding clamp on the bonding bushing is extremely loose.

-The metal conduit between the meter can and the primary panel is very loose because the nut on the conduit inside the primary panel was not tight.



SUB PANEL (in the garage):

NOTE: 125-Amp Service

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B. Branch Circuits, Connected Devices, and Fixtures

TREC 'Required' Information: Type of Wiring: **Copper**

Comments:

WIRING:

NOTE: -The inspector was not able to determine the function of the second light switch in the den area.

RECEPTACLES:

-In the garage, there is not at least one '20-Amp' DEDICATED branch circuit and receptacle (on 12 gauge wire) from a dedicated 20-Amp breaker, in 'each' garage, PER VEHICLE BAY, as is required as of 2020 NEC National Electric Code. (The 2020 NEC code states that "Each of these circuits and receptacles shall serve no other outlets, except for 'outside' outlets".)

NOTE: -The 20 amp receptacle in the garage for the sprinkler system does not qualify as one of the required 'dedicated' 20 amp receptacles in the garage because that receptacle is already being used by the sprinkler system.

CODE REFERENCE 2020 NEC 2010.11 (C) (4) Garage Branch Circuits (which as of 2020 NEC also refers to the following)

CODE REFERENCE 2020 NEC 2010.52 (G) (1) Garages

-In the laundry room, the receptacle on the wall adjacent to the washer/dryer area is not GFCI protected. (The breaker for this receptacle is AFCI protected but not also GFCI protected, as is required.)

LIGHTS:

-In the attic, there is not adequate illumination (light) at the heating and cooling system, as is required. This is in part because the cooling system evaporator coils are roughly 18 feet from the only light fixture in the attic.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Heating (Unit-1):

TREC 'Required' Information: Type of Systems: **Furnace** Energy Sources: **Gas**

Comments: (Unit-1)

Heating (Unit-2):

Comments: (Unit-2)

Heating (Unit-3):

Comments: (Unit-3)

Note: Gas furnace heat exchangers cannot be thoroughly inspected without disassembly.

I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

I	NI	NP	D	Inspection Item
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 B. Cooling Equipment

Cooling (Unit-1):

TREC 'Required' Information: Type of Systems: **Conventional**

Cooling Test Results: Return Temp. **73** Supply Temp. **60** Differential **13**

Comments: (Unit-1)

NOTE: Condenser Brand=Lennox Model= ML14XC1-041-230A03 3.5-TON System

-The 'temperature differential' taken in the attic across the coil was only 13 degrees. (This is 'BELOW' the required 15-20 degree temperature differential range)

NOTE: -Based on the inspector's experience, and in the inspector's opinion, when the Delta-T is measured at the cooling system across the coil, the Delta-T should actually be a number in the upper teen range.)

NOTE: This 'generally' indicates that the unit needs to be serviced and that refrigerant (freon) may need to be added.

-The only thermostat in the home is located in the master bedroom, which, in the inspectors 'opinion' is an extremely ineffective, inefficient location.

Cooling (Unit-2): Cooling Test Results: Return Temp. Supply Temp. Differential

Comments: (Unit-2)

Cooling (Unit-3): Cooling Test Results: Return Temp. Supply Temp. Differential

Comments: (Unit-3)

 C. Duct Systems, Chases, and Vents

Comments:

NOTICE: -In 'any' house, the inspector is NOT able to observe or inspect 'all' of the ductwork. Additionally, duct 'air leaks' are generally 'very difficult', if not impossible to observe.

NOTE: The ductwork is high efficiency R-8 insulated ductwork.

NOTE: -One of the HVAC systems has a 'Fresh Air Supply' duct with an electronic damper to pull fresh air from the outside of the home. (Some Fresh Air Supply electronic dampers are connected to a timer which allows you to specify the number of minutes the duct should be open, each time the HVAC system turns on.)

NOTE: This HVAC system uses a high quality, fresh air intake control appliance that monitors and controls the temperature and humidity of the fresh air intake.

NOTE: -The HVAC System utilizes high quality 'Media Air Filters'. (These are installed in the attic, directly at the equipment and are usually about 4-Inches wide. Most media filter manufacturers recommend changing them about once every 6-months.)

-When media filters are present, almost all HVAC companies recommend that regular air filters NOT also be used in the individual return grills. (This can cause too much restriction in the air flow and reduce the efficiency of the system.)

I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

I	NI	NP	D	Inspection Item
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IV. PLUMBING SYSTEMS

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A. Plumbing Supply, Distribution Systems and Fixtures

TREC 'Required' Information: Static water pressure reading: **57 PSI**
 Location of water meter: **Street** Location of main water supply valve: **Garage**

Comments:

NOTE: -The plumbing type is Pex.

-In the attic, some of the Pex plumbing was not protected from freezing (insulated) as is required by the manufacturer.

(Just 'some' areas are pictured below)



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B. Drains, Wastes, and Vents

Comments:

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C. Water Heating Equipment

Water Heating (Unit-1):

TREC 'Required' Information: Energy Sources: **Gas** Capacity: **40-Gal**

Comments: (Unit-1)

NOTE: Water Heater-1 was 40 gallons gas.

Water Heating (Unit-2):

TREC 'Required' Information: Energy Sources: **Gas** Capacity: **40-Gal**

Comments: (Unit-2)

NOTE: Water Heater-2 was 40 gallons gas.

I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

I	NI	NP	D	Inspection Item
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 I. Other

Comments:

I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

I	NI	NP	D	Inspection Item
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VI. OPTIONAL SYSTEMS

 A. Landscape Irrigation (Sprinkler) Systems

Comments:

NOTE: -All of the irrigation system (sprinkler system) zones were tested and all zones appeared to function properly.

 B. Swimming Pools, Spas, Hot Tubs, and Equipment

Comments:

 C. Outbuildings

Comments:

 D. Private Water Wells (A coliform analysis is recommended.)

Comments:

 E. Private Sewage Disposal (Septic) Systems

Comments:

 F. Other

Comments:

Important Limitations and Disclaimers

This Property Inspection Report reports on only the items listed and only on the current condition of those items as of the date of inspection. This report reflects only if the items inspected are observed to be “operable” or “inoperable” at the time of inspection; that is whether such items are observed to serve the purpose for which they are ordinarily intended, at this time. This report reflects only those items that are present, accessible, visible and reasonably observable at the time of inspection. NO RERPRESENTATION OR COMMENT is made concerning any latent defect or defects not reasonably observable at the time of the inspection or of items which require the moving or removal of objects or permanent coverings. For example, but without limitation, recent repairs, painting or covering may conceal prior or present leak damage which is not reasonably observable by the inspector and no representation or comment can be made. NO REPRESENTATION IS MADE CONCERNING ANY OTHER CONDITION OR THE FUTURE PERFORMANCE OF ANY ITEM. NO REPRESENTATION IS MADE AS TO ITEMS NOT SPECIFICALLY COMMENTED UPON. If a comment is made concerning the condition of any item, the Client is URGED to contact a qualified SPECIALIST to make further inspections or evaluations of that item. Client must notify Real Estate Inspection Specialist in writing of any complaints within seven (5) days of the date of inspection and must thereafter allow prompt re-inspection of the item in question. Real Estate Inspection Specialist reserves the right to ‘amend’ this Property Inspection Report, within 5-days of the inspection date, in the event the inspector deems a revision, correction or addition to this report is necessary. All items contained or implied in this Report are subject to any Pre-Inspection Service Agreement which may have been signed by the Client and Real Estate Inspection Specialist. The Client, by accepting this Report or relying upon it in any way, expressly agrees to these Limitations and Disclaimers.

For more information concerning your rights, contact the Consumer Protection Division of the Attorney General's Office, your local District or County Attorney, or the attorney of your choice.

This inspection is essentially visual, it is not technically exhaustive, and it does not imply that every defect will be discovered. It is only a statement of opinion and/or condition as of and on the date indicated on this report.

INSPECTED BY: Rodney Sims LICENSE #: 10271

(Real Estate Inspection Specialist)

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A message from Rodney Sims:

I thank you for your trust and confidence in Real Estate Inspection Specialist.

I have built my company with the focus on ‘serving the client’, and providing the highest quality inspections and reports available (anywhere). I go the extra mile to guarantee your satisfaction.

If you are pleased with my service to you, I would appreciate your referral of my company to your friends and colleagues.

Thank you,

Rodney Sims (Owner / Inspector)

Real Estate Inspection Specialist

