

# *True Grit Home Inspection*

## Property Inspection Report



Inspector: Brandon Courmier

TREC 22460, TDLR MAC1497, TDA 0789621

25410 Morgan Dr, Tomball, 77375

Phone: 832.418.1270

Email: [brandon@truegrithomeinspection.com](mailto:brandon@truegrithomeinspection.com)

11822 Sardis Lake Dr, Tomball, TX 77375

Inspection prepared for: Nicole Leatherman

Real Estate Agent: Elizabeth Triplett - Walzel Properties

Date of Inspection: 4-20-2023 Time: 2:00 PM

Age of Home: 2003 Size: 1552

Weather: 84f Overcast rain

042023BC2

Home, WDI



**PROPERTY INSPECTION REPORT FORM**

Nicole Leatherman

*Name of Client*

4-20-2023

*Date of Inspection*

11822 Sardis Lake Dr, Tomball, TX 77375

*Address of Inspected Property*

Brandon Courmier

*Name of Inspector*TREC 22460, TDLR MAC1497, TDA  
0789621*TREC License #**Name of Sponsor (if applicable)**TREC License #***PURPOSE OF INSPECTION**

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

**RESPONSIBILITY OF THE INSPECTOR**

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component OR constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

**RESPONSIBILITY OF THE CLIENT**

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

**REPORT LIMITATIONS**

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

**NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR****TRUE GRIT HOME INSPECTION, PLLC. SERVICE AGREEMENT  
THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT**

BETWEEN YOU THE CLIENT AND TRUE GRIT HOME INSPECTION, PLLC. , ITS SUBSIDIARIES, AND ALL  
SUBCONTRACTORS SCHEDULED OR ARRANGED THROUGH US

**PLEASE READ CAREFULLY**

1. **SCOPE OF THE INSPECTION:** The inspector will perform a general, non-Invasive limited visual ("eyeball") inspection of the property structure at the address listed below to provide Client(s) with a written opinion as to the apparent general condition of the structure(s) components and systems at the time of the inspection. The inspection will be performed in a manner consistent with the "Standard of Practice" and "Code of Ethics" of "TREC" Texas Real Estate Commission and prepare a written report of the apparent condition of the readily accessible systems and components of the Property unless otherwise indicated existing at the time of the inspection. A copy of these Standards are readily available to the Client(s) at

[http://www.trec.state.tx.us/inspector/rules\\_governing\\_inspectors.asp](http://www.trec.state.tx.us/inspector/rules_governing_inspectors.asp)

Only systems and components that can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the Inspector will be inspected. Latent and concealed defects and deficiencies are excluded from the inspection, and Inspector is not liable for latent and concealed defects and deficiencies. Any area which is not exposed to view, concealed, is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings or other things, or areas/items which have been excluded by "TREC" Texas Real Estate Commission standards and/or by the agreement of the parties is not included in this inspection. The inspection does not include any destructive testing or dismantling. In the event that the property is a part of a condominium unit, such inspection will not include any other connected or external portions of a multi-unit building or any common areas covered by a joint use agreement or considered common areas.

2. **STANDARDS OF PRACTICE:** The parties agree that the Standards of Practice "TREC" Texas Real Estate Commission shall define the standard of duty and the conditions, limitations, scope, and exclusions of the inspection and are incorporated by reference herein.

3. **CLIENT'S DUTY:** Client agrees to read the entire report when it is received and promptly call the Inspector with any question or concern regarding the inspection or written report. The written report shall be the final exclusive findings of the Inspector. In the event client becomes aware of a reportable condition which was not reported by the Inspector, Client agrees to promptly notify Inspector and allow Inspector and/or Inspector's designated representative(s) to inspect said

condition'(s) before making any repair, alteration, or replacement.

4. **FURTHER EVALUATION:** Client acknowledges and agrees that the Inspector is a generalist and that further investigation of a reported condition by an appropriate certified licensed specialist may provide additional information that may affect a Client(s) decision to purchase the home. Client should seek further evaluation from licensed professionals regarding the deficiencies identified in the written report. Inspector is not liable for Client(s) failure to further investigate reported deficiencies.

5. **CHANGE IN CONDITION(S):** The parties agree and understand that conditions of systems and components may change between the inspection date and the time of closing. It is the Client's responsibility to further investigate before closing and the Inspector is not liable for any changes of conditions.

6. **NOT A WARRANTY:** The parties agree and understand the Inspector is not an insurer or guarantor against defects in the structure, items, components, or systems inspected. Client(s) understand that the inspection and inspection report does not constitute a guarantee or warranty of merchantability or fitness for a particular purpose, expressed or implied, or insurance policy, nor is it a substitute for real estate transfer disclosures which may be required by law. **INSPECTOR MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE PRESENT OR FUTURE FITNESS FOR USE, CONDITION, PERFORMANCE OR ADEQUACY OF ANY INSPECTED STRUCTURE, ITEM, COMPONENT, OR SYSTEM, THE PRESENCE OR ABSENCE OF LATENT OR HIDDEN DEFECTS THAT ARE NOT REASONABLY ASCERTAIN IN A COMPETENTLY PERFORMED HOME INSPECTION, OR THE REMAINING USEFUL LIFE OF ANY SYSTEM OR COMPONENT OF THE PROPERTY.**

7. **NOT AN APPRAISAL:** The Inspection will not include an appraisal of the value or a survey of building and/or property lines. This inspection or the inspection report may not be construed as an appraisal or survey and may not be used as such for any purpose.

8. **NOT A COMPLIANCE INSPECTION:** This inspection or inspection report is NOT a code compliance inspection or certification for past or present governmental codes or regulations.

9. **INSURABILITY:** The inspection or inspection report does not determine whether the property is insurable.

10. **THIRD PARTIES AND SUBROGATION:** The inspection and written report are performed and prepared for the sole and exclusive use and possession of the Client. No other person or entity may rely on the report issued pursuant to this Agreement. In the event that any person, not a party to this Agreement, makes any claim against the Inspector, its employees or agents, arising out of the services performed by the Inspector under this Agreement, or claims alleging in whole or part any negligent act or omission of the Inspector, the Client agrees to indemnify, defend, and hold harmless Inspector from any and all damages, expenses, costs, and attorney fees, arising from such a claim.

11. **LIMITATION OF LEGAL ACTION:** The parties agree that any legal action must be brought within one (1) year from the date of the inspection(s), or will be deemed waived and forever banned.

12. **LIABILITY:** The parties agree that True Grit Home Inspection, PLLC. and its employees and its agents assume no liability or responsibility for cost of repairing or replacing any defects specified in the written report, as well as no liability for the costs of further evaluation or investigation of the defects specified in the written report. Further, the parties agree and understand that the Inspector and its employees and its agents assume no liability for the costs of repairing or replacing any of the unreported defects or deficiencies either current or arising in the future or any property damage, consequential damage or bodily injury of any nature. In the event of a claim by the Client that an installed system, or component of the premises which was inspected by the inspector was not in the condition reported by the Inspector, the Client agrees to notify the Inspector at least 72 hours prior to repairing or replacing such system or component. If repairs or replacement are done without giving the Inspector the required notice, the Inspector will have no liability to the client. Client agrees that prior to taking any action, legal or otherwise, Client shall: submit a written claim to Inspection Company within 10 days of the deficiency discovery to 25410 Morgan Dr, Tomball TX 77375. The written claim shall describe the suspected deficiency. Allow the Inspection Company, their agent or legal representative to perform a re-inspection of the deficiencies stated in the claim. Agree to not to disturb or repair the disputed item prior to a re-inspection except in cases where injury or subsequent property damage may occur.

13. **DISPUTES AND ARBITRATION** In the event a dispute arises regarding an inspection that has been performed under this service agreement, Client(s) agree to notify True Grit Home Inspection, PLLC. within ten (10) days of the time of discovery to give True Grit Home Inspection, PLLC. a reasonable opportunity to re-inspect the property and resolved the dispute amicably. Upon the request of either party, all unresolved disputes relating to this agreement shall be submitted for arbitration in accordance with (AAA) American Association of Arbitrators and pursuant to the Federal Arbitration Act then in effect with costs shared equally. This provision shall be specifically enforceable and damages for breach of this provision shall include but not limited to court costs and attorney's fees. Client agrees that True Grit Home Inspection, PLLC. and its agents' liability, if any, shall be limited to the amount of the inspection fee paid for inspection. This limitation shall apply regardless of the cause of action or the legal theory pled or asserted specifically including, but not limited to, negligence.

14. **SEVERABILITY:** If any court of competent jurisdiction determines that any section, provision or part of this

Agreement is void, unenforceable, or contrary to Texas law, the remaining sections of this Agreement shall remain in full force and effect.

15. **DAMAGES:** If the inspection company or any of its employees, agents, providers, officers, members, or shareholders, are found to be liable for any claim or damage due to the alleged negligence or willful misconduct of the Inspection company performing the home inspection or in the reporting on the condition of the property in the inspection report, **THE MAXIMUM DAMAGE THAT THE CLIENT CAN RECOVER SHALL NOT EXCEED THE COST OF THE INSPECTION FEE PAID BY THE CLIENT.** The Inspection Company shall not be liable to the Client for any loss of use of the property, repair or replacement cost, consequential or punitive damages or for attorneys' fees or court costs. The Inspection Company shall not be liable to the Client for any claims, loss or damage if the Client alters, tampers with or repairs or replaces the condition which is the subject matter of the Client's claim before the Inspection Company has had an opportunity to inspect the alleged defective condition.

16. **CLIENT UNDERSTANDS:** The integrity and moisture content of framing and sheathing behind finished wall coverings (exterior siding, stucco, cement stone coverings, fiber cement siding, drywall, interior bath and shower tile walls, etc) is not visible to inspect and beyond the scope of our services and is excluded within our services and is excluded within our inspection and inspection report. The lack of proper detailing and flashing may result in water penetration behind siding resulting in water penetration and structural damage which True Grit Home Inspection, PLLC makes no guarantee, warranty, or implied in the inspection or inspection report.

17. **EXPERT TESTIMONY / LITIGATION FINANCIAL COMPENSATION CLAUSE:** In the event our services are needed at any time in the future as expert testimony or in a litigation case, client agrees at this time / in advance to financially compensate this firm for it's time and services. Terms: Non-refundable retainer of \$2,500.00 upfront, Hourly rate of \$175.00 for any activities on our part for your case, including but not limited to; deposition, phone time, research, court time, travel time portal to portal, review of case prior to court appearance, etc. Balance due invoiced weekly, submitted Friday, payable the next Friday

18. **RE-INSPECTIONS:** True Grit Home Inspection, PLLC does not normally conduct re-inspection services. We are not in the business of certifying the workmanship and/or warranting another company's repair work. Receipts and/or warranty for work performed should be obtained from the company or companies who have provided repairs. In the event a re-inspection is performed it is agreed to in advance that True Grit Home Inspection, PLLC does not assume responsibility of any kind for another company's work.

19. **LIMITATION AND EXCLUSION CLAUSE:** The Client expressly acknowledges and agrees that the following are not included in the scope of the inspection and the inspection report and further acknowledges that the Inspector makes no representations or warranties as to them. **THE FOLLOWING SYSTEMS, ITEMS, AND CONDITIONS WHICH ARE NOT WITHIN THE SCOPE OF THE BUILDING INSPECTION INCLUDE BUT ARE NOT LIMITED TO:** recreational, leisure, playground or decorative equipment or appliances including but not limited to pools, hot tubs, saunas, steam baths, landscape lighting, fountains, shrubs, trees, and tennis courts. Cosmetic conditions wallpapering, painting, carpeting, scratches, scrapes, dents, cracks, stains, soiled or faded surfaces on the structure ,equipment or component, soiled, faded, torn, or dirty floor, wall or window coverings, etc. Noise pollution or air quality. Earthquake hazard, flood plain certification, liquefaction, soil, retaining walls, slide potential, wave action and hydrological stability, soil and earth measurements and stability, seismic safety, code and zoning, engineer level analysis, underground utilities, sink hole potential, formaldehyde, lead paint, asbestos, toxic or flammable materials, molds, mildew, fungi, other environmental hazards, pest infestation, security systems, fire protection systems, sump pumps, household appliances, humidifiers, paint, other treatment windows, interior walls, ceilings and floors, water purification systems, (ozone generator/saltwater, etc), underground storage tanks, energy efficiency measurements, motion or photo electric sensor lighting, concealed or private security systems, water wells, all over flow drains, heating system's accessories, solar heating systems, heat exchangers, wood burning stoves, sprinkler systems, water softener or purification systems, central vacuum systems, telephone intercom or cable TV systems, internet connections and cable connections, antennae, lightning arrestors, load controllers, governing codes, permits, ordinances, statues, and covenants, and manufacturer specifications, recalls, EIFS, Chinese drywall and tainted materials, plasterboard, sheet rock, gypsum board, latent and concealed defects, and manufactured stone veneer, culture stone siding, fiber cement siding, flues or chimneys, coal stoves, water leaks, water intrusion, design and architect problems, circuit breaker operation, fireplace drafting, boundaries egress and ingress, quality of materials, private sewage, wattage and wiring, electromagnetic field, non-built in appliances, rodents, ants, birds, or other wood boring organisms, security locks and devices, thermostat and gauges. Client understands that these systems, items, and conditions, are excepted and excluded from this inspection and Inspection report. Any general comments about these systems, items, and conditions of the written report are informal only and **DO NOT REPRESENT AN INSPECTION.**

20. THIRD PARTY SERVICE PROVIDERS: YOUR INSPECTOR MAY HAVE AN AFFILIATION WITH A THIRD PARTY SERVICE PROVIDER ("TPSP") IN ORDER TO OFFER YOU ADDITIONAL VALUE- ADDED SERVICES. BY ENTERING INTO THIS AGREEMENT YOU (A) AUTHORIZE YOUR INSPECTOR TO PROVIDE YOUR CONTACT INFORMATION (INCLUDING TELEPHONE NUMBER) TO THE TPSP, (B) WAIVE AND RELEASE ANY RESTRICTIONS THAT MAY PREVENT THE TPSP FROM CONTACTING YOU (INCLUDING BY TELEPHONE USING AUTOMATED DIALING TECHNOLOGY), AND (C) AUTHORIZE THE TPSP TO CONTACT YOU (INCLUDING BY TELEPHONE) REGARDING SPECIAL HOME ALARM SYSTEM OFFERS.

21. PERSONAL SAFETY: We are not responsible for another participant's personal safety during the inspection process. Client, their representative's, or others participation shall be at his/her own risk for falls, injuries, property damage, etc. We reserve the right to refuse service to anyone for any reason.

22. This Agreement, including the terms and conditions on all pages, represents the entire agreement between the parties and there are no other agreements either written or oral between them. This Agreement shall be amended only by written agreement signed by both parties.

23. ACKNOWLEDGMENT: the undersigned has reviewed this document, understands its content and agrees to the terms and conditions contained. The client further represents and warrants that he or she has full and complete authority to execute this contract on behalf of any spouse or significant other, and to fully bind any spouse or significant other to all terms, conditions, exclusions and limitations of this agreement.

**If after walking thru the property with the inspector, if you are in anyway dissatisfied with the services provided by True Grit Home Inspection, PLLC., you are under no obligation to pay the inspection fee, but the inspection report will not be delivered. State "three-day right to cancel" may apply.**

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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### I. STRUCTURAL SYSTEMS

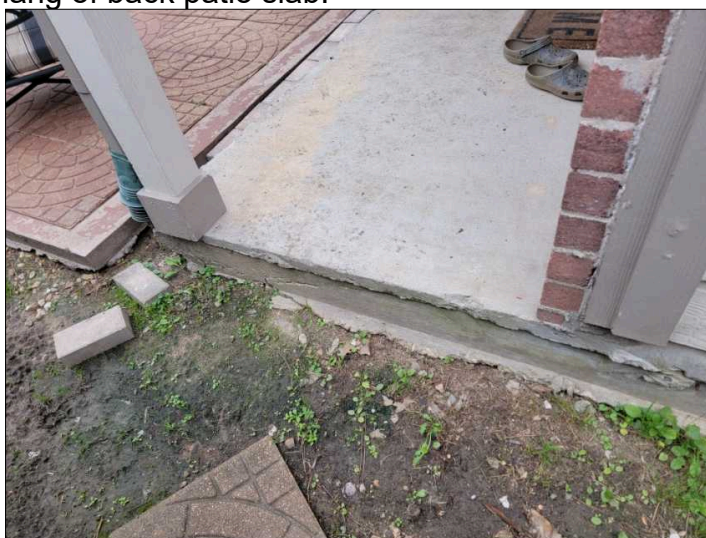
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Foundations
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Type of Foundation(s):

- Slab Foundation

Comments:

- It is my opinion that the foundation is performing as intended, but may still have some deficiencies.
- Overhang of back patio slab.



Overhang of back patio slab.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Grading and Drainage
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Comments:

- Gutters stop at edge of foundation. Gutters should terminate away from foundation or to a splash block.
- Ponding water noted in low areas of yard.
- Damaged downspouts and gutters.



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I	NI	NP	D
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Gutters stop at edge of foundation. Gutters should terminate away from foundation or to a splash block.



Damaged downspouts and gutters.



Ponding water noted in low areas of yard.



Damaged downspouts and gutters.

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C. Roof Covering Materials

Type(s) of Roof Covering:

- Asphalt shingles noted. (15 year total estimated life)

Viewed From:

- Ground
- Ariel Images

Comments:

- Missing kick out flashing to divert water away from house or areas of possible damage.
- Lifted flashing. Should be flat and prevent water and wind penetration.
- Shingles are missing / torn
- Exposed nails should be sealed over.
- Lifted shingles noted. These are subject to wind drive rain and water entering house.
- Shingles no long adhere to the each other. This may allow wind driven rain to lift shingle and enter dwelling. 2 sides SW
- Deteriorated shingles at ridge cap
- Gutters terminate on top of shingles. Gutters should extend to the ground or to another gutter. Shingles may wear faster in this area.
- Significant roof shingle damage. Suggest full review /replacement by roofer for associated cost.
- Gutters full of shingle granular. Shingles are past their life.
- Hail damage found on roof.
- Evidence of previous repair. Multiple shingles present. Poorly attached and overlapped.
- Multiple locations of granular lose. Suggest having roofing contractor to evaluate to check for full shingle replacement.



Evidence of previous repair. Multiple shingles present. Poorly attached and overlapped.



Lifted shingles noted. These are subject to wind drive rain and water entering house.

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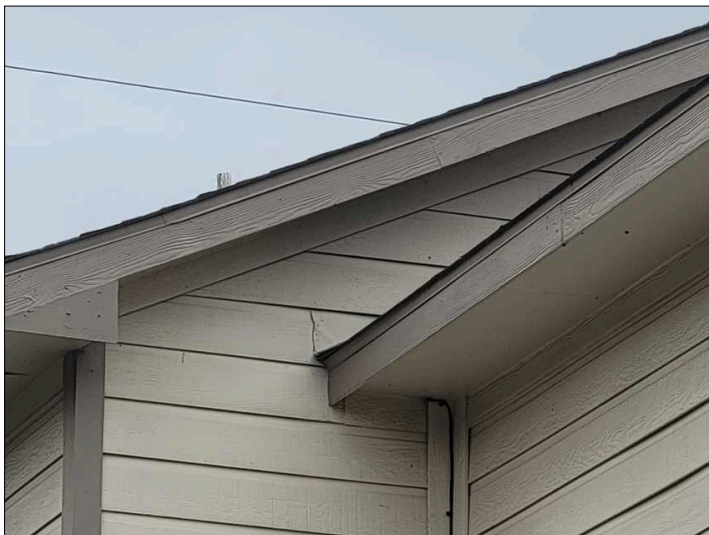
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Lifted flashing. Should be flat and prevent water and wind penetration.



Gutters terminate on top of shingles. Gutters should extend to the ground or to another gutter. Shingles may wear faster in this area.



Missing kick out flashing to divert water away from house or areas of possible damage.



Multiple locations of granular lose. Suggest having roofing contractor to evaluate to check for full shingle replacement.

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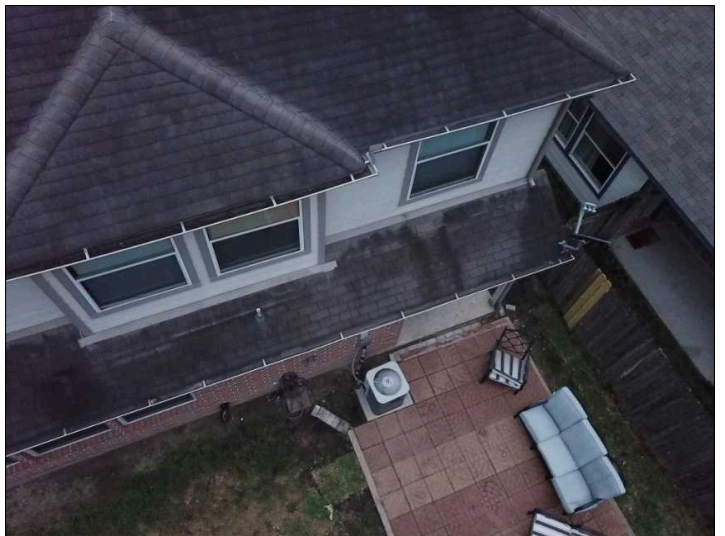
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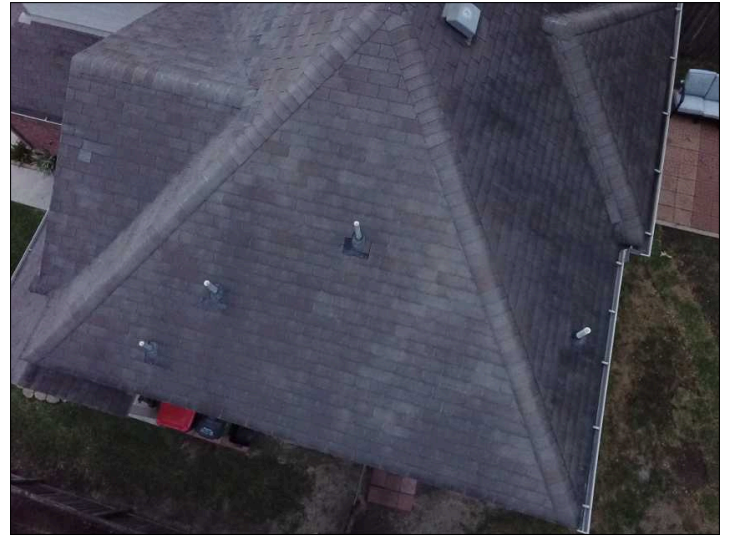
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I	NI	NP	D
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Lifted flashing. Should be flat and prevent water and wind penetration.



Multiple locations of granular lose. Suggest having roofing contractor to evaluate to check for full shingle replacement.



Gutters full of shingle granular. Shingles are past their life.

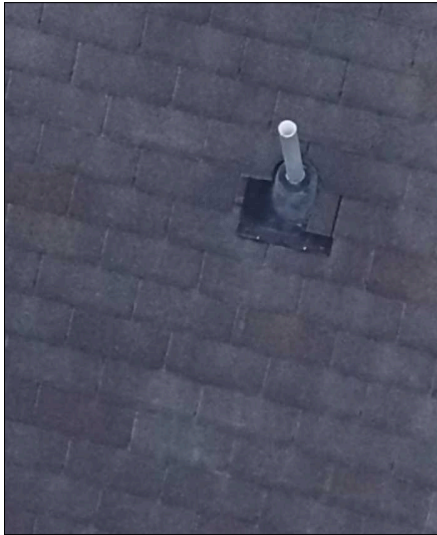
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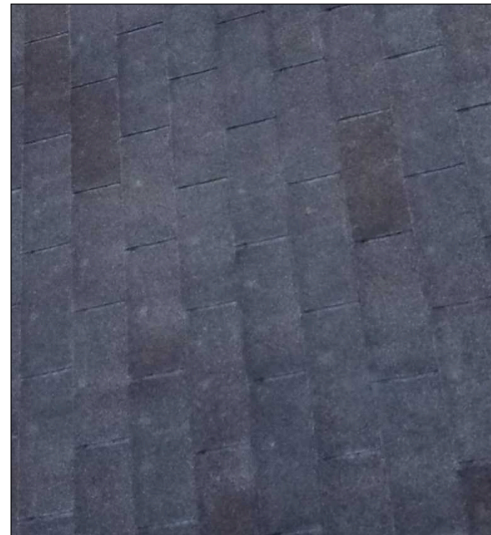
Shingles no longer adhere to each other. This may allow wind-driven rain to lift shingle and enter dwelling.



Evidence of previous repair. Multiple shingles present. Poorly attached and overlapped.



Exposed nails should be sealed over.



Hail damage found on roof.

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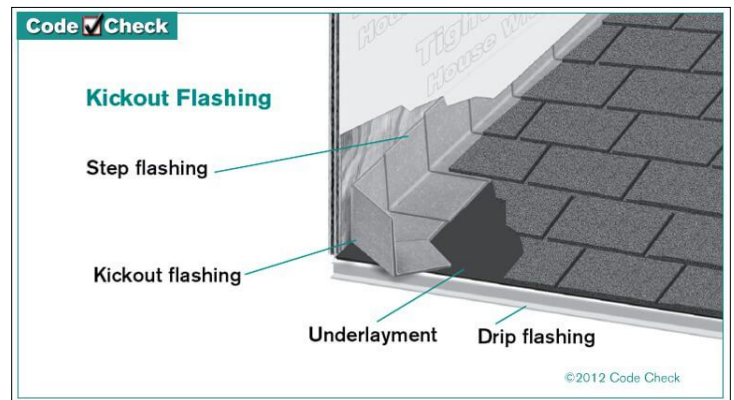
Shingles are missing / torn



Evidence of previous repair. Multiple shingles present. Poorly attached and overlapped.



Evidence of previous repair. Multiple shingles present. Poorly attached and overlapped.



Kickout flashing example



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D. Roof Structure and Attics

Viewed From:

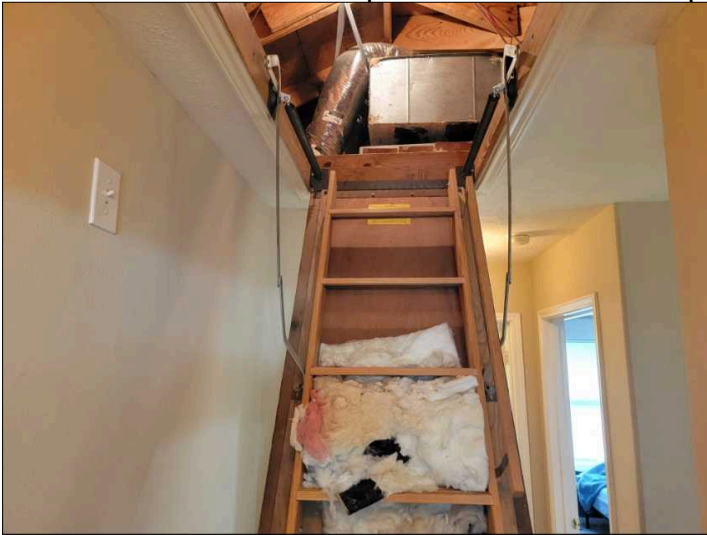
- Ground
- Attic

Approximate Average Depth of Insulation:

- Insulation is 8 inches deep

Comments:

- Insulation type(s): Fiberglass batt
- Satellite dish attached to house may add additional stresses to structure and cause damage or leaks. Monitor area for damages and leaks.
- Attic access ladder is missing insulation. This door should be insulated at the same R Value as the attic space.
- Evidence of past or present leaks, wet at time of the inspection. Monitor for leaks &/or have roofing contractor evaluate.
- Ladder should be secured with 16d nails where indicated by manufacture, not screws.
- Attic space is too small for equipment access per standards.



Attic access ladder is missing insulation. This door should be insulated at the same R Value as the attic space.

Attic space is too small for equipment access per standards.

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Evidence of past or present leaks, wet at time of the inspection. Monitor for leaks &/or have roofing contractor evaluate.



Ladder should be secured with 16d nails where indicated by manufacture, not screws.



Satellite dish attached to house may add additional stresses to structure and cause damage or leaks. Monitor area for damages and leaks.

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E. Walls (Interior and Exterior)

Wall Materials:

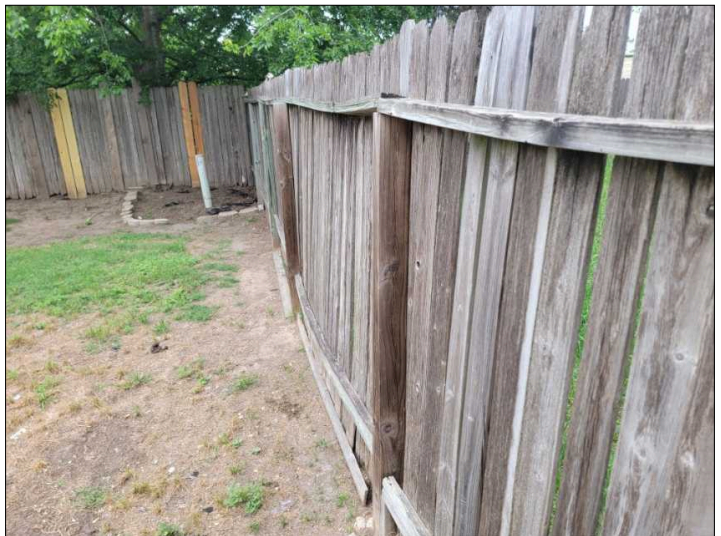
- Exterior walls are covered with cement fiber board. (Example: HardiePlank, LP Smartside, etc.)
- Exterior walls are made of brick
- Interior walls are made of Drywall

Comments:

- Exterior cracks in brick veneer noted. Cracks located at window corners are from settlement or uneven weight distribution.
- Siding not installed according to manufacturer directions. Trim should be installed first and siding cut to fit.
- Siding is bulged at seams and sealed over.
- Fence is deteriorated
- Cabinet drawers are damaged
- Structural settlement crack found in bathroom. Structure has movement and floors and walls are showing.
- Noted that paint in living room has some drips. Appears a cleaner was applied and ran.



Siding is bulged at seams and sealed over.



Fence is deteriorated

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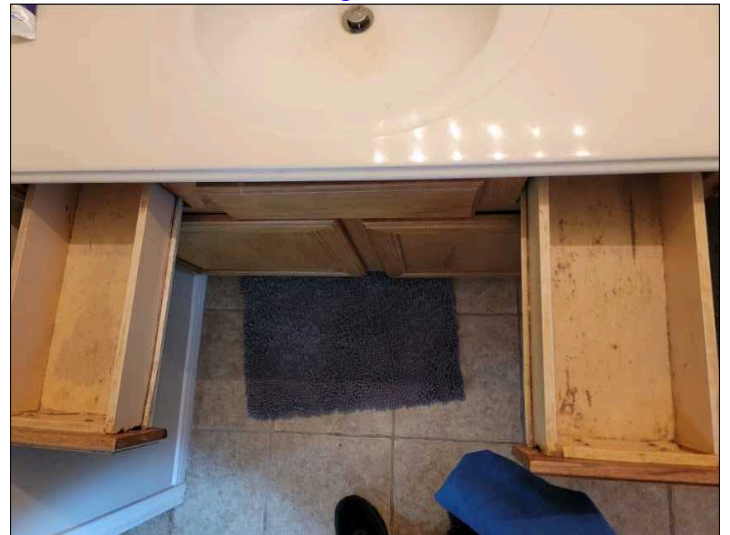
Fence is deteriorated



Exterior cracks in brick veneer noted. Cracks located at window corners are from settlement or uneven weight distribution.



Siding not installed according to manufacturer directions. Trim should be installed first and siding cut to fit.



Cabinet drawers are damaged

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NP=Not Present

D=Deficient

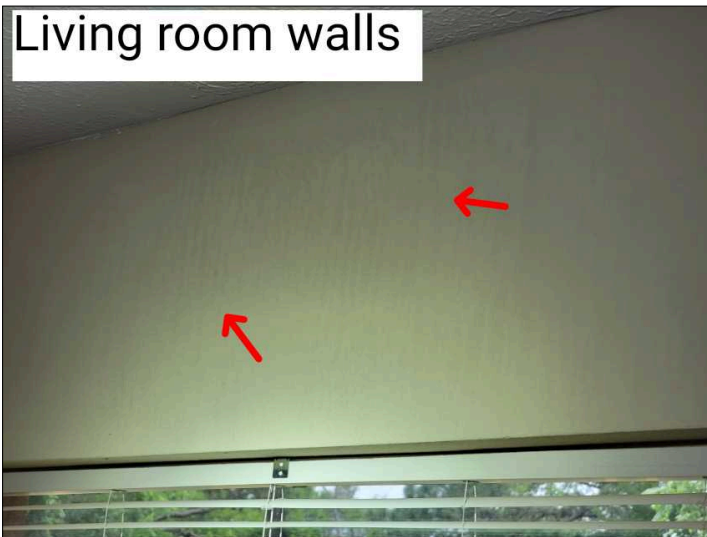
I	NI	NP	D
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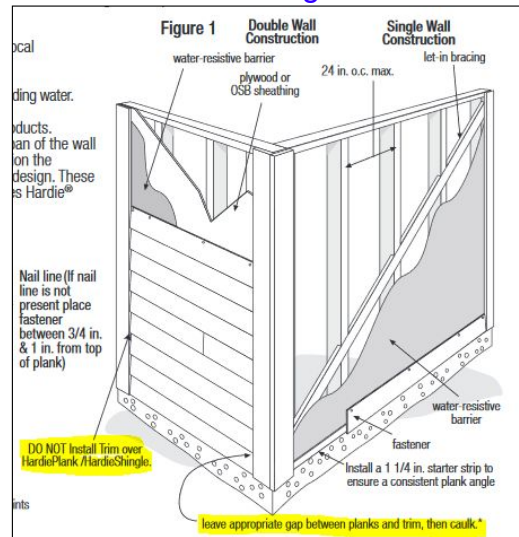
Paint behind TV not complete.



Structural settlement crack found in bathroom. Structure has movement and floors and walls are showing.



Noted that paint in living room has some drips. Appears a cleaner was applied and ran.



Siding install example from James Hardie

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

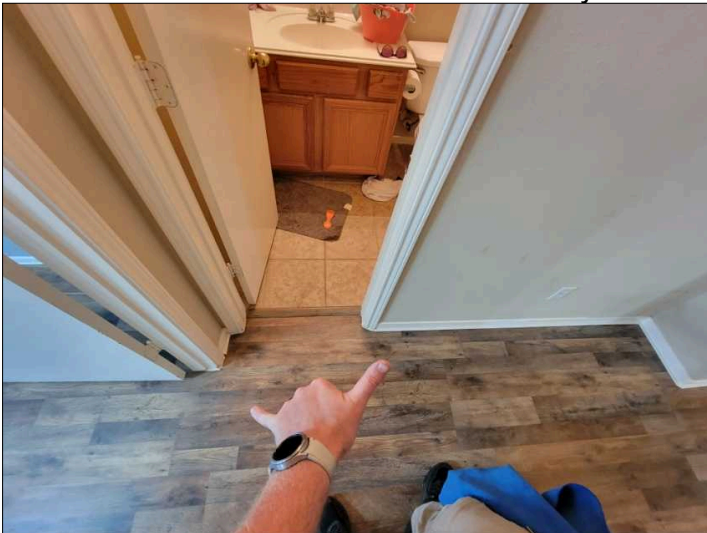
**F. Ceilings and Floors**

Ceiling and Floor Materials:

- Ceiling is made of drywall
- Floors have carpet on them.
- Floors appear to be wood.
- Floors have tile on them.

Comments:

- Second level floor creaks and is unlevel in some locations. Removal of flooring required for evaluation.
- Damaged cabinets noted. Possible spill / leak could be reason.
- Noted that tiles in foyer are different, indicating they have been changed.
- Nail pops noted.
- Several areas not fully visible due to access.



Second level floor creaks and is unlevel in some locations. Removal of flooring required for evaluation.



Noted that tiles in foyer are different, indicating they have been changed.

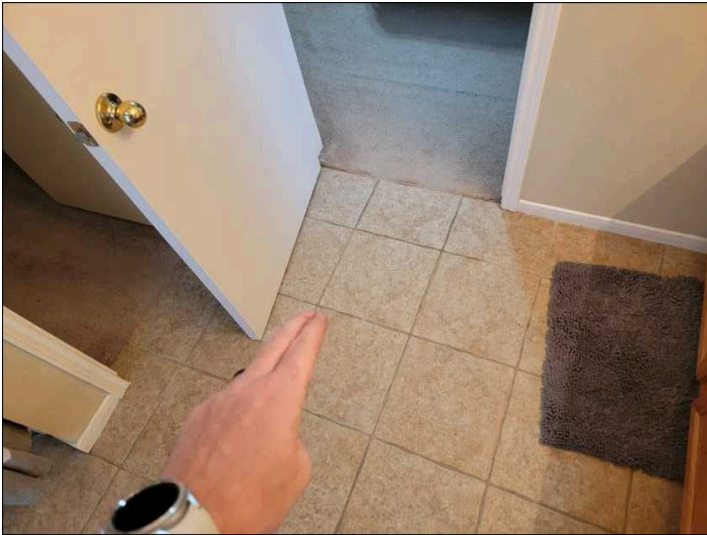
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Second level floor creaks and is unlevel in some locations. Removal of flooring required for evaluation.



Several areas not fully visible due to access.



Nail pops noted.



Several areas not fully visible due to access.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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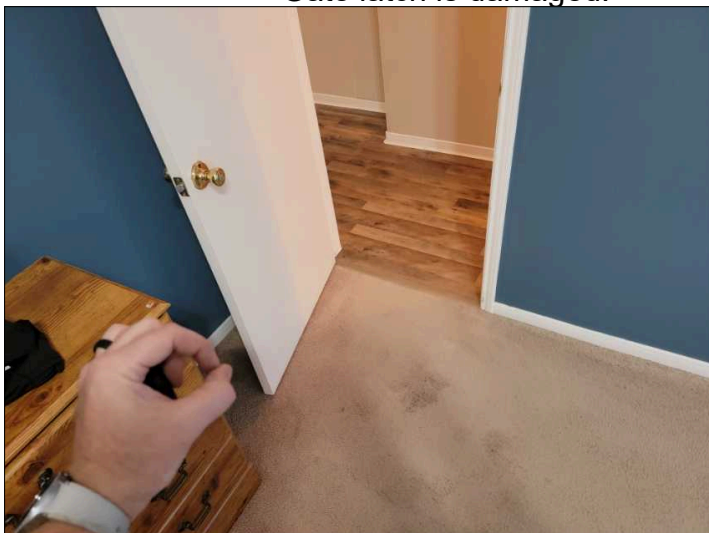


Note that island is not attached to floor. Consult with seller that it stays with house.

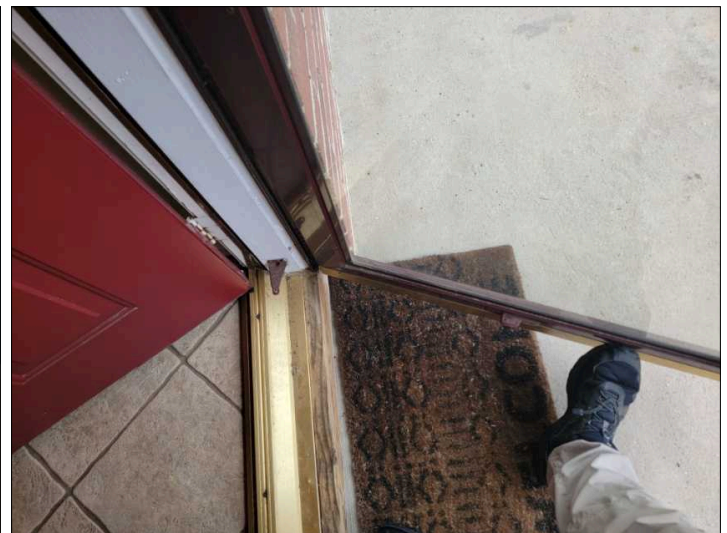
**G. Doors (Interior and Exterior)**

Comments:

- Missing door stops in a few locations. These help prevent wall damage.
- Exterior door to garage should be spring loaded to automatically close.
- Damaged doors.
- Door hung out of level. Closes on its own.
- Glass door missing lower shock spring.
- Loose handle
- Loose hinge noted.
- Missing trim inside closet
- Deadbolt doesn't fully engage at garage door
- Closet door doesn't latch.
- Wood rot at base of garage door trim
- Gate latch is damaged.



Door hung out of level. Closes on its own.



Glass door missing lower shock spring.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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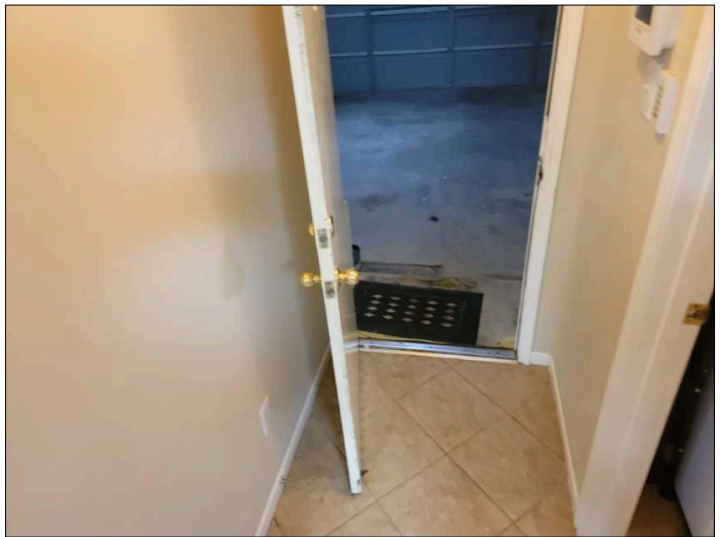
Gate latch is damaged.



Pet door noted



Wood rot at base of garage door trim



Exterior door to garage should be spring loaded to automatically close.

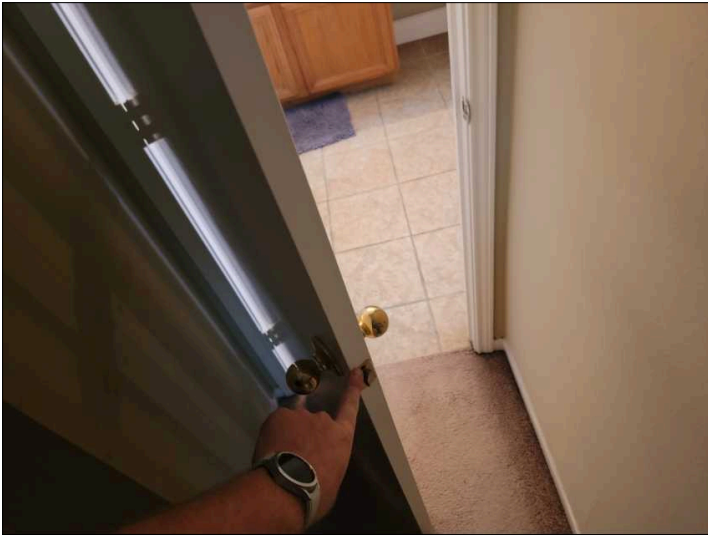
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Closet door doesn't latch.



Missing trim inside closet



Loose handle



Cabinet hinge missing

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Loose hinge noted.



Deadbolt doesn't fully engage at garage door



Damaged doors.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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H. Windows

Window Types:

- Sliding windows.
- Windows are double pane.
- Windows are made of aluminum

Comments:

- Missing / damaged screens noted.
- Broken or damaged balancers (springs, spirals, or friction rods) present. These hold the window up.
- Condensation / fog present inside double pane windows. This is a sign that the gas between panes is gone, and the windows are less energy efficient and can be difficult to see through.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Condensation / fog present inside double pane windows. This is a sign that the gas between panes is gone, and the windows are less energy efficient and can be difficult to see through.



Condensation / fog present inside double pane windows. This is a sign that the gas between panes is gone, and the windows are less energy efficient and can be difficult to see through.



Condensation / fog present inside double pane windows. This is a sign that the gas between panes is gone, and the windows are less energy efficient and can be difficult to see through.



Missing / damaged screens noted.

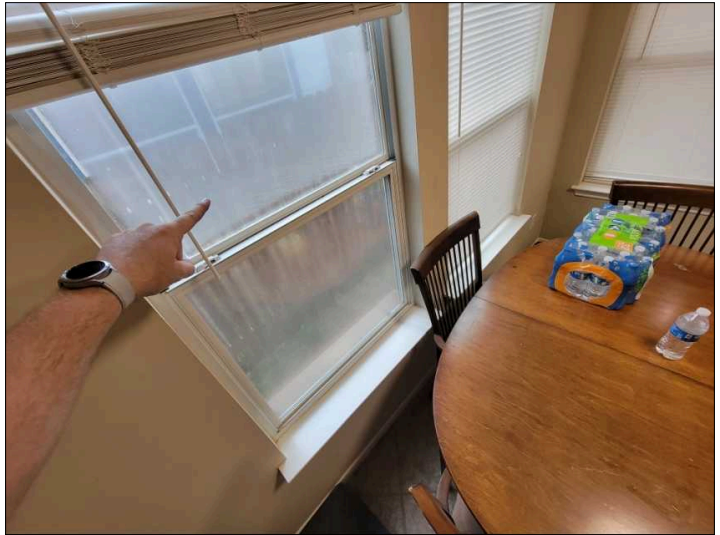
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Broken or damaged balancers (springs, spirals, or friction rods) present. These hold the window up.

Condensation / fog present inside double pane windows. This is a sign that the gas between panes is gone, and the windows are less energy efficient and can be difficult to see through.

I. Stairways (Interior and Exterior)

Comments:  
• Functional.

J. Fireplaces and Chimneys

Locations:  
Types:  
Comments:

K. Porches, Balconies, Decks, and Carports

Comments:

L. Other

Materials:  
Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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## II. ELECTRICAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Service Entrance and Panels
-------------------------------------	--------------------------	--------------------------	-------------------------------------	--------------------------------

### Panel Locations:

- Service conductors enter underground from utilities.
- Electrical panel is located in the garage.

### Materials and Amp Rating:

- Aluminum Service Entrance Conductors
- 125 Amp Service Entrance

### Comments:

- Arc fault circuit interrupters (**AFCI**) protection is currently required for all 15 and 20 amp branch circuits providing power to outlets in residential family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun-rooms, recreation rooms, closets, hallways, and similar rooms or areas. One or more areas missing.
- There is aluminum wiring present that does not have anti-oxidant grease
- The electrical panel is not properly labeled.
- There are white wires in the panel that should be labeled as hot wires
- 2nd Ground rod is disconnected from the grounding conductor. This should be repaired.



2nd Ground rod is disconnected from the grounding conductor. This should be repaired.



Incorrect ground clamp nut used.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



The electrical panel is not properly labeled.



Reference Photo



There is aluminum wiring present that does not have anti-oxidant grease



There are white wires in the panel that should be labeled as hot wires

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



AFCI Examples

Arc fault circuit interrupters (AFCI) protection is currently required for all 15 and 20 amp branch circuits providing power to outlets in residential family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun-rooms, recreation rooms, closets, hallways, and similar rooms or areas. One or more areas missing.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Branch Circuits, Connected Devices, and Fixtures
-------------------------------------	--------------------------	--------------------------	-------------------------------------	---

Type of Wiring:

- Copper wiring
- 15 amp
- 20 amp

Comments:

- Exterior light fixtures should be weatherproofed.
- Recommend installation of CO detector 3" from ceiling in locations of a gas fired appliance.
- All receptacles near "wet" locations should be **GFCI** protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.
- Loose receptacle found.
- Smoke detectors are older than 10 yrs old and should be replaced.
- Extension cord used in garage. Garage only has 1 receptacle.
- Attic light is a hazard based on its location.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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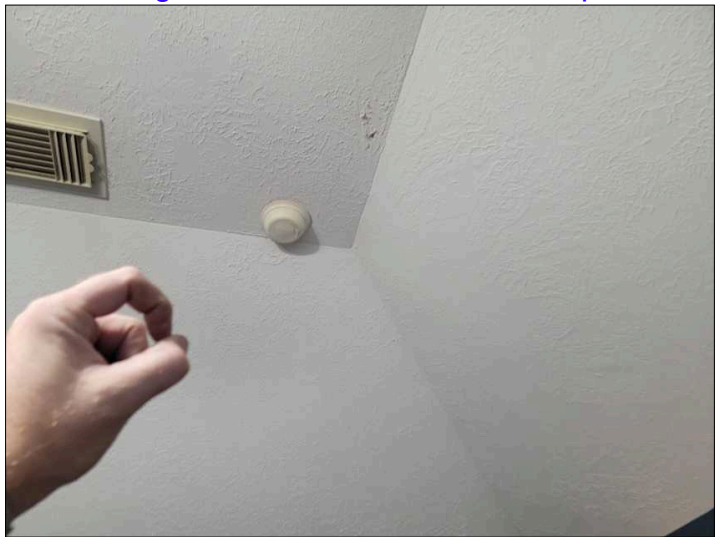
Attic light is a hazard based on its location.



Exterior light fixtures should be weatherproofed.



Extension cord used in garage. Garage only has 1 receptacle.



Smoke detectors are older than 10 yrs old and should be replaced.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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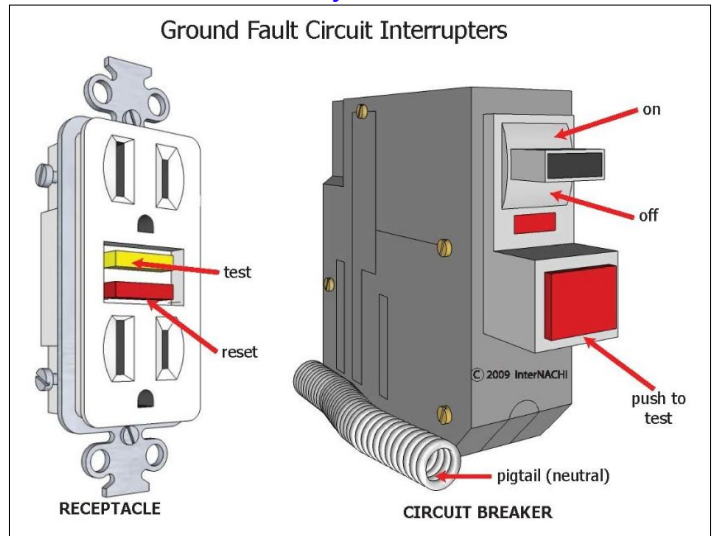
Recommend installation of CO detector 3" from ceiling in locations of a gas fired appliance.



All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.



Loose receptacle found.



GFCI examples

C. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Heating Equipment
-------------------------------------	--------------------------	--------------------------	-------------------------------------	----------------------

Type of Systems:

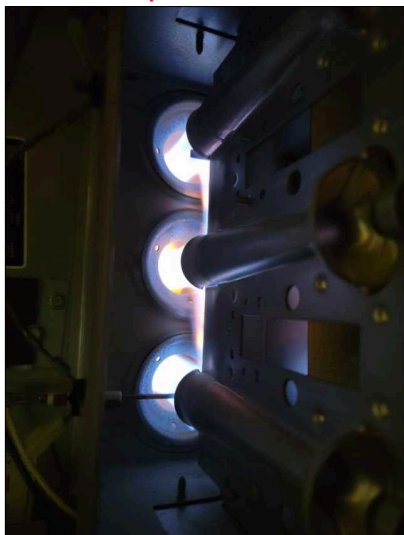
- Gas fired forced hot air.

Energy Sources:

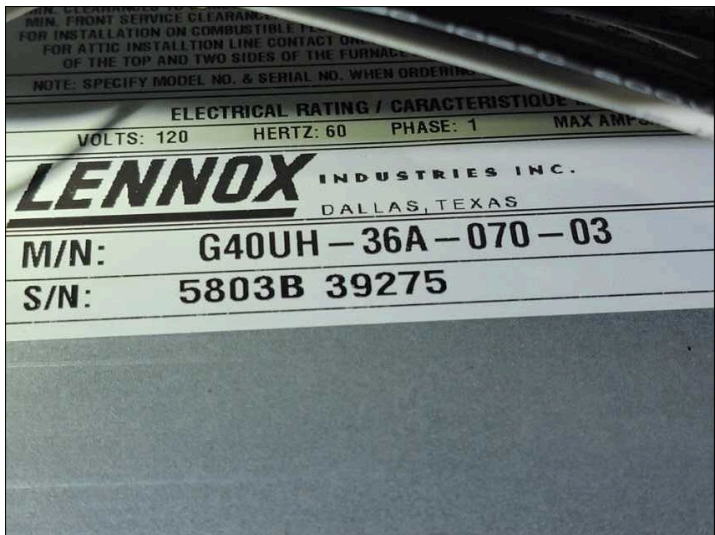
- The furnace is gas/ fuel powered. 80% AFUE

Comments:

- Furnace visually inspected and checked.
- Flame flicker noted. Flame should remain clean and constant. Suggest service by HVAC contractor.
- Furnace flue is disconnected in attic. High risk of CO leakage. Repairs needed. Repairs needed.



Flame flicker noted. Flame should remain clean and constant. Suggest service by HVAC contractor.



2003 gas furnace

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Furnace visually inspected and checked.



Furnace flue is disconnected in attic. High risk of CO leakage. Repairs needed. Repairs needed.



Operated

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Cooling Equipment

Type of Systems:

• Split Unit Size: 3 ton

Refrigerant: R22

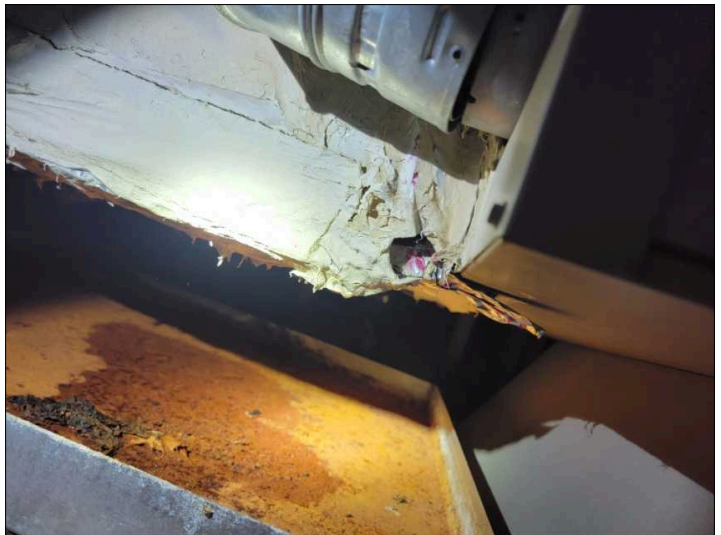
MFG Dates 2003 coil (inside); 2003 condenser (outside)

Comments:

- Heavy rust in overflow pan. Recommend replacement of overflow pan, as rust can cause holes to leak.
- Suggest the installation of a float switch in the pan to disconnect the power to the AC in the event of water in the pan.
- Coils could not be accessed without damage to seals.
- No secondary drain installed. This should drain into a catch pan if the primary is clogged.
- Damaged condenser fins.
- Repairs noted at condenser fan.
- Age of unit and previous repairs are indications that unit is past its expected life.
- Open holes and poorly sealed plenum box at coil box.
- R-22 refrigerant present. This refrigerant is no longer being used, and may be very difficult to have serviced or parts replaced. Suggest contact with a HVAC contractor to see if unit can be retrofit with R410a or others.
- Condenser unit makes a rattle and is likely going to need replacement in the near future.



Heavy rust in overflow pan. Recommend replacement of overflow pan, as rust can cause holes to leak.



Open holes and poorly sealed plenum box at coil box.

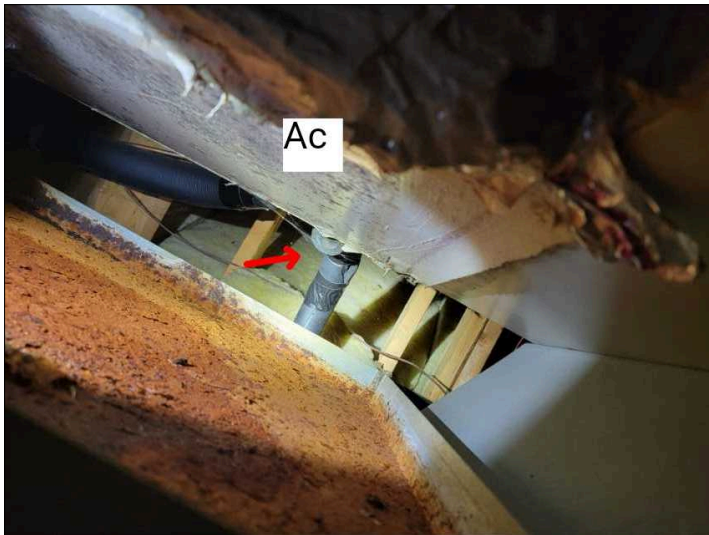
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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No secondary drain installed. This should drain into a catch pan if the primary is clogged.



Damaged condenser fins.



Condenser unit makes a rattle and is likely going to need replacement in the near future.



Repairs noted at condenser fan.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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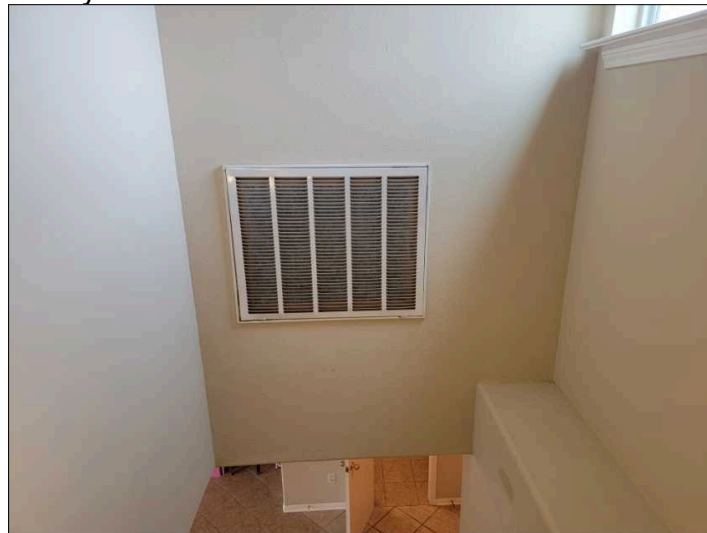
R-22 refrigerant present. This refrigerant is no longer being used, and may be very difficult to have serviced or parts replaced. Suggest contact with a HVAC contractor to see if unit can be retrofit with R410a or others.

24f delta T across coil is relatively high and may be an indication that system was recently topped.

C. Duct Systems, Chases, and Vents

Comments:

- Change 1" filters every 30-60 days.
- Filter is dirty



Filter is dirty

D. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

### IV. PLUMBING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Plumbing Supply, Distribution System and Fixtures
-------------------------------------	--------------------------	--------------------------	-------------------------------------	--

Location of Water Meter: Front of structure near street.

Location of Main Water Supply Valve:

- Front of structure

Comments:

- Type of Supply Piping Material: CPVC
- Static Water Pressure Reading: 65 psi
- Water shutoff location.
- Holes / Cracks in grout around showers / baths. These could allow water to exit the shower enclosure.
- Missing stopper in sink / tub.
- Toilets loose at base. New seal ring may be needed.
- Poor water flow at vegetable sprayer.



Meter box full of mud



Water shutoff location.



I=Inspected

NI=Not Inspected

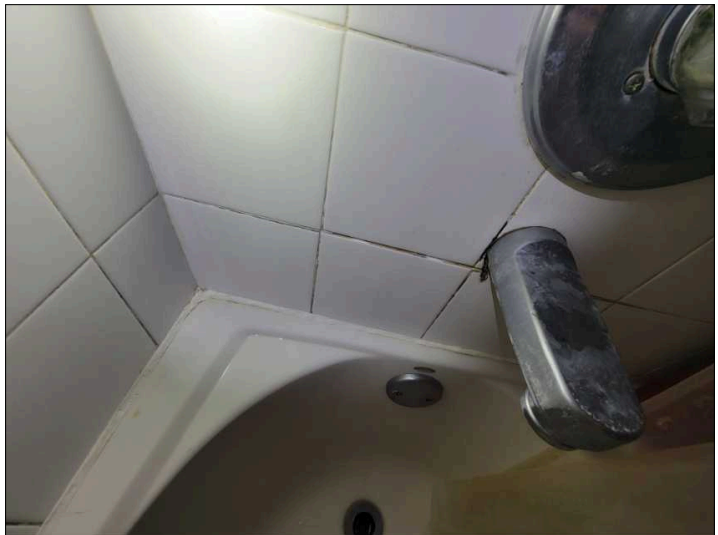
NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



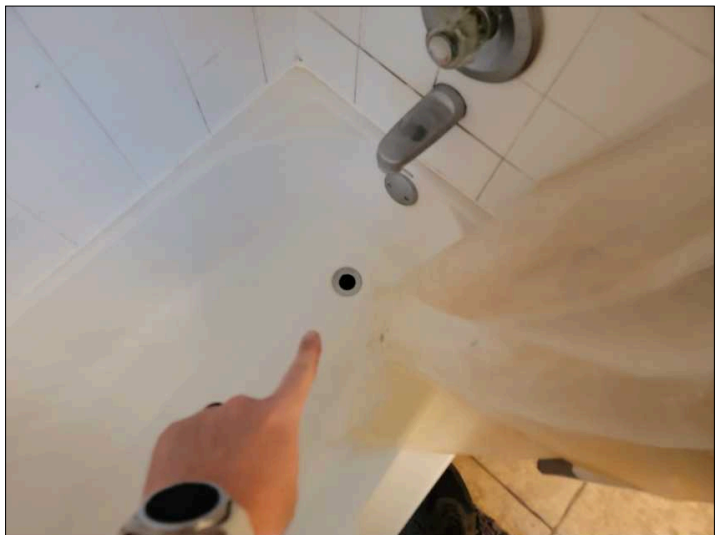
Type of Supply Piping Material:CPVC



Holes / Cracks in grout around showers / baths. These could allow water to exit the shower enclosure.



Holes / Cracks in grout around showers / baths. These could allow water to exit the shower enclosure.



Missing stopper in sink / tub.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Toilets loose at base. New seal ring may be needed.



Toilets loose at base. New seal ring may be needed.



Poor water flow at vegetable sprayer.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

B. Drains, Wastes, and Vents

Comments:

- Type of Drain Piping Material: PVC / Plastic
- Surface mold present on drain lines under lavatory.
- 2nd floor lavatory does not have an overflow vent and can easily overflow.
- Sewer Cleanout cap is damaged

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Sewer Cleanout cap is damaged



2nd floor lavatory does not have an overflow vent and can easily overflow.



Surface mold present on drain lines under lavatory.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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C. Water Heating Equipment

Energy Source:

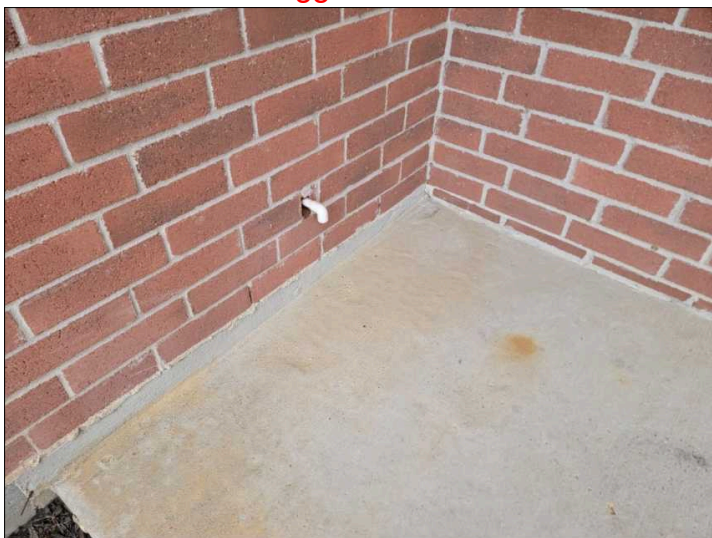
- Water heater is gas powered
- Water heater is located in the garage

Capacity:

- Unit is 40 gallons

Comments:

- Estimated MFG year of water heater : 2000
- Water heater vent and drain lines. If water is seen coming from here, contact plumber for evaluation.
- Burner flame is blue and orange indicating incomplete Combustion.
- Evidence of leaking down side of tank.
- Rust on **TPR valve** and evidence of leaking. Repairs / tank replacement suggested.



Water heater vent and drain lines. If water is seen coming from here, contact plumber for evaluation.



Rust on TPR valve and evidence of leaking. Repairs / tank replacement suggested.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

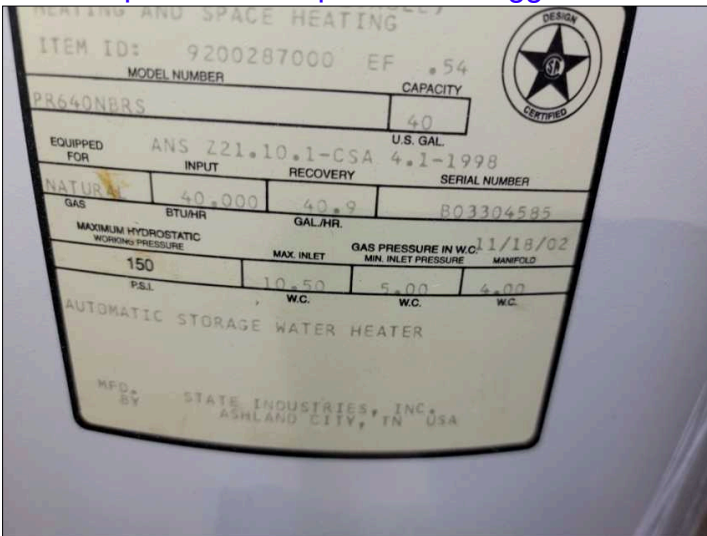
I	NI	NP	D
---	----	----	---



Rust on TPR valve and evidence of leaking.  
Repairs / tank replacement suggested.



Evidence of leaking down side of tank.



Estimated MFG year of water heater : 2000



Burner flame is blue and orange indicating incomplete Combustion.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



126f measured.

D. Hydro-Massage Therapy Equipment

Comments:

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter:

- Left of house

Type of Gas Distribution Piping Material:

- Steel- black pipe

Comments:

- Gas Meter and Shutoff Location.



Gas Meter and Shutoff Location.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	F. Other
--------------------------	--------------------------	-------------------------------------	--------------------------	----------

Materials:  
Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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V. APPLIANCES

**A. Dishwashers**

Comments:

- Operated.
- Air gap device is present under sink. Should be above counter so that it can be monitored for leaking.



Air gap device is present under sink. Should be above counter so that it can be monitored for leaking.

Operated.

**B. Food Waste Disposers**

Comments:

- Operated - appeared functional at time of inspection.
- There is rust present on the disposal unit.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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There is rust present on the disposal unit.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	--------------------------

C. Range Hood and Exhaust Systems

Comments:

- Operated.



Operated.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

D. Ranges, Cooktops, and Ovens

Comments:

- SAFETY CONCERN: Free standing range missing anti-tip bracket/device. Should be installed.
- Gas shutoff located behind the stove. This is not accessible during the event of emergency shutoff.
- All heating elements operated when tested.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



**SAFETY CONCERN:** Free standing range missing anti-tip bracket/device. Should be installed.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

E. Microwave Ovens

Comments:



None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	--------------------------

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

- Exhaust vents are dirty. Recommend having cleaned out.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Exhaust vents are dirty. Recommend having cleaned out.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

G. Garage Door Operators

Door Type:

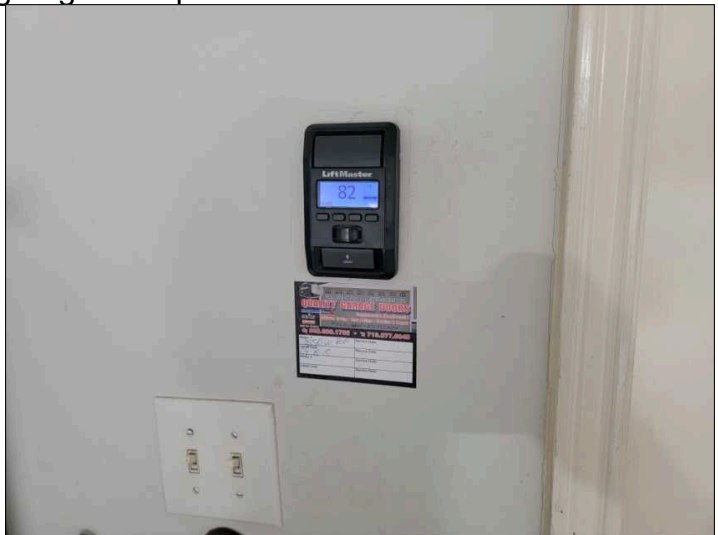
- One 16' steel door
- Sectional door noted.

Comments:

- Missing safety test instructions on wall next to the operators.
- Damaged and poorly repaired garage door panels.



Damaged and poorly repaired garage door panels.



Missing safety test instructions on wall next to the operators.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

H. Dryer Exhaust Systems

Comments:

- Could not fully inspect the dryer vent, due to access.
- Suggest cleaning vent.
- Damaged exterior cover

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Suggest cleaning vent.



Damaged exterior cover



Could not fully inspect the dryer vent, due to access.

I  
 NI  
 NP  
 D  
 I. Other

Comments:

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
---	----	----	---

VI. OPTIONAL SYSTEMS

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. Landscape Irrigation (Sprinkler) Systems
--------------------------	-------------------------------------	--------------------------	--------------------------	---

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	B. Swimming Pools, Spas, Hot Tubs, and Equipment
--------------------------	--------------------------	-------------------------------------	--------------------------	--

Type of Construction:

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	C. Outbuildings
--------------------------	--------------------------	-------------------------------------	--------------------------	-----------------

Materials:

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. Private Water Wells (A coliform analysis is recommended)
--------------------------	--------------------------	-------------------------------------	--------------------------	---

Type of Pump:

Type of Storage Equipment:

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Private Sewage Disposal Systems
--------------------------	--------------------------	-------------------------------------	--------------------------	------------------------------------

Type of System:

Location of Drain Field:

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	F. Other Built- in Appliances
--------------------------	--------------------------	-------------------------------------	--------------------------	-------------------------------

Observations:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	G. Other
--------------------------	--------------------------	-------------------------------------	--------------------------	----------

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

## VII. WOOD DESTROYING INSECT NOTES

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. Damage
-------------------------------------	--------------------------	--------------------------	--------------------------	-----------

**Materials:**

- Previous Treatment

**Observations:**

- No Visual WDI (termites) observed.
- Previous treatment noted. Year is uncertain.



Previous treatment noted. Year is uncertain.

## Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Air Gap	Air gap (drainage): The unobstructed vertical distance through free atmosphere between the outlet of the waste pipe and the flood-level rim of the receptacle into which the waste pipe is discharged.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.
TPR Valve	The thermostat in a water heater shuts off the heating source when the set temperature is reached. If the thermostat fails, the water heater could have a continuous rise in temperature and pressure (from expansion of the water). The temperature and pressure could continue to rise until the pressure exceeds the pressure capacity of the tank (300 psi). If this should happen, the super-heated water would boil and expand with explosive force, and the tank would burst. The super-heated water turns to steam and turns the water heater into an unguided missile. To prevent these catastrophic failures, water heaters are required to be protected for both excess temperature and pressure. Usually, the means of protection is a combination temperature- and pressure-relief valve (variously abbreviated as T&P, TPV, TPR, etc.). Most of these devices are set to operate at a water temperature above 200° F and/or a pressure above 150 psi. Do not attempt to test the TPR valve yourself! Most water heating systems should be serviced once a year as a part of an annual preventive maintenance inspection by a professional heating and cooling contractor. From Plumbing: Water Heater TPR Valves

## Report Summary

On this page you will find, in **RED**, a brief summary of any IMMEDIATE concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

**Note:** If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

STRUCTURAL SYSTEMS		
Page 9 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> <li>Evidence of previous repair. Multiple shingles present. Poorly attached and overlapped.</li> <li>Multiple locations of granular lose. Suggest having roofing contractor to evaluate to check for full shingle replacement.</li> </ul>
HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS		
Page 34 Item: A	Heating Equipment	<ul style="list-style-type: none"> <li>Furnace flue is disconnected in attic. High risk of CO leakage. <b>Repairs needed. Repairs needed.</b></li> </ul>
Page 36 Item: B	Cooling Equipment	<ul style="list-style-type: none"> <li>R-22 refrigerant present. This refrigerant is no longer being used, and may be very difficult to have serviced or parts replaced. Suggest contact with a HVAC contractor to see if unit can be retrofit with R410a or others.</li> <li>Condenser unit makes a rattle and is likely going to need replacement in the near future.</li> </ul>
PLUMBING SYSTEMS		
Page 43 Item: C	Water Heating Equipment	<ul style="list-style-type: none"> <li>Rust on <u>LPR valve</u> and evidence of leaking. Repairs / tank replacement suggested.</li> </ul>