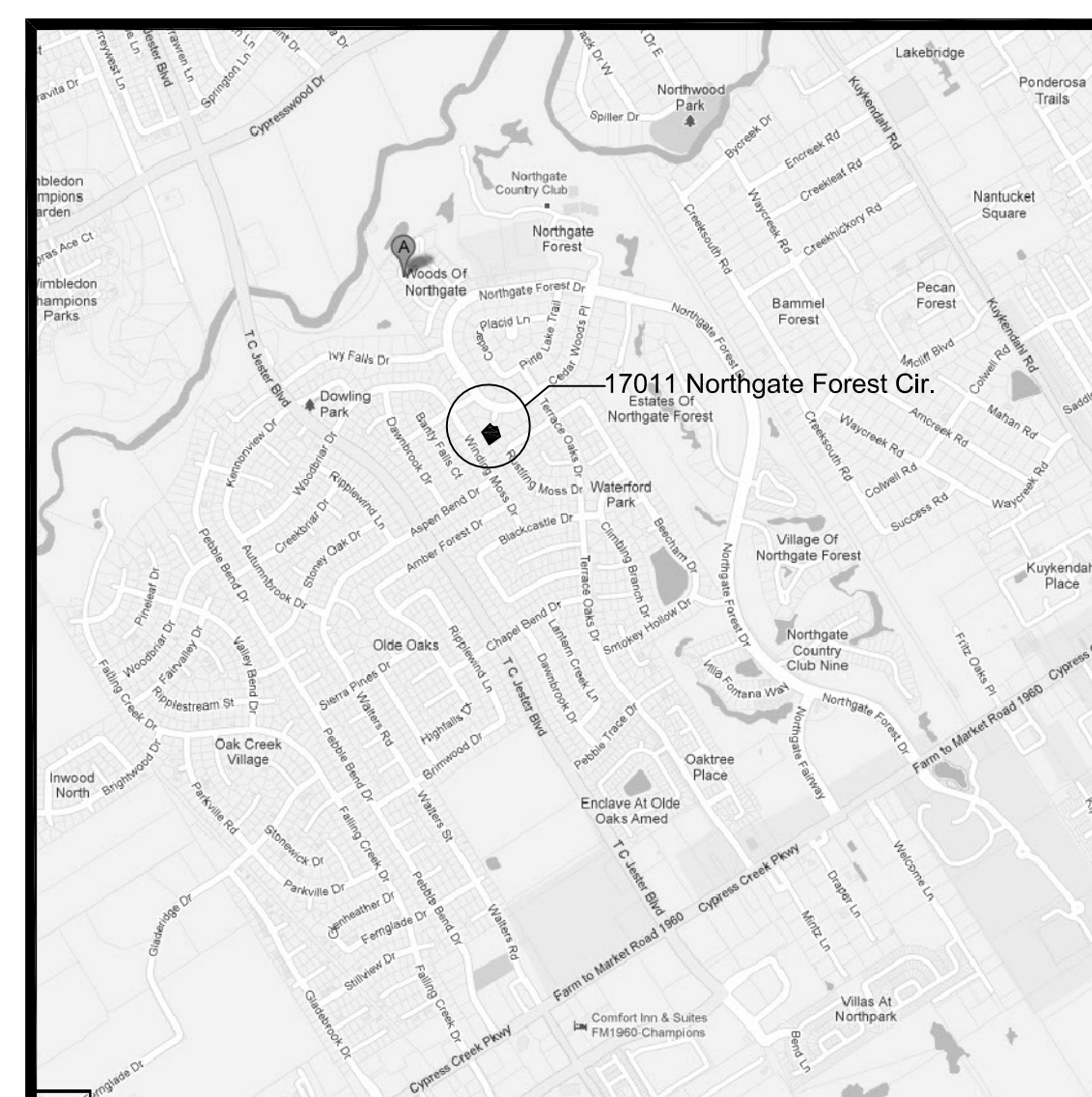




PROPOSED RESIDENCE FOR MR. & MRS. DAUD
 TR 7 & TR 6, BLOCK 7, 17011 NORTHGATE FOREST CIR.
 OF NORTHGATE FOREST PH 1 R/P, HARRIS COUNTY, TEXAS 77068



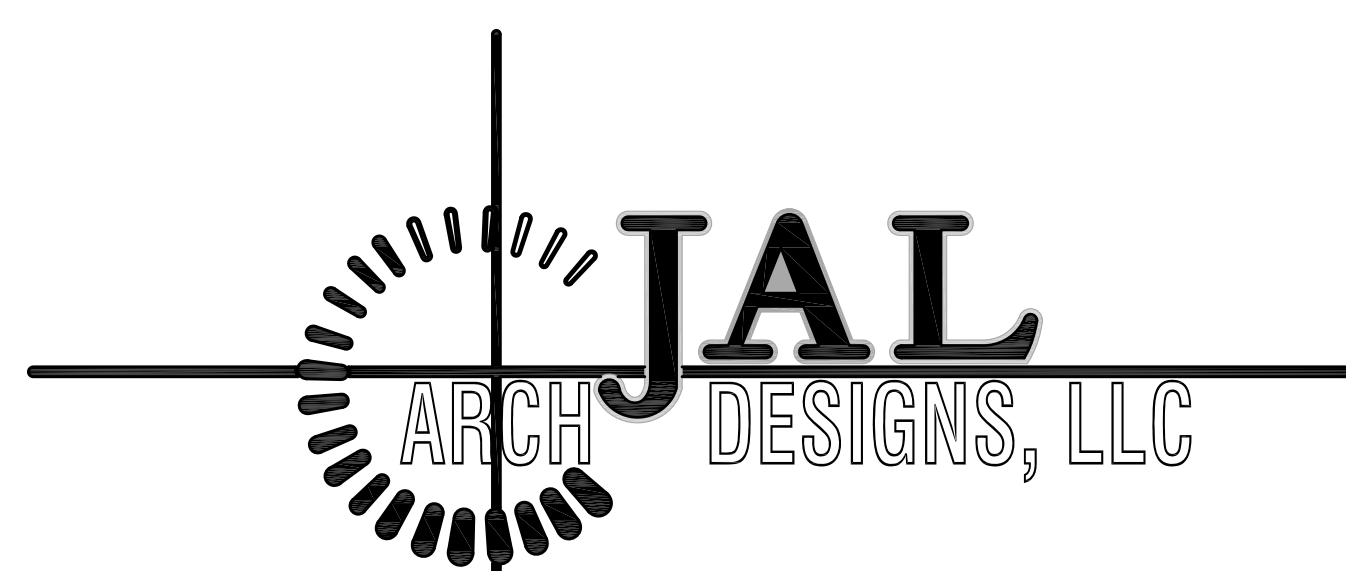
VICINITY MAP

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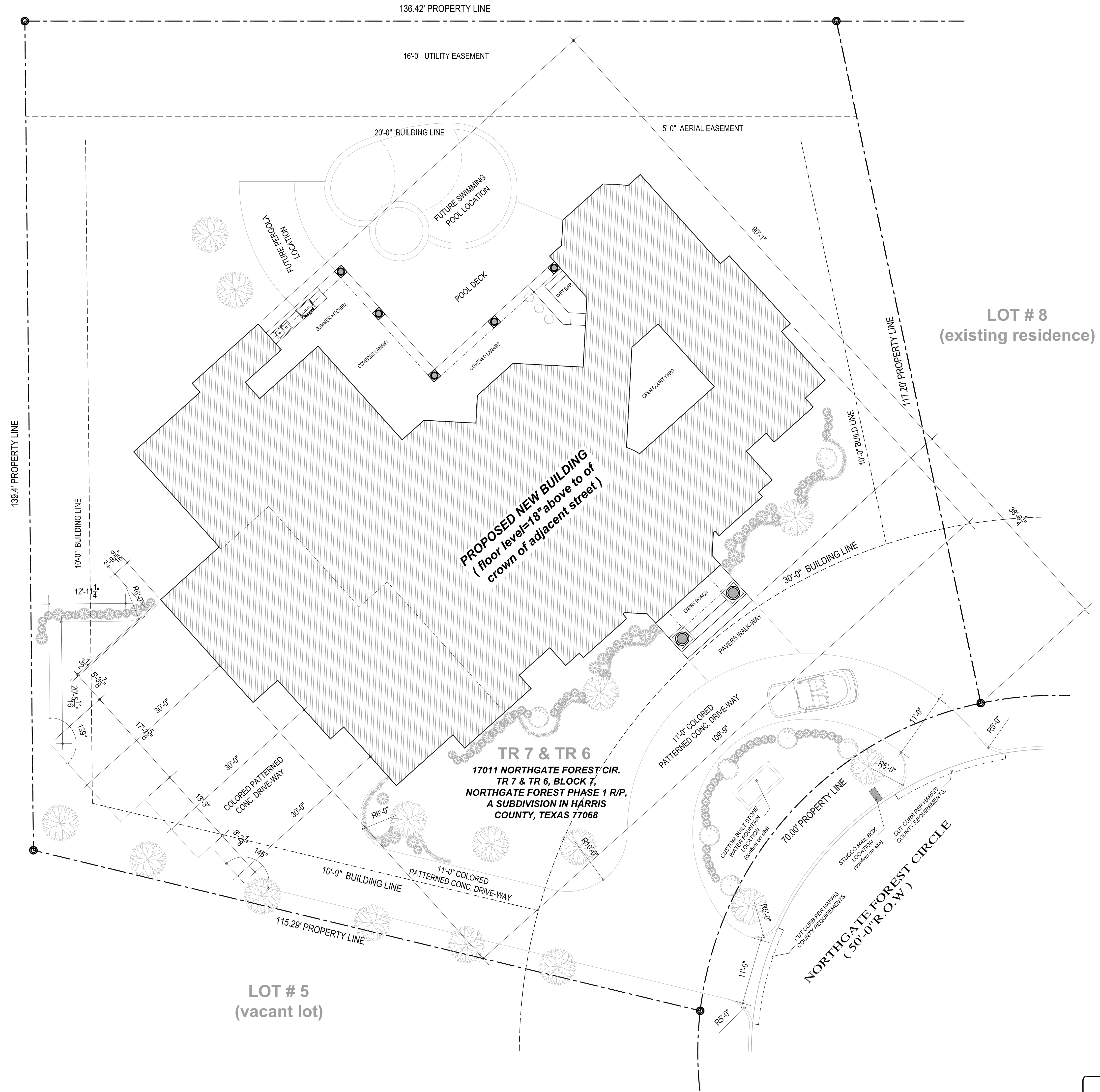
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'Bringing Your Dream Home to Reality'

Ph:(713) 319-5836 Fx:(713)-319-5730
 email: jalarchdesigns@gmail.com



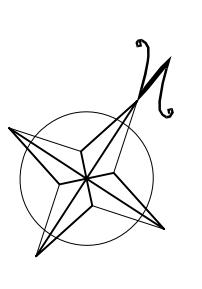


PROPOSED NEW BUILDING
 (floor level = 18' above to of
 crown of adjacent street)

TR 7 & TR 6
 17011 NORTHGATE FOREST CIR.
 TR 7 & TR 6, BLOCK 7,
 NORTHGATE FOREST PHASE 1 R/P,
 A SUBDIVISION IN HARRIS
 COUNTY, TEXAS 77068

LOT # 5
 (vacant lot)

LOT # 8
 (existing residence)



SITE PLAN
 Scale : 1/8" = 1'-0"

SITE PLAN AREA CALCULATIONS	
LOT AREA :	21,680 SF
SLAB AREA :	6,519 SF
CONC. WALK & DRIVE AREA :	3,323 SF
LOT COVERAGE AREA :	9,842 SF
TOTAL LANDSCAPE AREA :	11,838 SF
TOTAL LOT COVERAGE :	45.39 %

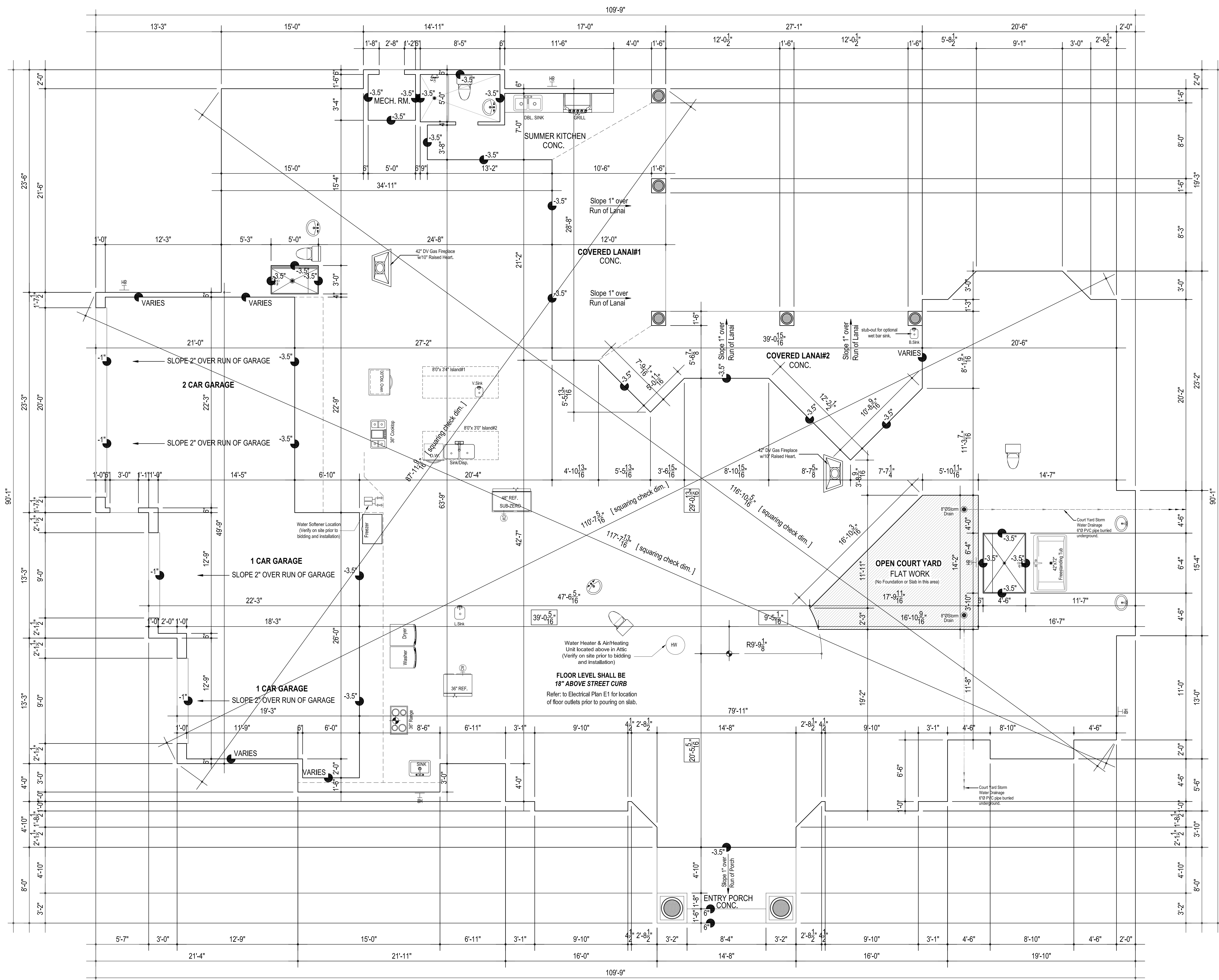
PROPOSED RESIDENCE FOR MR. & MRS. DAUD

DATE :	AUGUST 17, 2017
SCALE :	AS SHOWN
DRAWN BY :	J.A.L
REVISED :	Final Permit Set-042618

SITE PLAN	
-----------	--

NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES, AND WINDOW/DOOR SIZES AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.

A 1



SLAB FORMING PLAN

Scale : 1/4" = 1'-0"

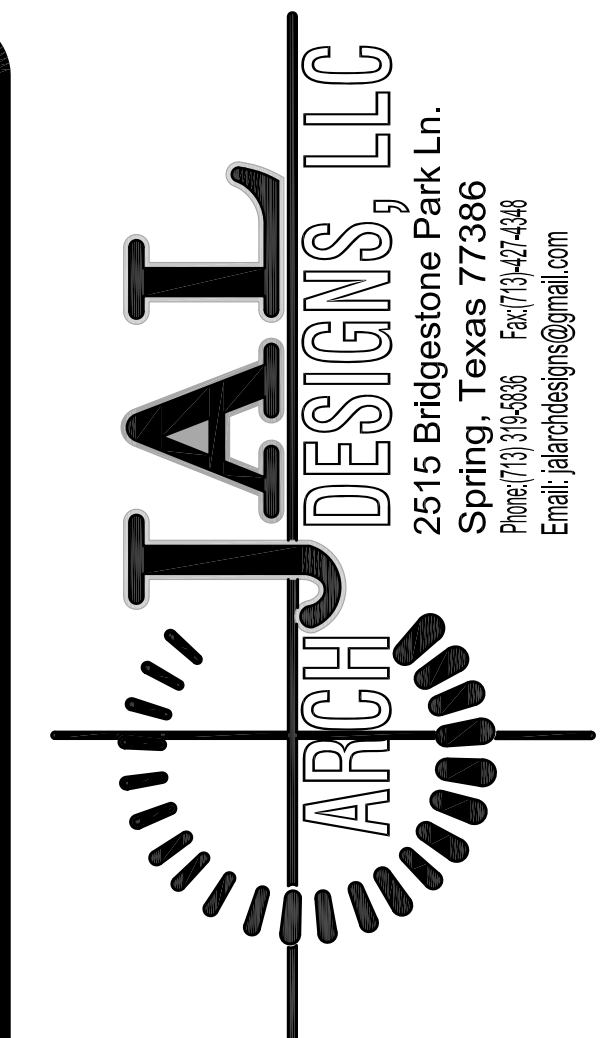
- INDICATES 1 1/2"x 5 1/2" x 12" STONE LEDGE LOCATIONS
- X-X' INDICATES ARC RADIUS CENTER POINT LOCATION DIMENSIONS
- INDICATES ARC RADIUS CENTER POINT
- INDICATES HOSE BIBB LOCATIONS
- INDICATES COLD WATER STUB FOR FRIG. ICE MAKER
- INDICATES WATER SOFTNER LOCATION
- INDICATES SLOPE OF CONC. SLAB

PROPOSED RESIDENCE FOR MR. & MRS. DAUD

DATE :	AUGUST 17, 2017
SCALE :	AS SHOWN
DRAWN BY :	J.A.L
REVISED	Final Permit Set-04/26/18

SLAB FORMING PLAN

NOTE: FOUNDATION AND SLAB SHALL BE DESIGNED BY A STRUCTURAL ENGINEER OF THE OWNER'S CHOICE.
 JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.



PLAN NOTES & SPECIFICATIONS

- *Do not scale drawings.
- *Foundation dimensions are exterior to exterior of foundation slab including brickledge where noted.
- *Framing dimensions are exterior to exterior framing, exterior to center of window and interior face of stud to face of stud.
- *Materials supplier to verify with contractor all beam joist and hanger sizes and provide detailed layout of locations and point load requirements.
- *Interior and exterior wall studs to be #2 @16"o.c.
- *All angles shown in plan shall be 45° u.n.o.
- *Finish floor elevation shall be a min. of 12" above the top of the nearest sanitary sewer manhole.
- *Where wood frame walls and partitions are covered on the interior with plaster, tile or similar materials and are subject to water-splash, the framing shall conform to section R702.4.
- *Shower stalls and tubs with shower heads shall have walls finished with a non-absorbent surface over waterproof gypsum board (or a equal or better material) to height of not less than 70" above the drain inlet.
- *Glazing in hazardous locations including showers and bathtub enclosures (glass doors and panels) shall comply with section R308.
- *Tankless Water heater shall be installed in accordance with the manufacturer's installation instructions and the requirement of local building code.
- Emergency escape or rescue windows shall have a finished sill height not more than 44" above the floor and shall have a min. net clear opening of 5.7 sq. ft. The min. net clear opening height dimension shall be not less than 24" and the min. net clear opening width dimension shall not be less than 20" per R310.1.
- *All windows within 24" of an arc of a door and less than 18" above finished floor shall be safety glass per 308.4.
- *All exterior walls and main (cross-stud partitions shall be effectively braced at each end, or as near thereto as possible, and at least every 25 feet of length as specified in section R602.10.
- *All floor joists under and parallel to bearing partitions shall be doubled per Section R502.4.
- *All bedrooms shall have at least one operable window or exterior door approved for emergency escape or rescue.
- *Fire stopping shall be provided as specified in Sections R602.8, R1001.17, R1003.12.
- *Draft stops shall be constructed of approved materials per Section R502.12.
- *Wall and ceiling shall be 1/2" gypsum wall. Enclose underside of stairwells and walls and ceilings of attached garage with 1/2" type 'X' gypsum board.
- *Doors between attached garage and the dwelling shall be min. 1 3/4" solid core or steel or be a 20 min. fire-rated assembly per section 309.1.
- *Approved smoke detectors shall be placed in each bedroom and in adjoining hall. They shall be hard-wired, inter-connected, and a battery back up per Section 317.
- *All weather exposed exterior siding shall have a 15# asphalt-saturated felt weather resistive barrier to protect the interior wall covering and shall be applied over studs or sheathing in accordance with section R703.2.
- *All insulation shall have a flame spread rating of not more than 25 and shall have a smoke density not to exceed 450 per Section R320.1.
- *Handrails at stair shall be continuous the full length of the stairs. The top of handrails shall be placed not less than 34" or more than 38" above the nosing of treads and landings per Section R315.
- *Attic stair shall have a 30"x54" rough opening and shall be located to provide a 30" min. clear head room above the access opening with a 350lb capacity per Section R807.
- *Attics containing appliances requiring access shall be provided with a pull down stairway with a clear opening not less than 22" in width between the hardware and a load capacity of not less than 350 lb. An opening and a clear and unobstructed passageway large enough to allow removal of the largest appliance, but not less than 30" high and 30" wide and not more than 20" in length when measured along the centerline of the passageway from the opening to the appliance.
- *Provide ventilation at all baths and utility rooms.
- *All cabinet sizes are labeled in industry standard inches cabinet supplier to provide mfg. specific unit sizes and installation layout and details.
- *It is the final responsibility of the general contractor to verify all dimensions, structural notes and window/door sizes and adjust to meet local and state building codes.

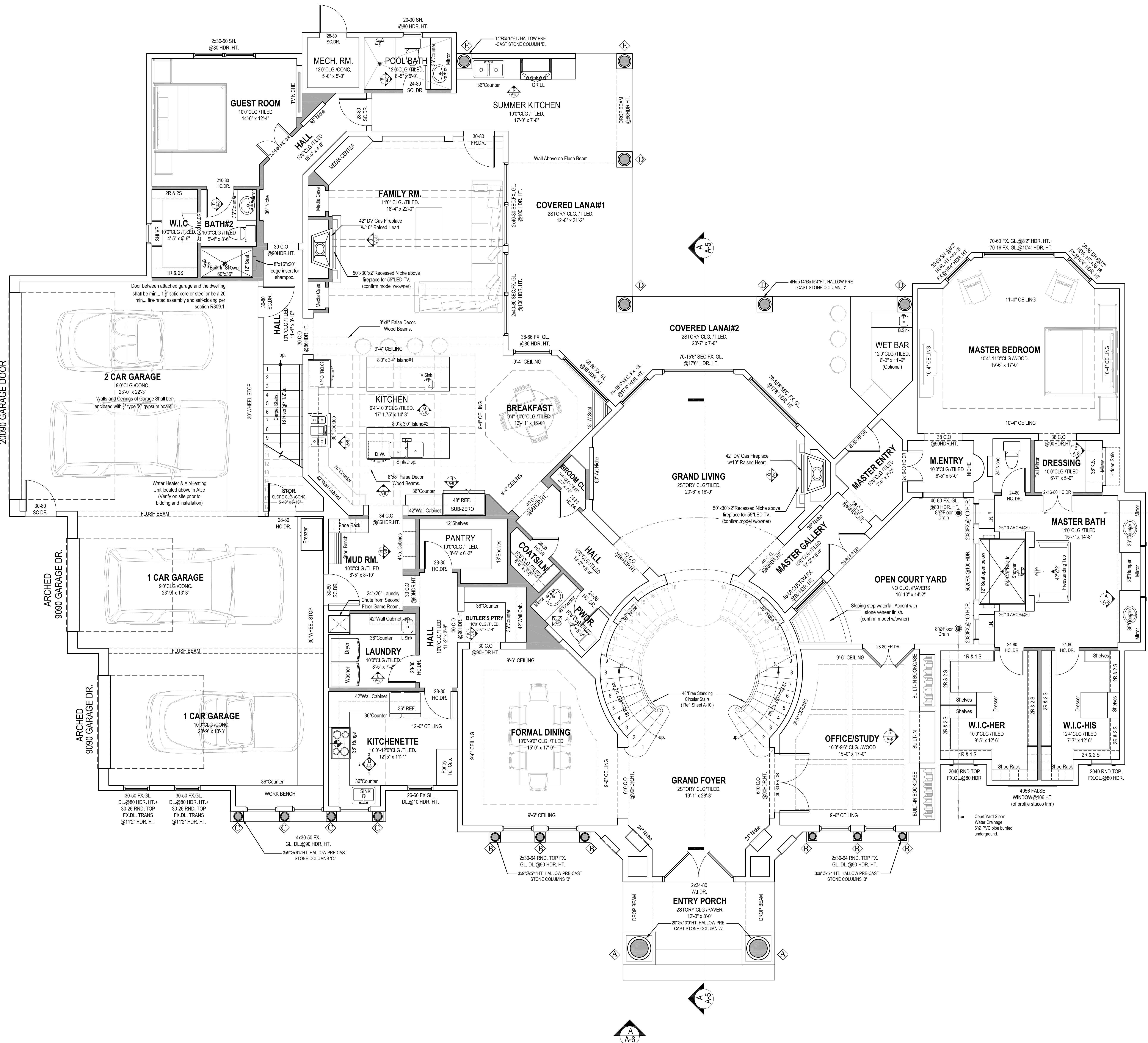
- INDICATES 5/8" STONE LEDGE.
- INDICATES 6" STUD WALL.
- INDICATES 4" STUD WALL.
- INDICATES 6" SOUND INSULATED WALLS.

SPECIFICATIONS

UNLESS OTHERWISE NOTED :-
 FIRST FLOOR:-
 PLATE HEIGHT = 10'-0" CEILINGS= 9'-10 1/2"
 WINDOWS = 8'-0" HEADER HEIGHT
 SECOND FLOOR:-
 PLATE HEIGHT = 9'-0" CEILINGS= 8'-10 1/2"
 WINDOWS = 7'-0" HEADER HEIGHT
 ROOF TYPE - CONCRETE TILE PITCH - 6 / 12
 WATER HEATER IN ATTIC
 WATER SOFTENER IN GARAGE
 ATTIC VENTING - SOFFIT VENTS
 NOTES :all attic insulation shall be approved standard insulation as required by City Of Houston codes

SQUARE FOOTAGE

FIRST FLOOR:-	
LIVING AREA	= 4,340.0 S.F.
ENTRY PORCH AREA	= 95.0 S.F.
COV'D LANAI & SUM. KITCHEN AREA	= 701.0 S.F.
4 CAR GARAGE/STOR./POOL BATH AREA=	1,288.0 S.F.
SECOND FLOOR:-	
LIVING AREA	= 2,418.0 S.F.
BALCONY AREA	= 80.0 S.F.
FUTURE UNFINISHED THEATER AREA	= 403.0 S.F.
(not included in total living and framed area)	
TOTAL LIVING AREA	= 6,758.0 S.F.
TOTAL FRAMED AREA	= 8,922.0 S.F.
TOTAL SLAB AREA	= 6,424.0 S.F.



ARCHITECTURAL FIRST FLOOR PLAN

Scale : 1/4" = 1'-0"



PROPOSED RESIDENCE FOR MR. & MRS. DAUD

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ARCHITECTURAL FIRST FLOOR PLAN
 GENERAL NOTES

DATE :	AUGUST 17, 2017
SCALE :	AS SHOWN
DRAWN BY :	J.A.L
REVISED	Final Permit Set-04/26/18

A 3.0

PLAN NOTES & SPECIFICATIONS

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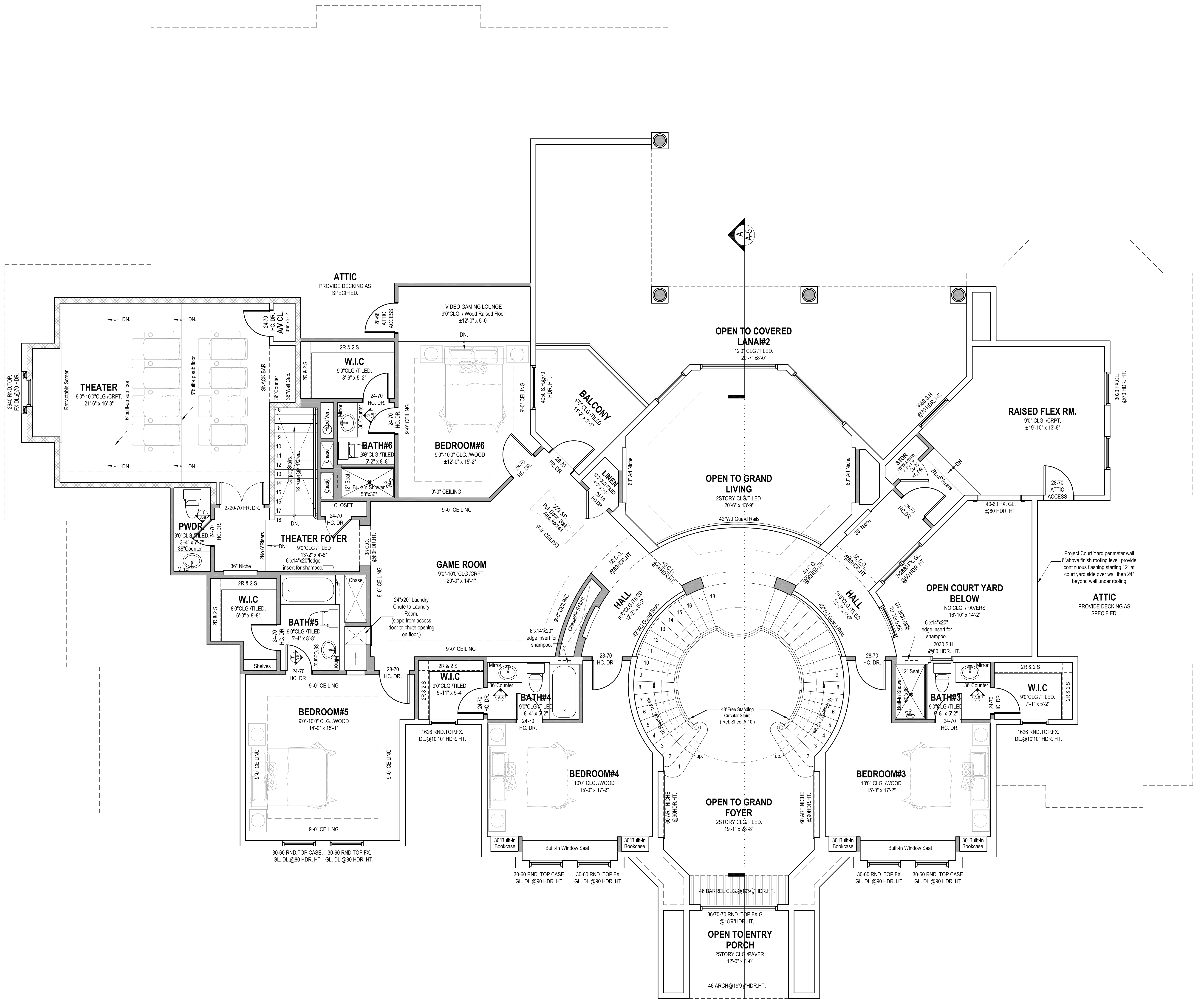
- INDICATES 6" STONE LEDGE.
- INDICATES 6" STUD WALL.
- INDICATES 4" STUD WALL.
- INDICATES 6" STUD WALL.
- INSULATED WALLS.

SPECIFICATIONS

UNLESS OTHERWISE NOTED :-
FIRST FLOOR:-
 PLATE HEIGHT = 10'-0" CEILINGS= 9'-10 1/2"
 WINDOWS = 8'-0" HEADER HEIGHT
SECOND FLOOR:-
 PLATE HEIGHT =9'-0" CEILINGS= 8'-10 1/2"
 WINDOWS = 7'-0" HEADER HEIGHT
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 WATER HEATER IN ATTIC
 WATER SOFTENER IN GARAGE
 ATTIC VENTING - SOFFIT VENTS
 NOTES :all attic insulation shall be approved sprayed on insulation as required by City Of Houston codes

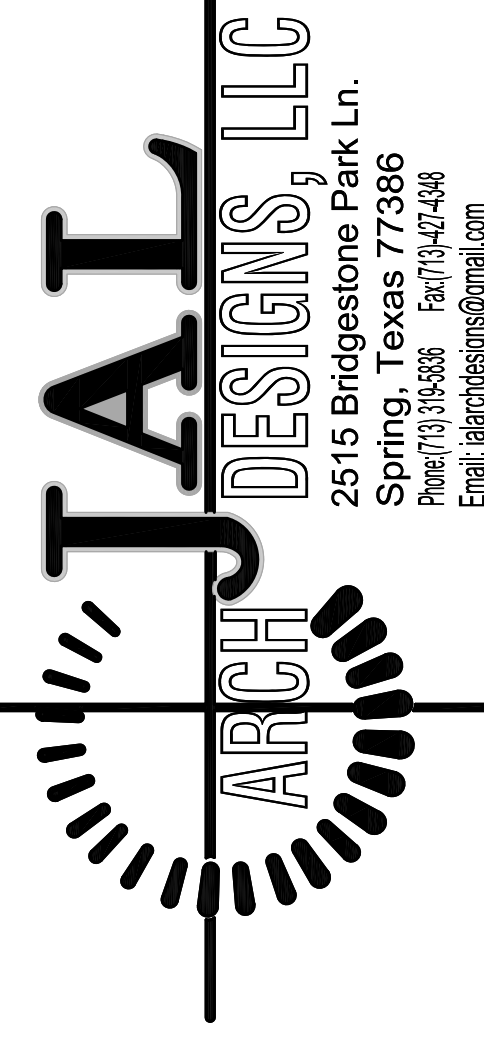
SQUARE FOOTAGE

FIRST FLOOR:-	
LIVING AREA	= 4,340.0 S.F.
ENTRY PORCH AREA	= 95.0 S.F.
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TOTAL FRAMED AREA	= 8,922.0 S.F.
TOTAL SLAB AREA	= 6,424.0 S.F.



ARCHITECTURAL SECOND FLOOR PLAN

Scale : 1/4" = 1'-0"



PROPOSED RESIDENCE FOR MR. & MRS. DAUD

NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES, AND WINDOW/DOOR SIZES AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.

ARCHITECTURAL SECOND FLOOR PLAN
GENERAL NOTES

DATE :	AUGUST 17, 2017
SCALE :	AS SHOWN
DRAWN BY :	J.A.L
REVISED	Final Permit Set-04/26/18

A 3.1

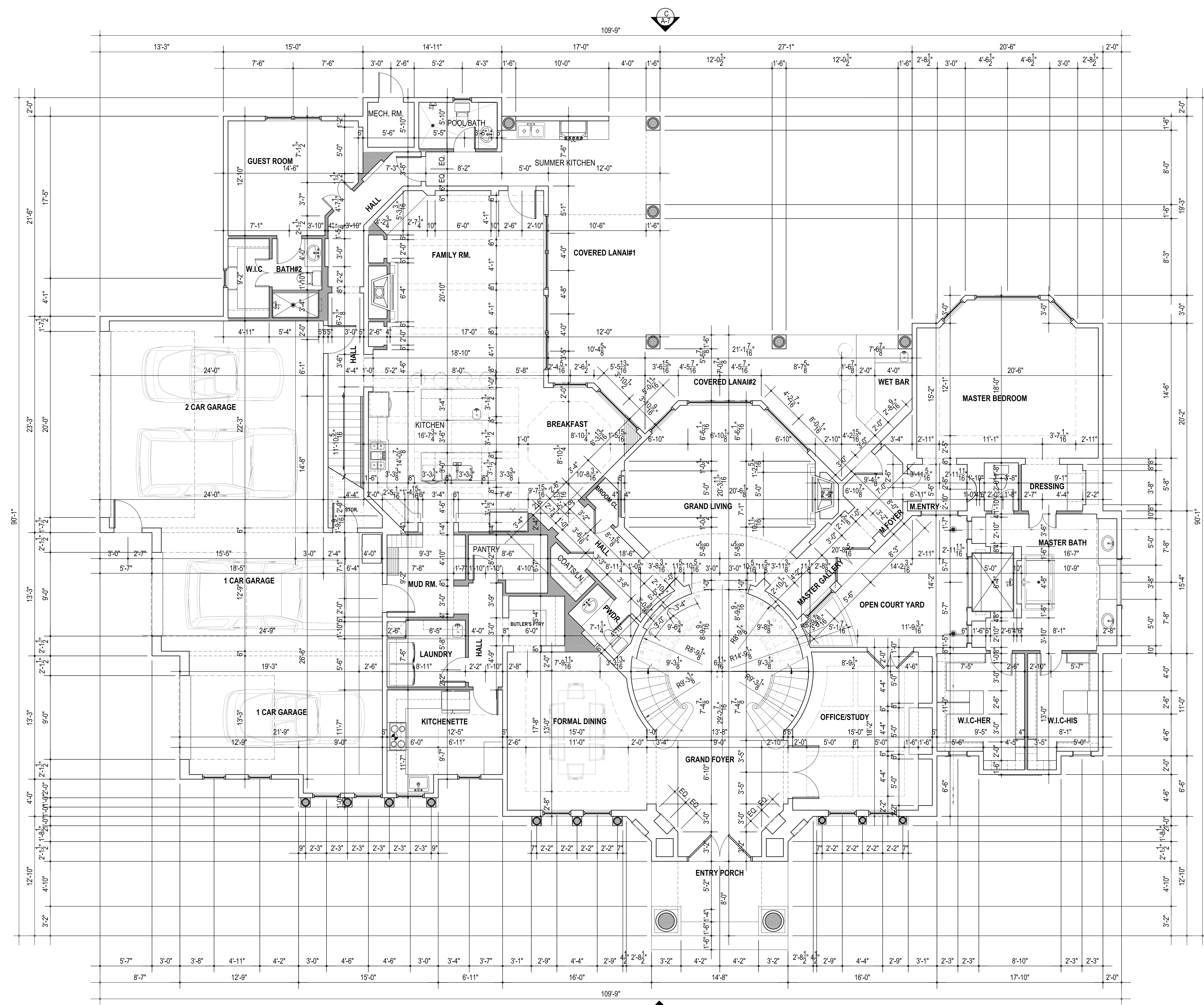
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DIMENSIONAL FIRST FLOOR PLAN

DATE :	AUGUST 17, 2017
SCALE :	AS SHOWN
DRAWN BY :	J.A.L
REVISED :	Final Permit Set-04/26/18

A 4.0

PROPOSED RESIDENCE FOR MR. & MRS. DAUD



DIMENSIONAL FIRST FLOOR PLAN
Scale : 1/4" = 1'-0"

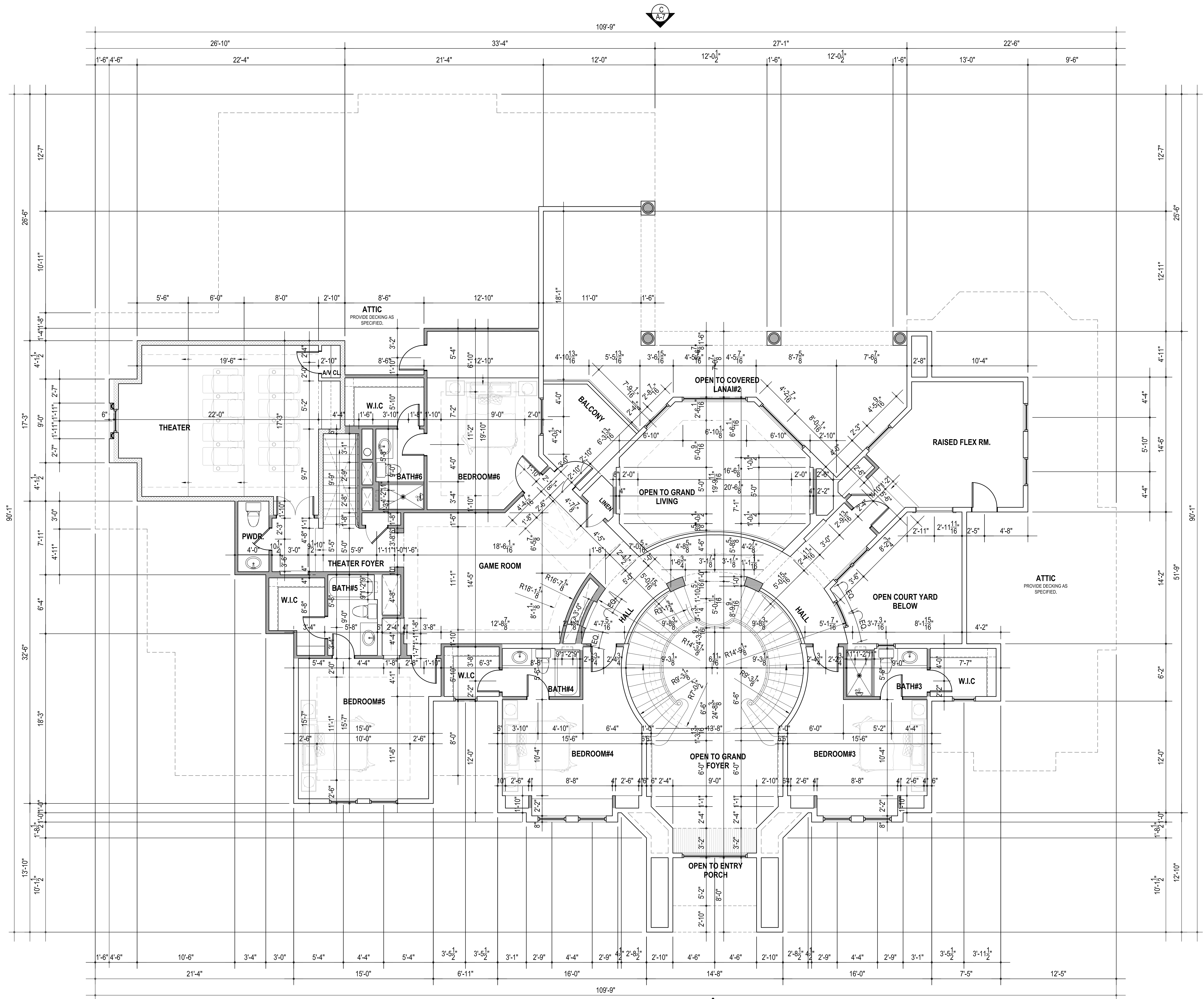
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DIMENSIONAL SECOND FLOOR PLAN

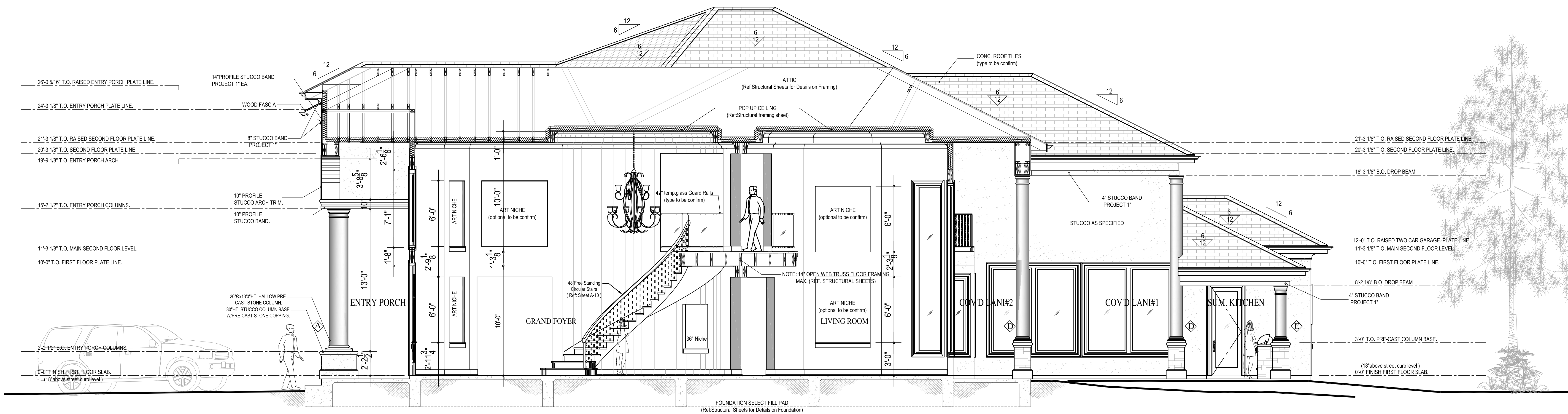
DATE :	AUGUST 17, 2017
SCALE :	AS SHOWN
DRAWN BY :	J.A.L
REVISED	Final Permit Set-04/26/18

A 4.1

PROPOSED RESIDENCE FOR MR. & MRS. DAUD



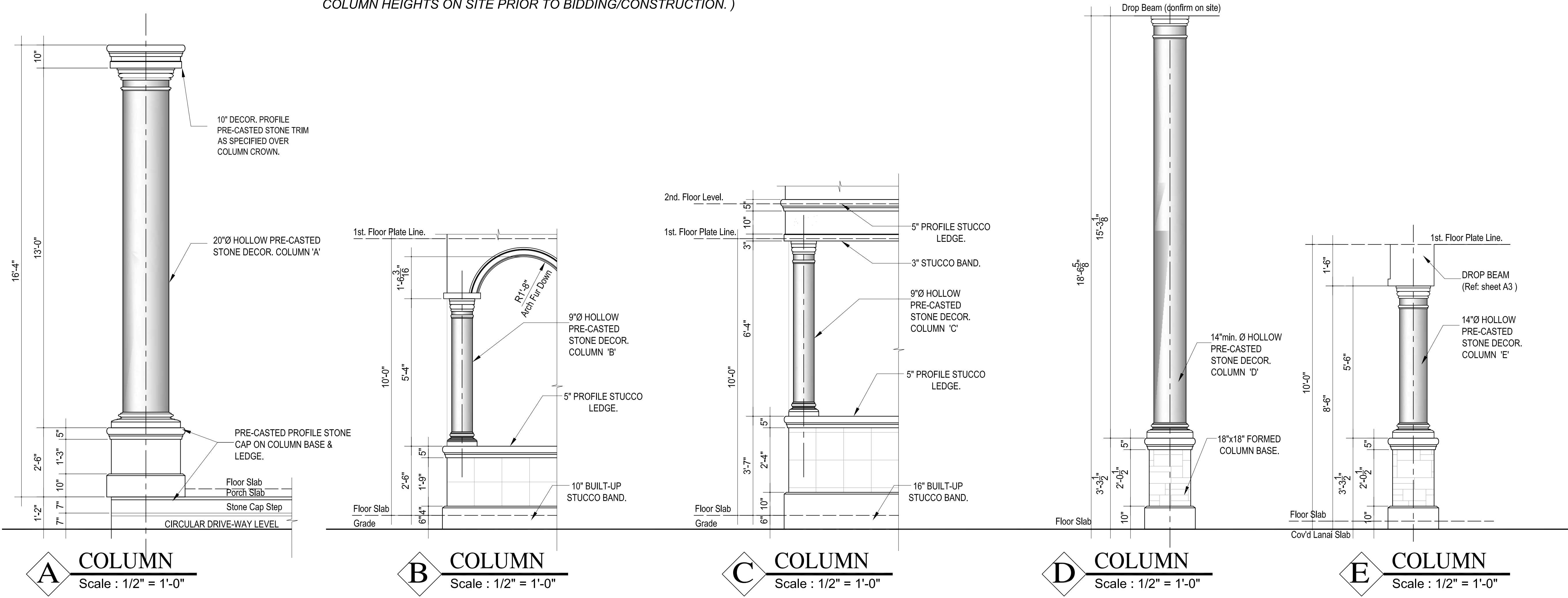
DIMENSIONAL SECOND FLOOR PLAN
 Scale : 1/4" = 1'-0"



A CROSS SECTION 'A - A'
 Scale: 1/4" = 1'-0"

HOLLOW COLUMN DETAILS

(NOTE: CONFIRM COLUMN STYLE AND MATERIAL TYPE, VERIFY ALL COLUMN HEIGHTS ON SITE PRIOR TO BIDDING/CONSTRUCTION.)

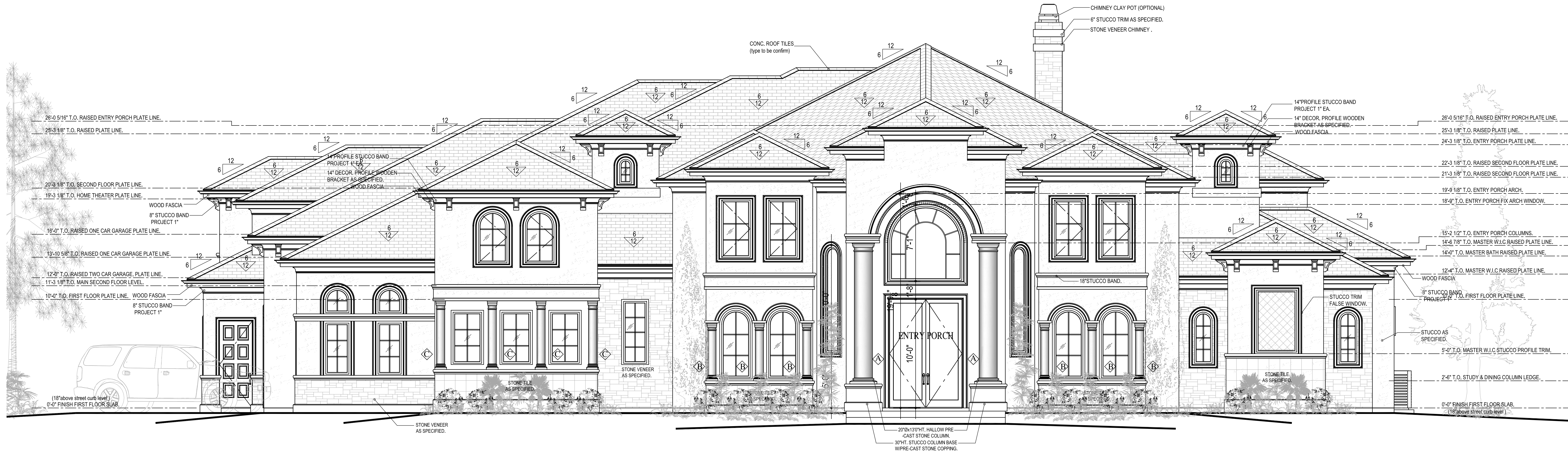


PROPOSED RESIDENCE FOR MR. & MRS. DAUD

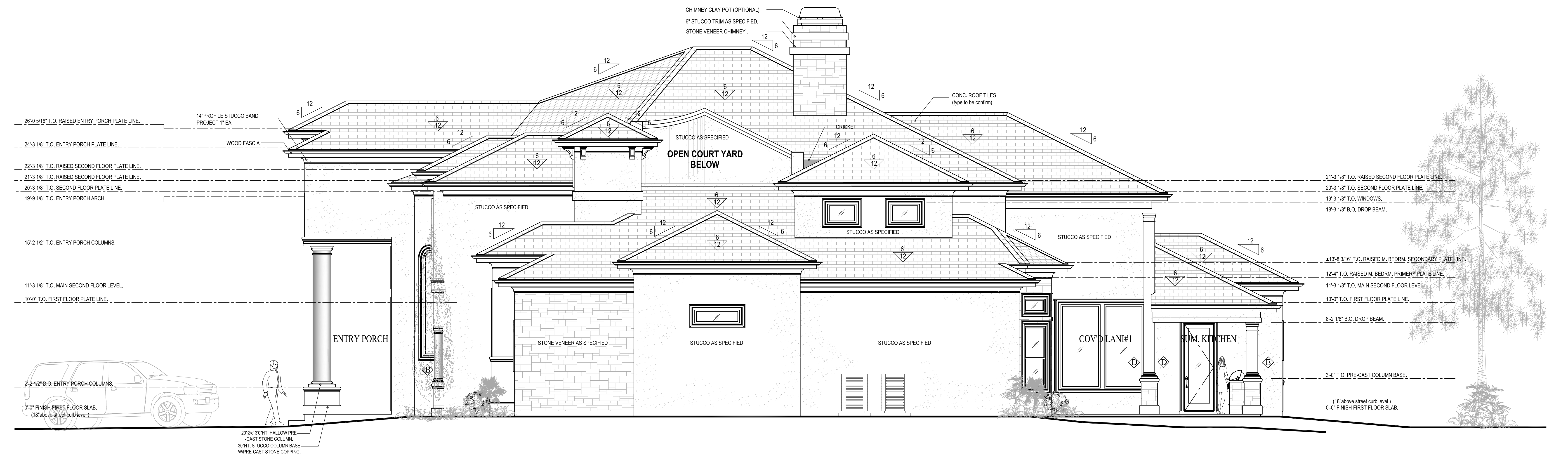
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SECTION 'A - A'
 INTERIOR WALL ELEVATIONS

DATE :	AUGUST 17, 2017
SCALE :	AS SHOWN
DRAWN BY :	J.A.L
REVISED	Final Permit Set-04/26/18



A FRONT ELEVATION
 Scale : 1/4" = 1'-0"



B RIGHT ELEVATION
 Scale : 1/4" = 1'-0"

PROPOSED RESIDENCE FOR MR. & MRS. DAUD

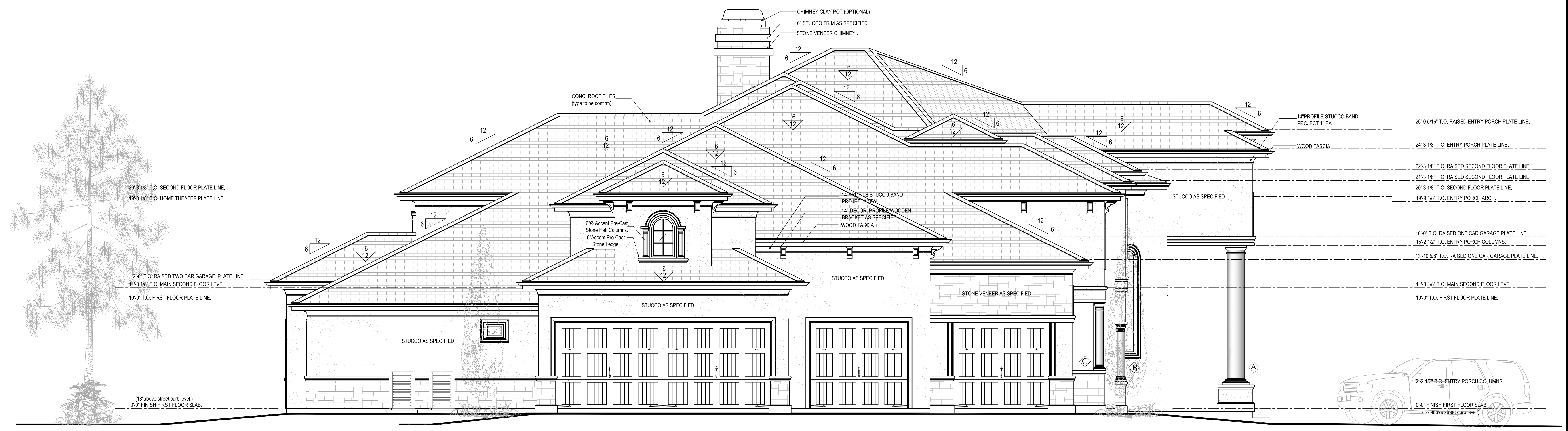
NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.

FRONT ELEVATION ' A '
 RIGHT ELEVATION ' B '

DATE : AUGUST 17, 2017
 SCALE : AS SHOWN
 DRAWN BY : J.A.L.
 REVISED : Final Permit Set-04/26/18



C REAR ELEVATION
 Scale : 1/4" = 1'-0"



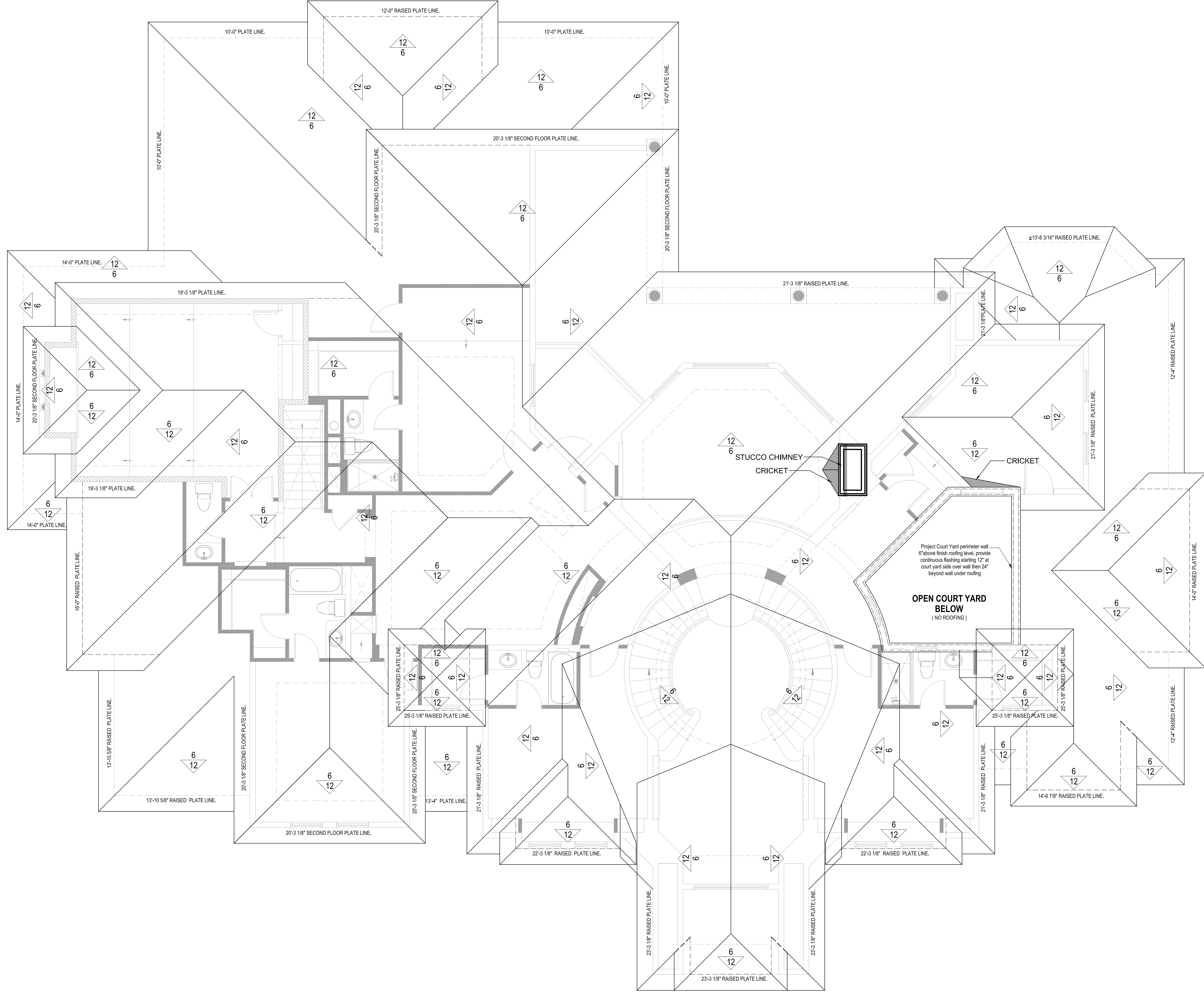
D LEFT ELEVATION
 Scale : 1/4" = 1'-0"

PROPOSED RESIDENCE FOR MR. & MRS. DAUD

NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES, AND WINDOW/DOOR SIZES AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.

REAR ELEVATION ' C '
 LEFT ELEVATION ' D '

DATE : AUGUST 17, 2017
 SCALE : AS SHOWN
 DRAWN BY : J.A.L.
 REVISED : Final Permit Set-04-2018



PROVIDE GUTTER SYSTEM
AS SPECIFIED BY OWNER.

ROOF PLAN
Scale : 1/4" = 1'-0"

PROPOSED RESIDENCE FOR MR. & MRS. DAUD

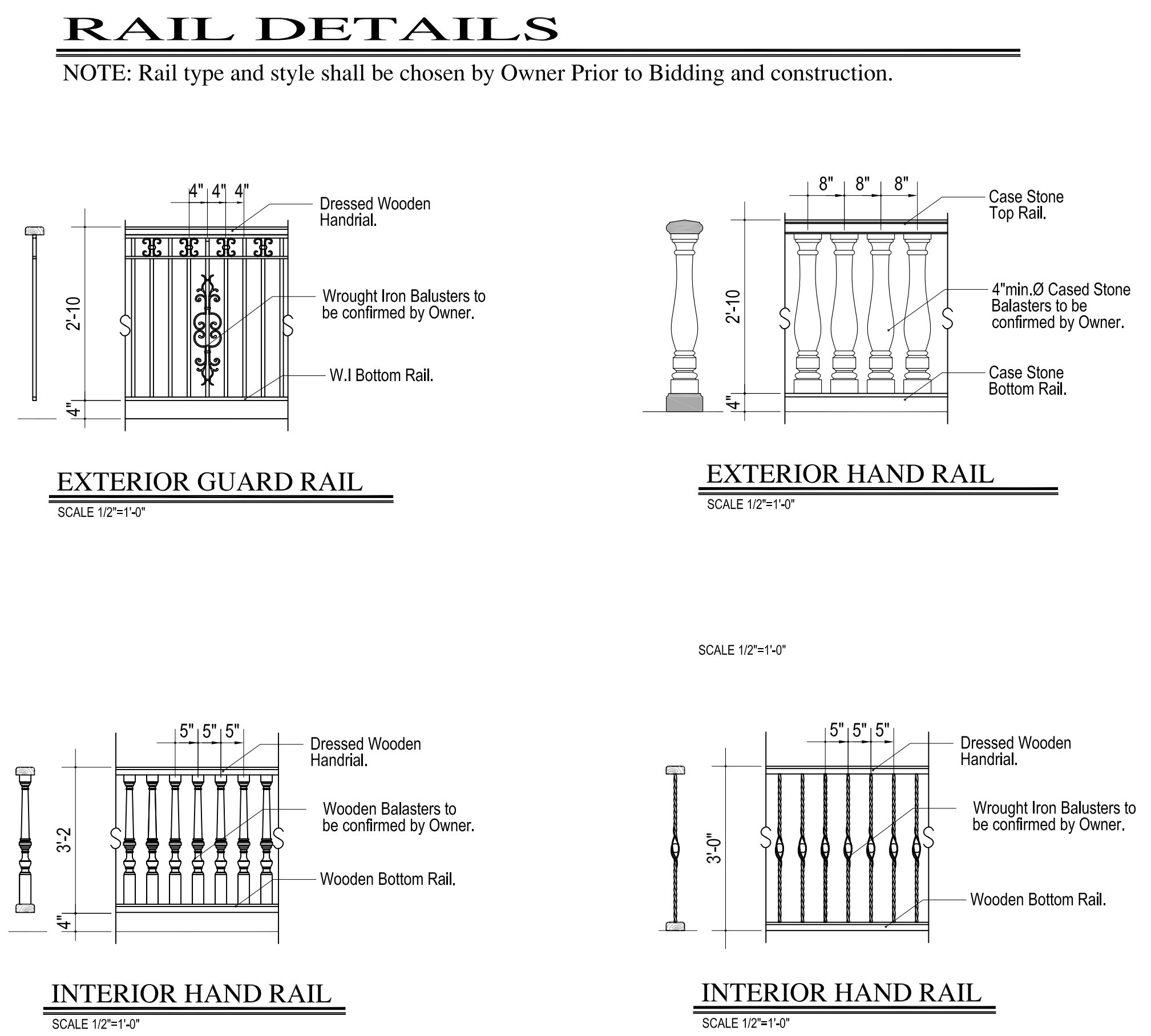
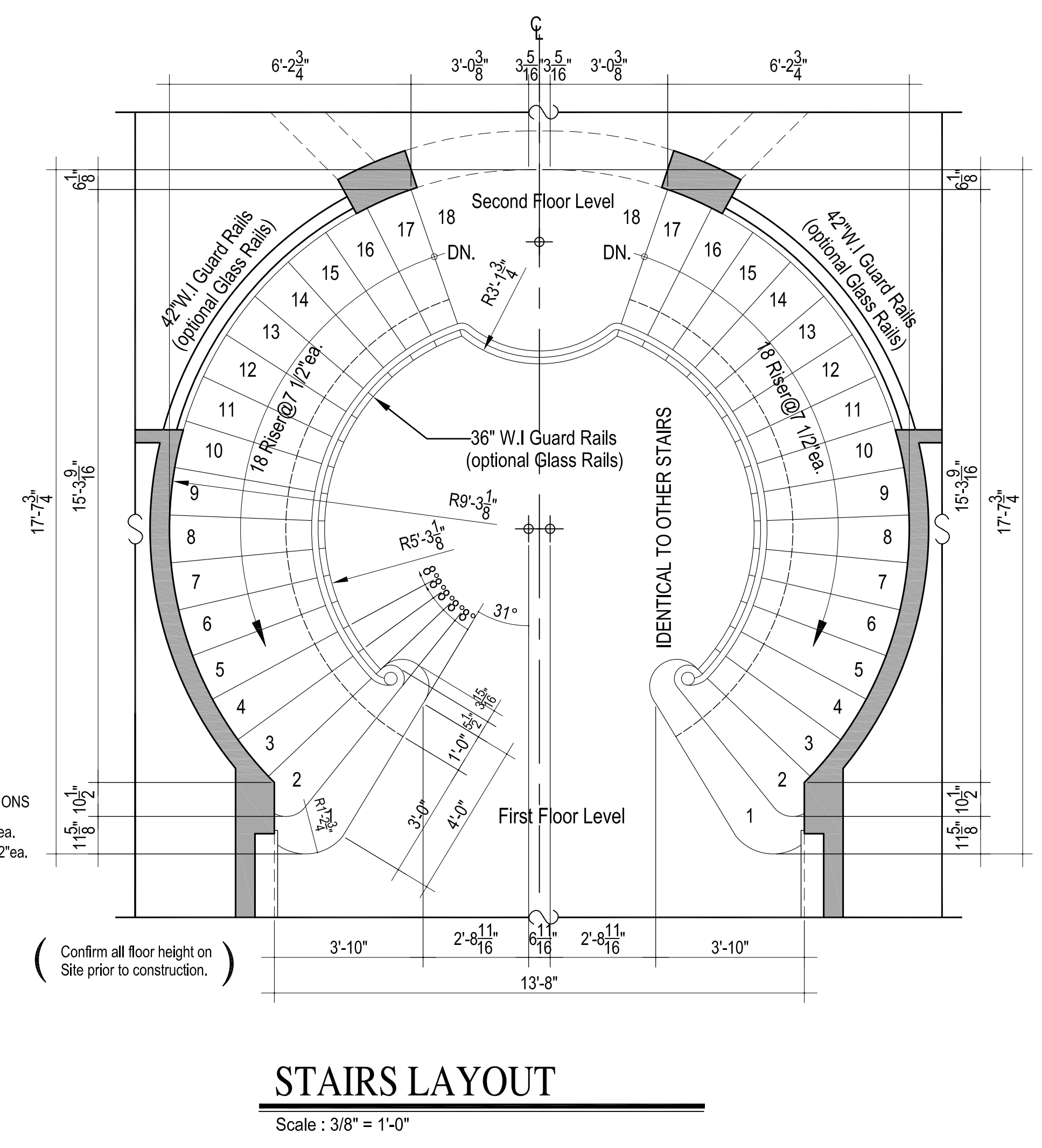
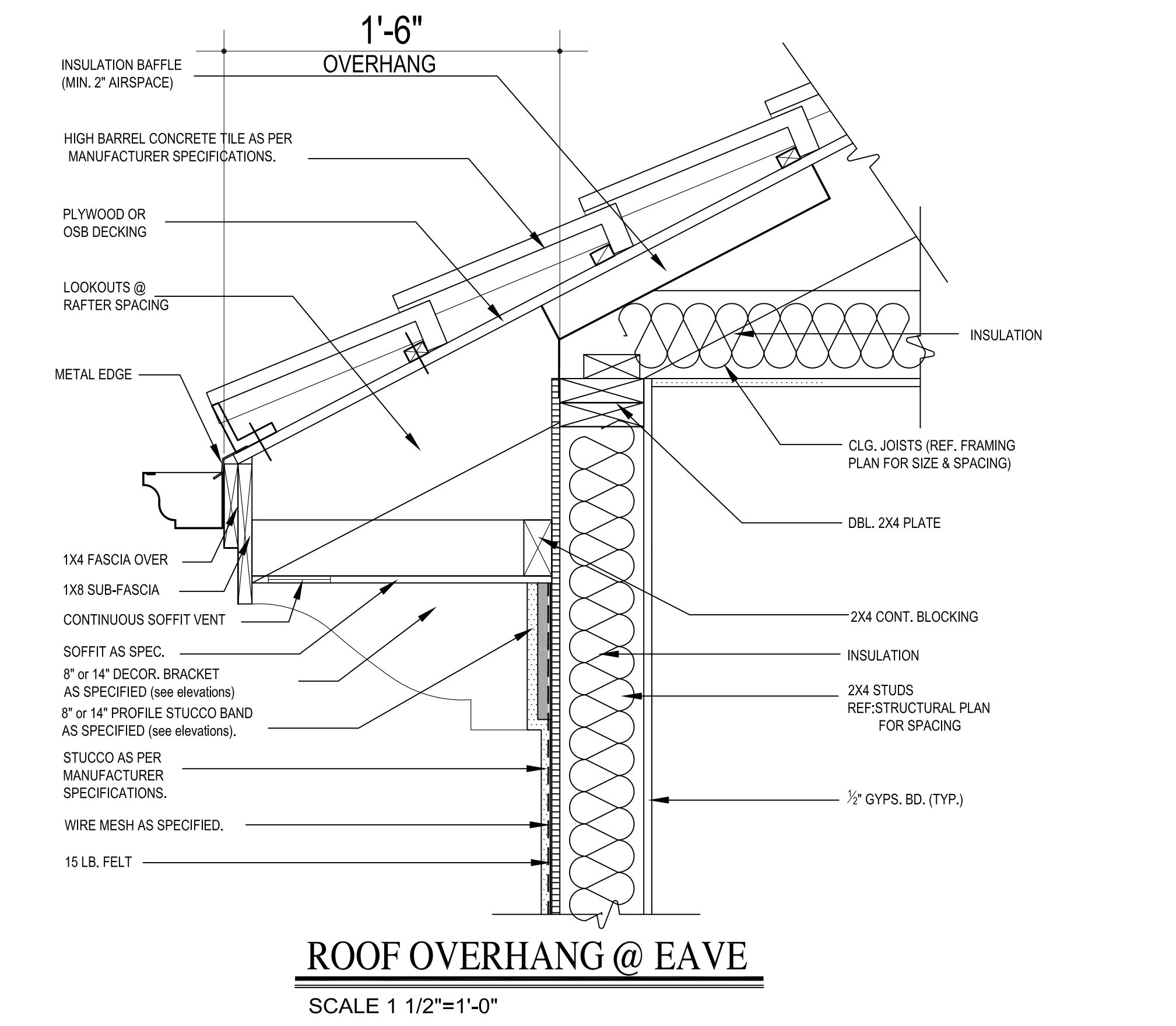
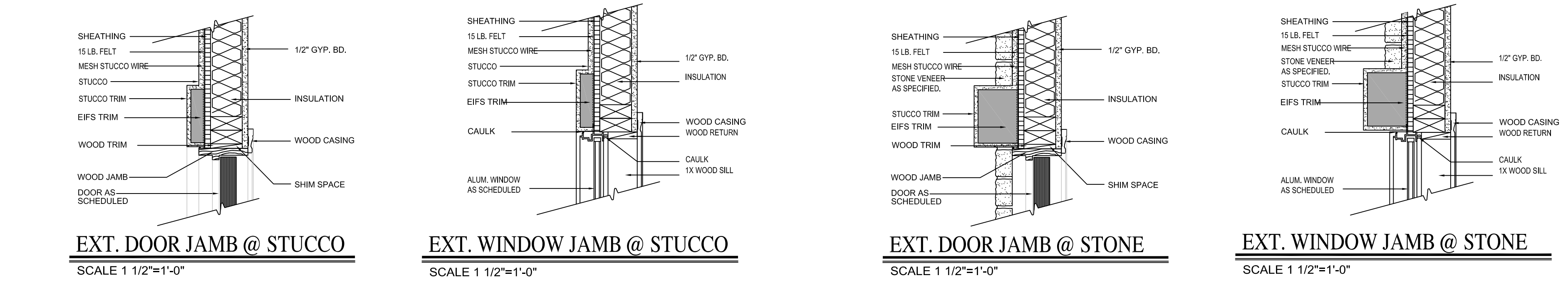
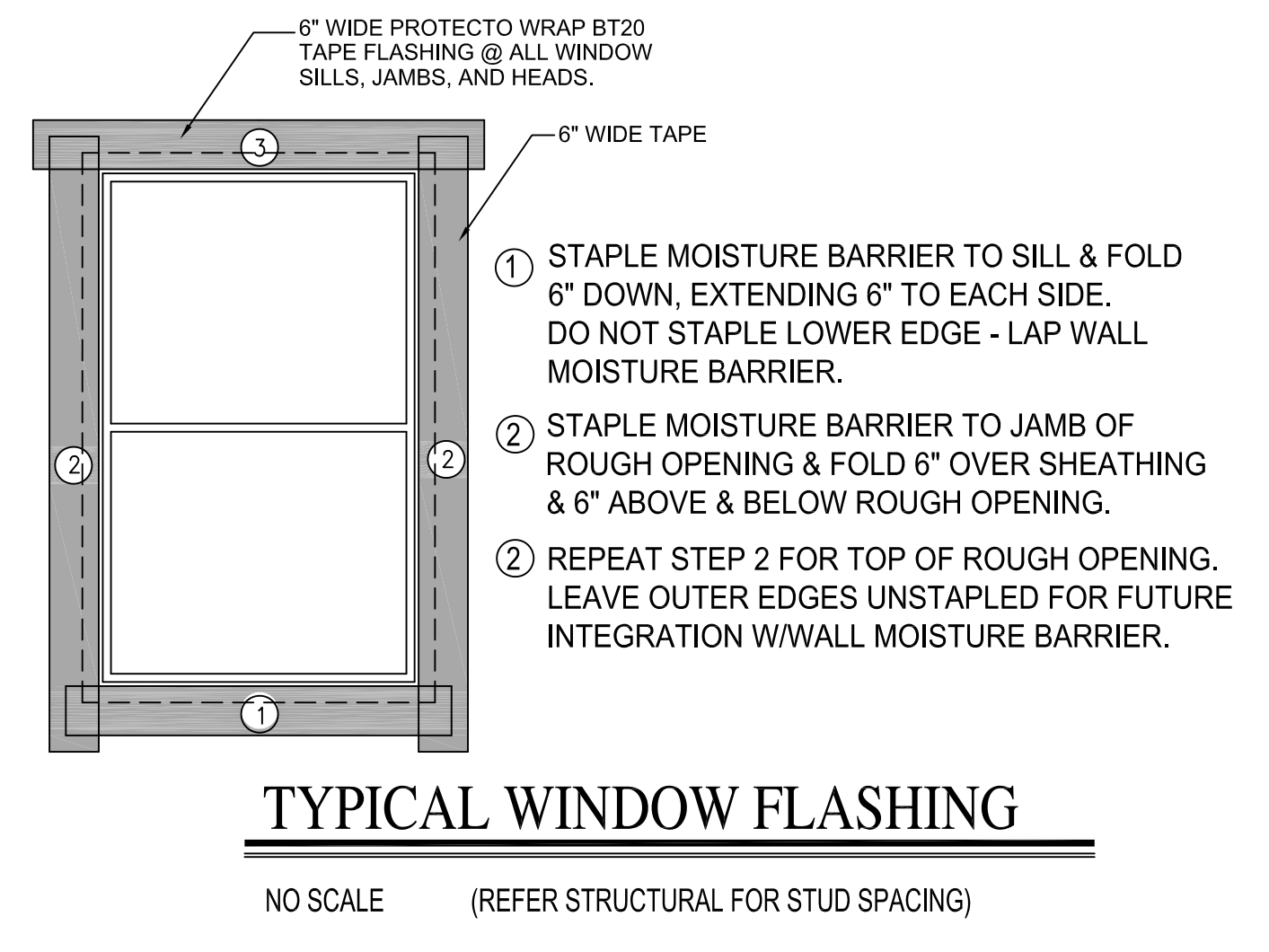
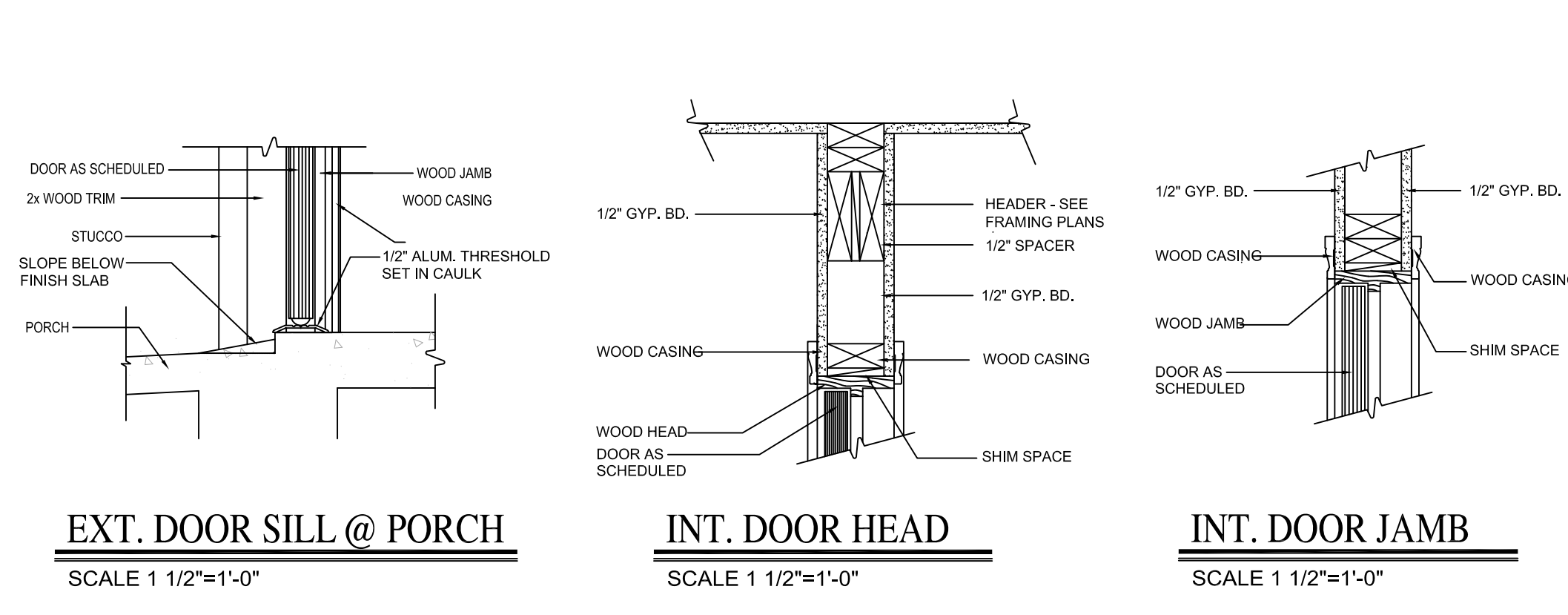
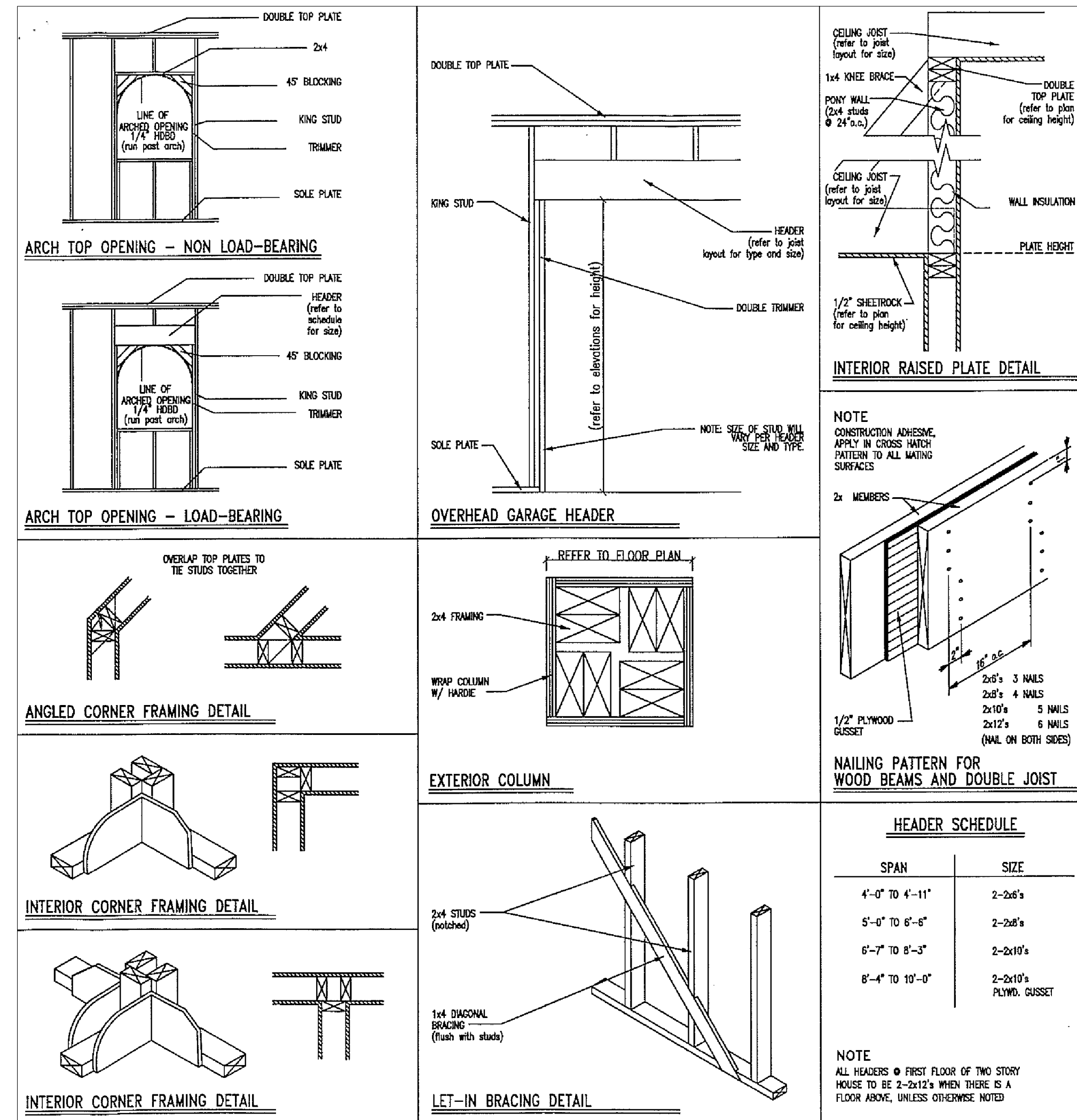
DATE :	AUGUST 17, 2017
SCALE :	AS SHOWN
DRAWN BY :	J.A.L
REVISED	Final Permit Set-04/26/18

ROOF PLAN

NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS.



2515 Bridgestone Park Ln.
Spring Creek, NV 89133
702-745-4466
Email: jaldesigns@gmail.com



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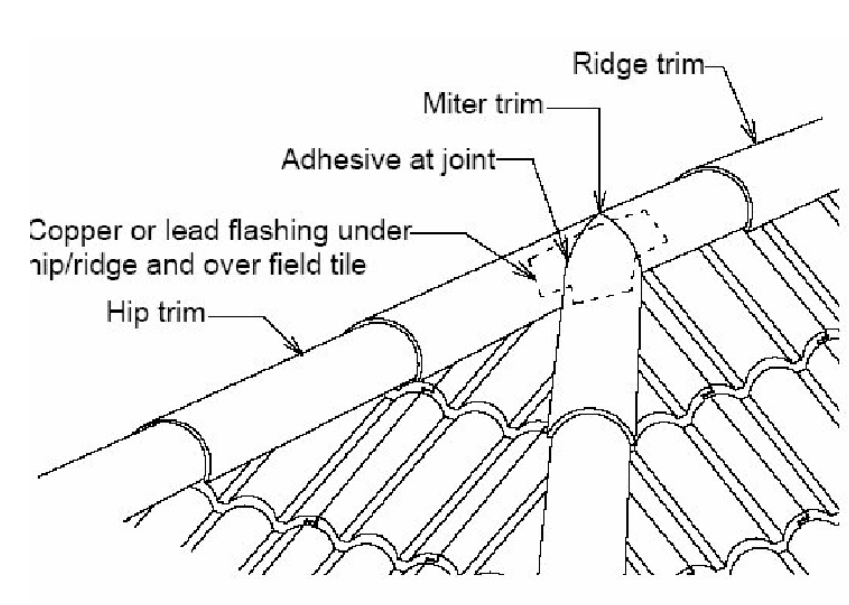
SPECIFICATIONS AND DETAILS
STAIR LAYOUT & RAIL DETAILS
ROOF OVERHANG SECTION

DATE : AUGUST 17, 2017
SCALE : AS SHOWN
DRAWN BY : J.A.L
REVISED : Final Permit Set-04/26/18

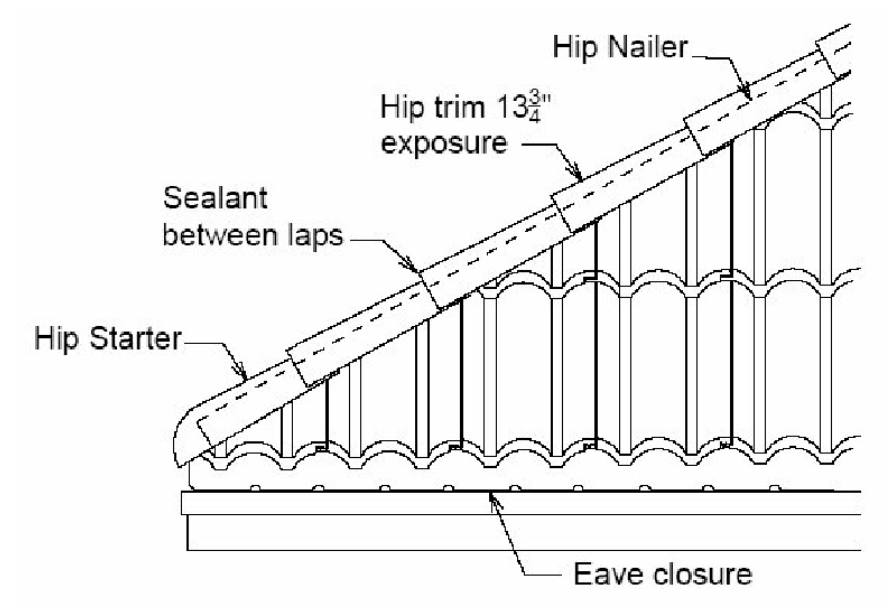
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ROOF DETAILS
 WALL SECTIONS

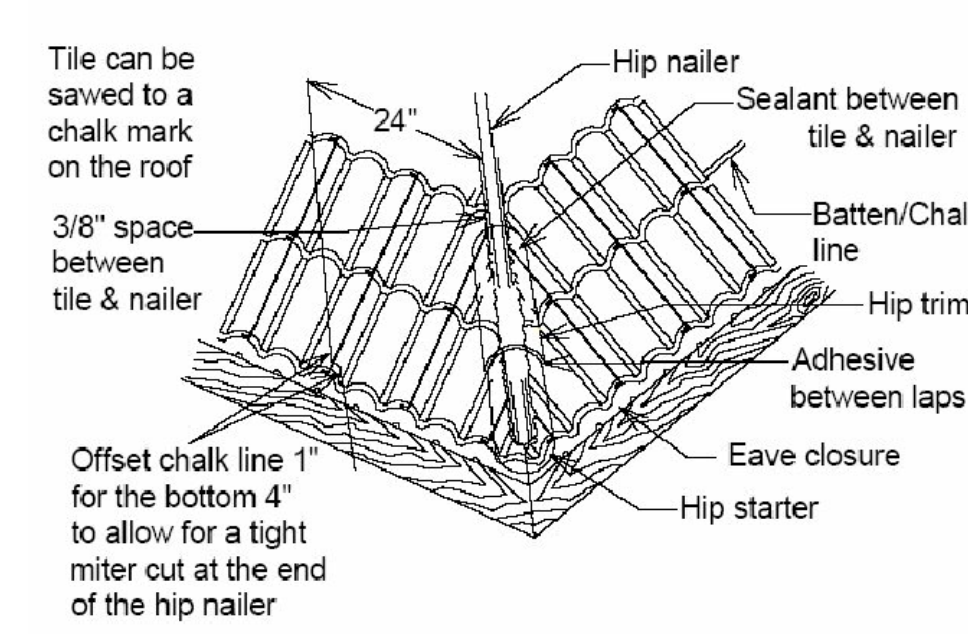
DATE : AUGUST 17, 2017
 SCALE : AS SHOWN
 DRAWN BY : J.A.L.
 REVISED : Final Permit Set-04/26/18



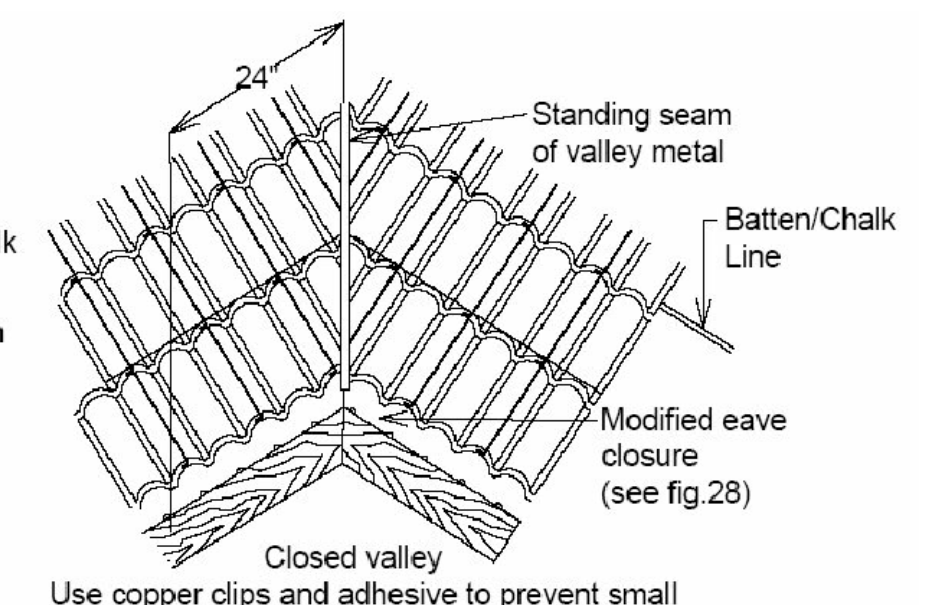
HIP/RIDGE APEX
Not To Scale



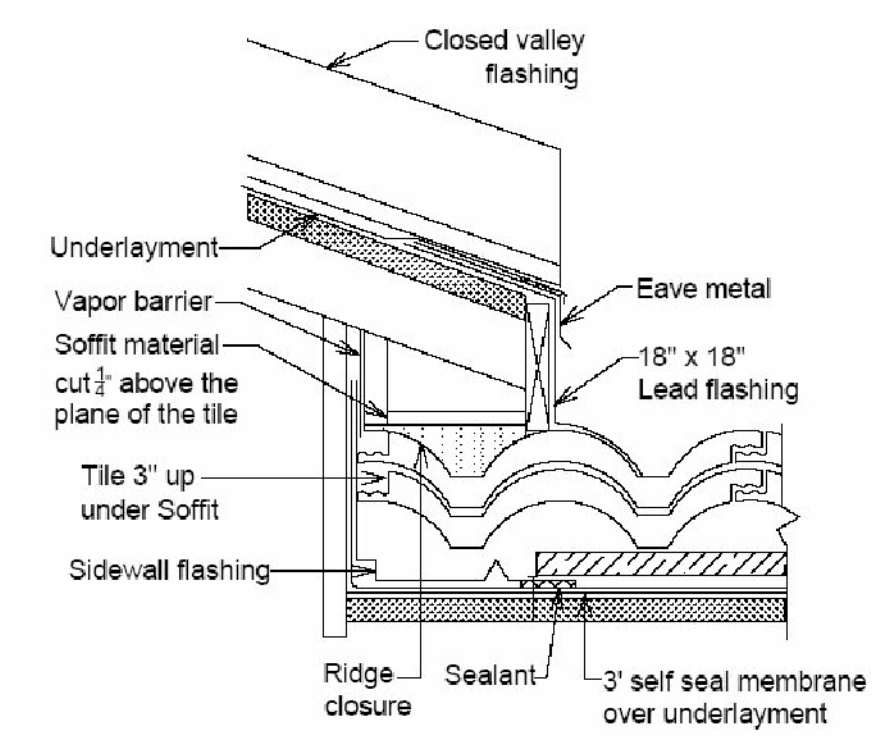
HIP/RIDGE APEX STARTER
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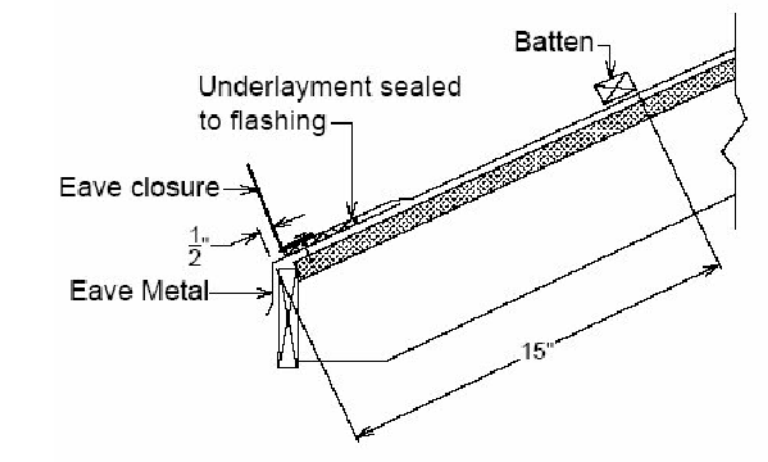
CUT TILE AT HIP AND VALLEY
Not To Scale



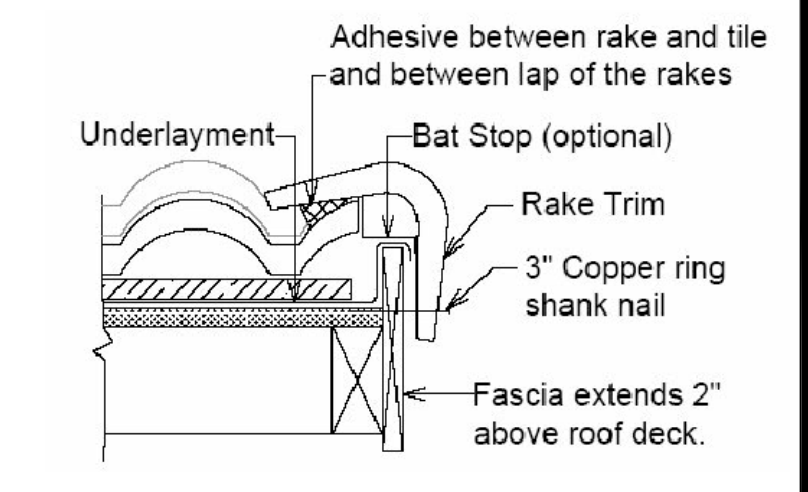
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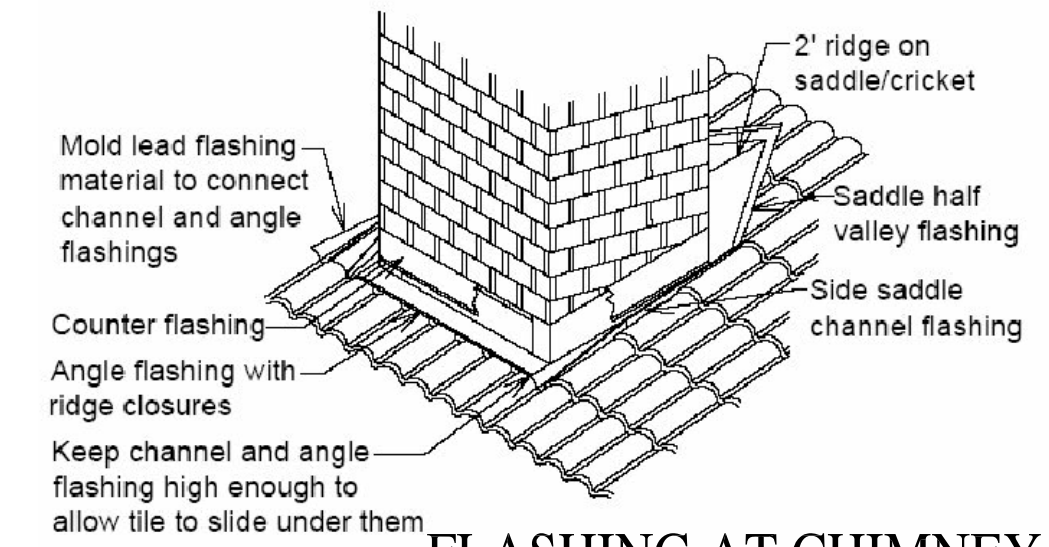
FLASHING AT VALLEY OF WALL
Not To Scale



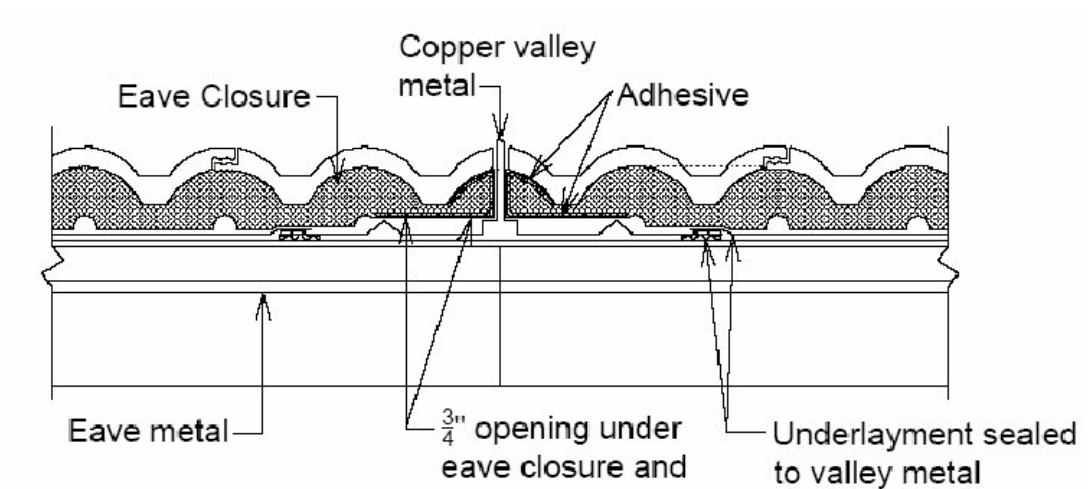
EAVE METAL DRIP
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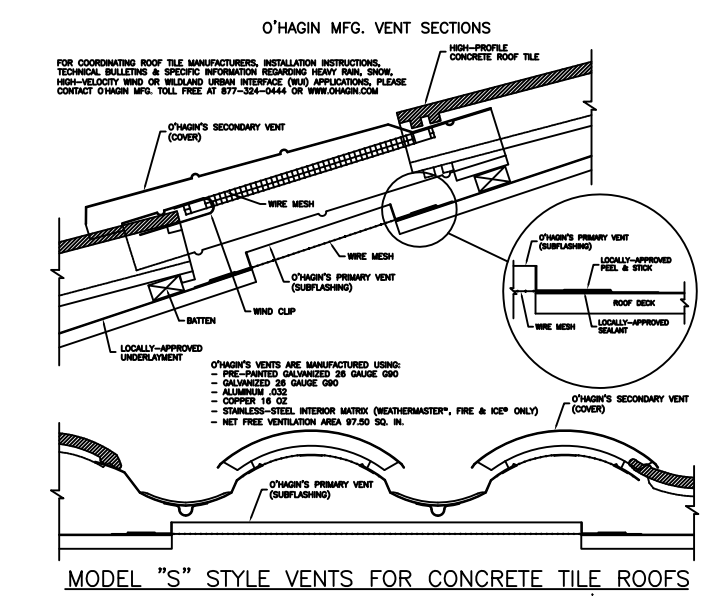
FLASHING AT CHIMNEY
Not To Scale



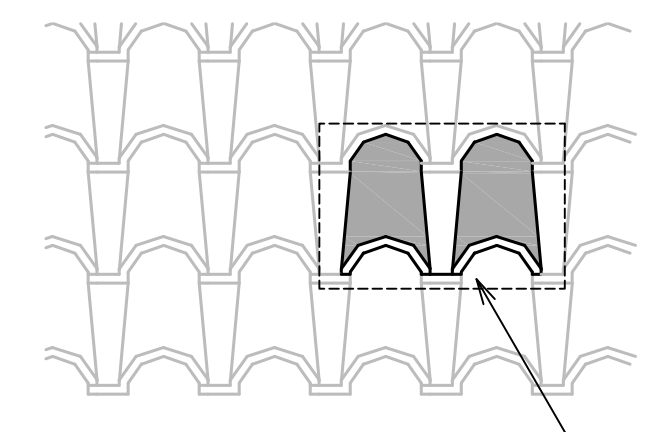
FLASHING AT CHIMNEY
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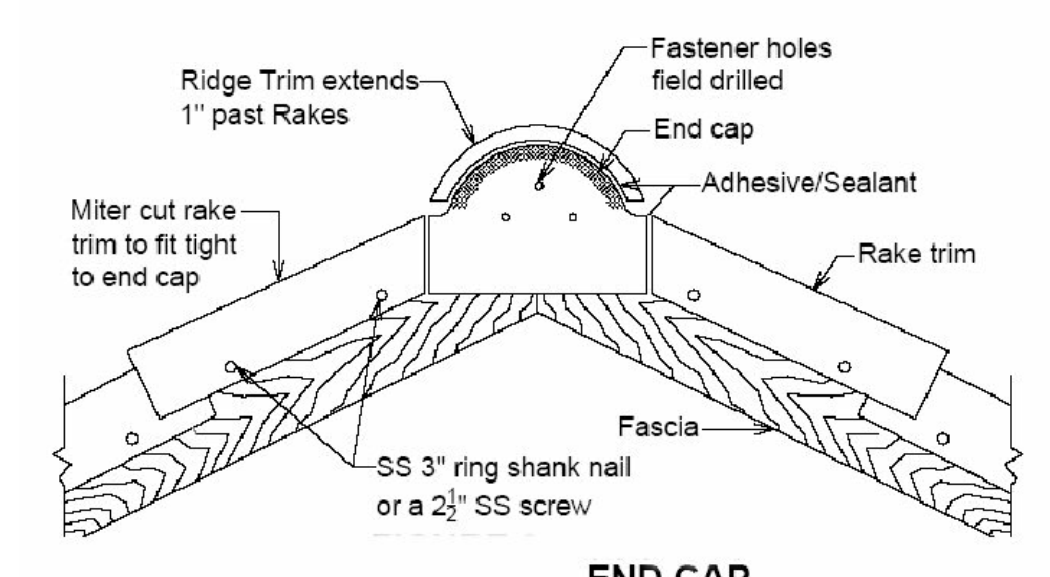
EAVE CLOSURE@VALLEY
Not To Scale



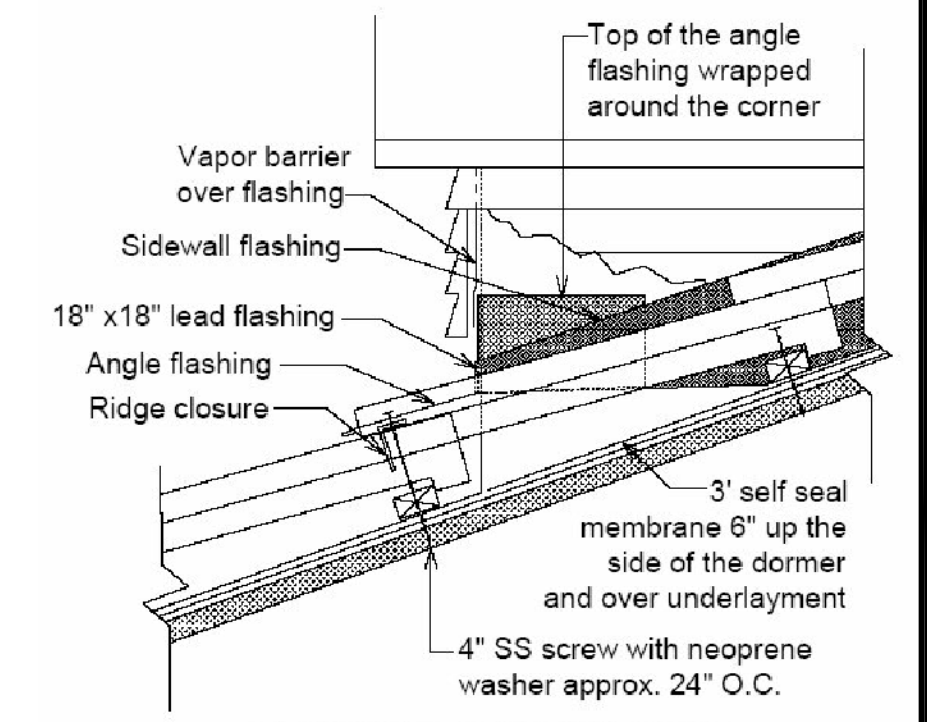
ATTIC VENTING SECTION
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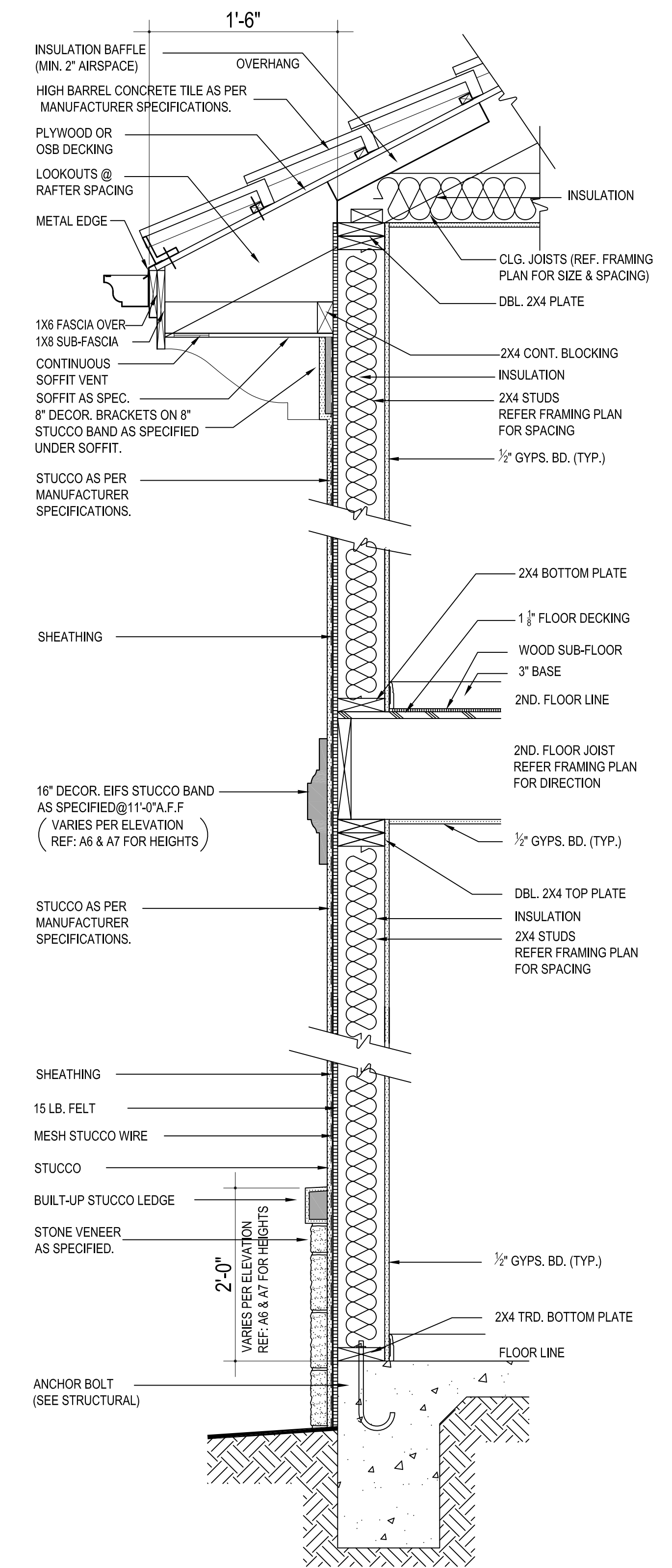
ATTIC VENTING
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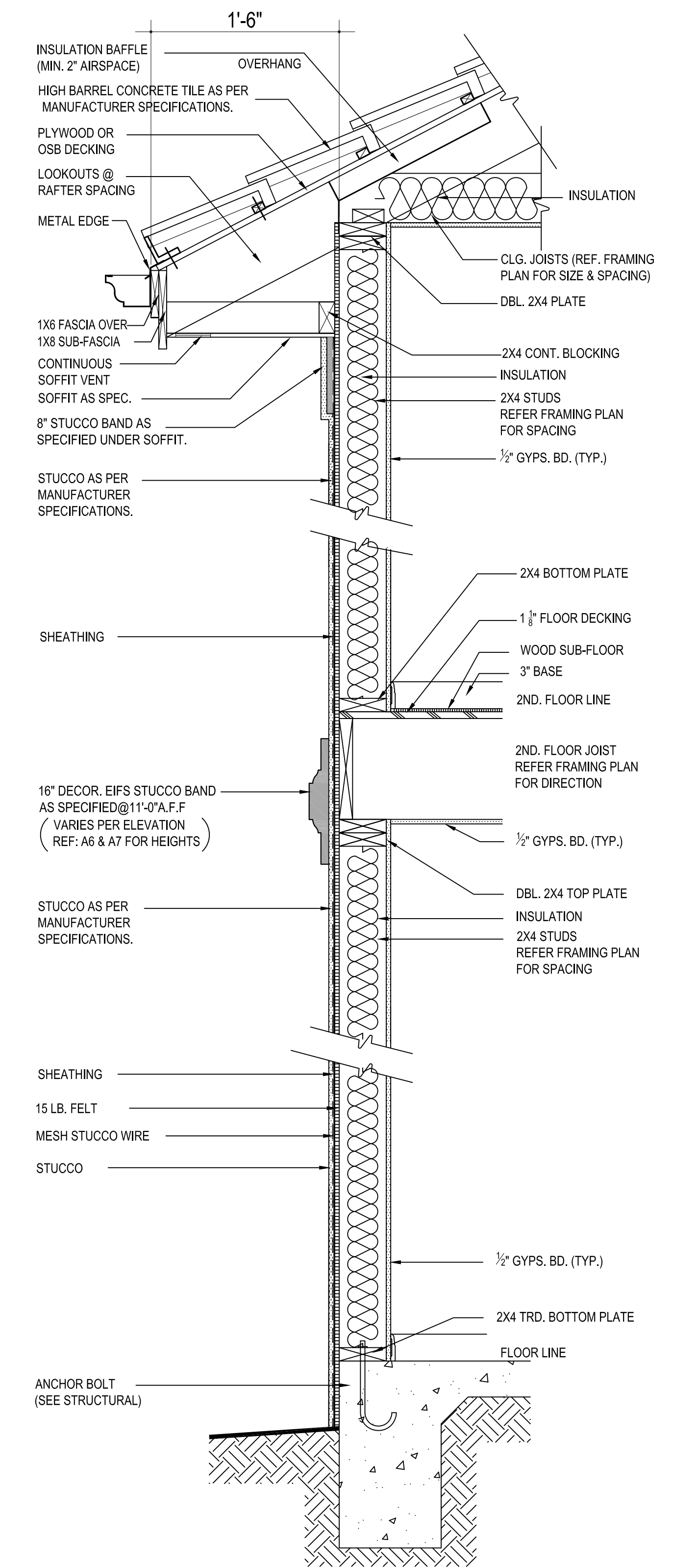
END CAP@RAKE
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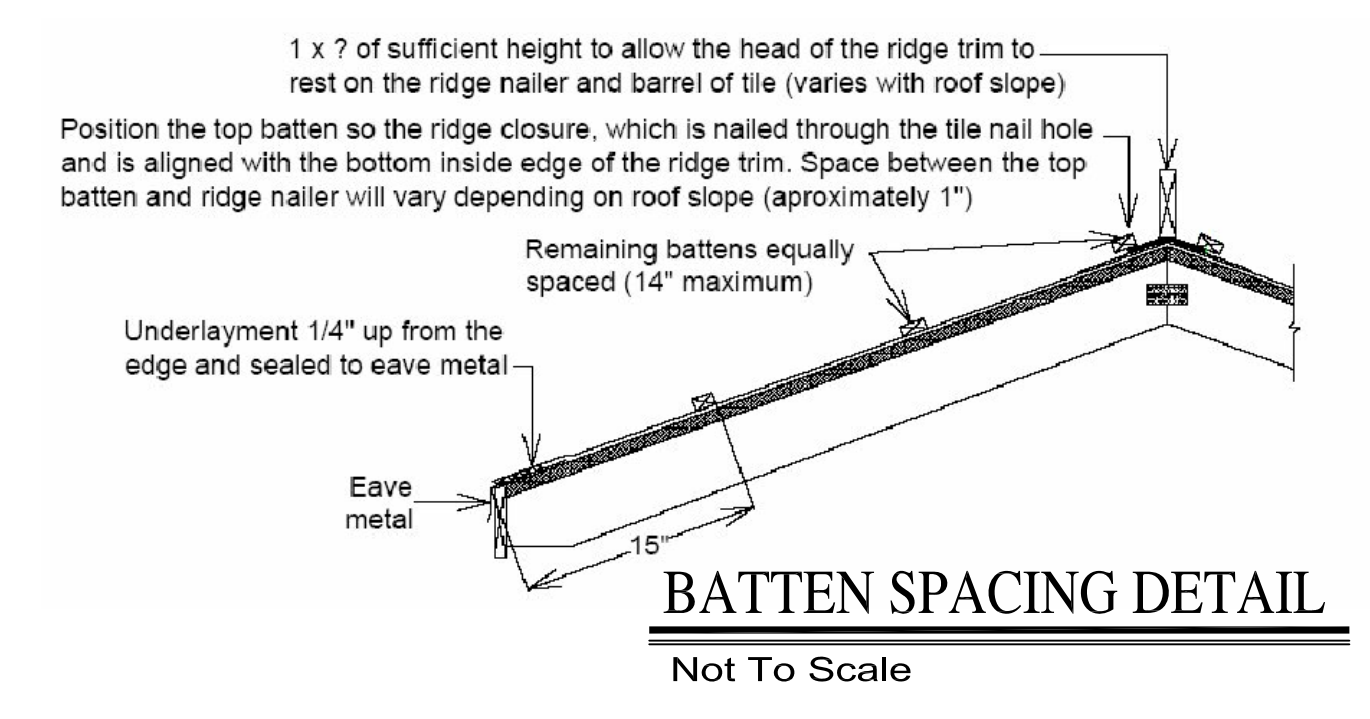
FLASHING AT SIDES
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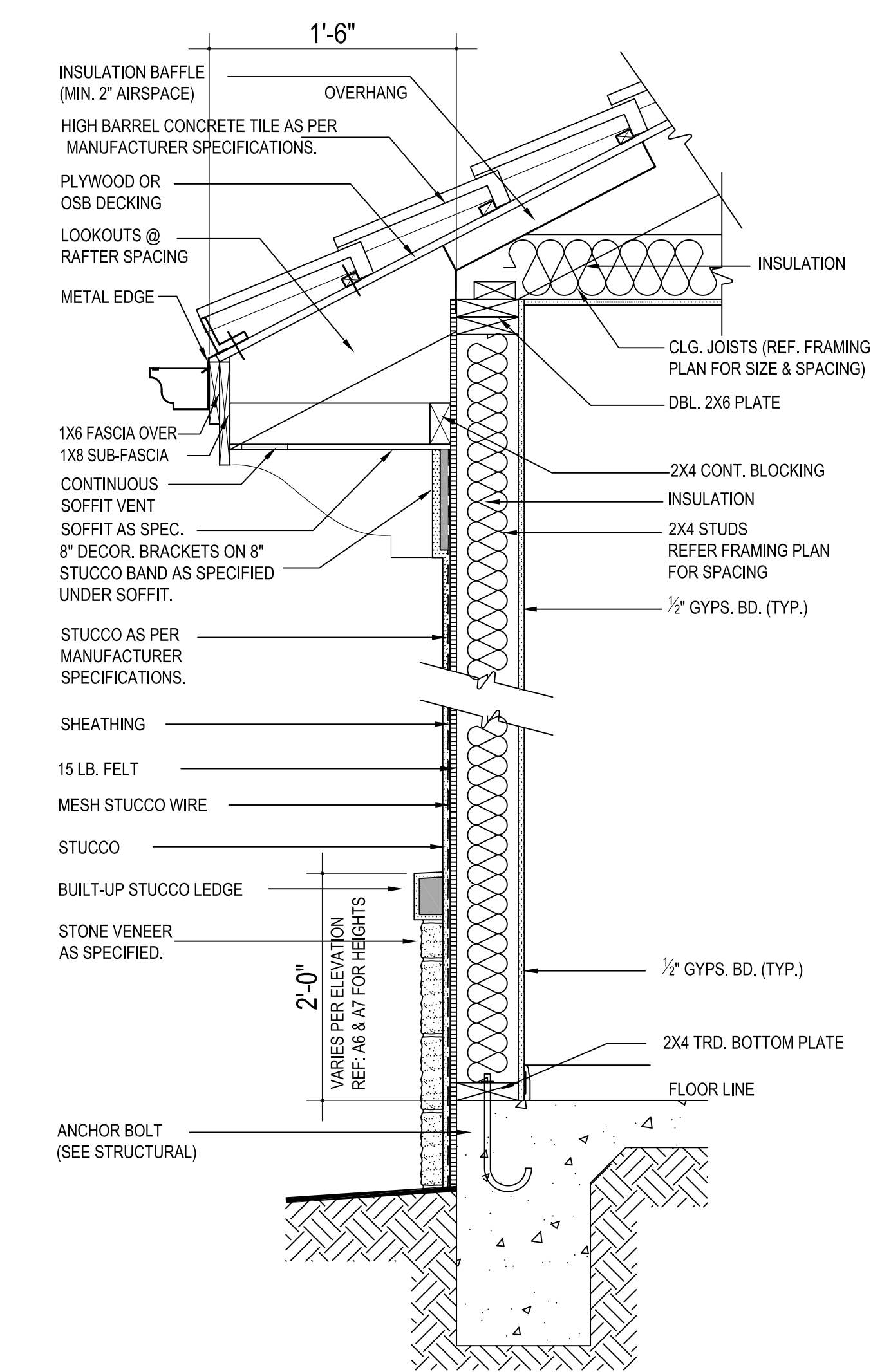
2 WALL SECTION-STUCCO @ EAVE
SCALE 1"=1'-0"



3 WALL SECTION-STUCCO @ EAVE
SCALE 1"=1'-0"



BATTEN SPACING DETAIL
Not To Scale



4 WALL SECTION-STUCCO @ EAVE
SCALE 1"=1'-0"

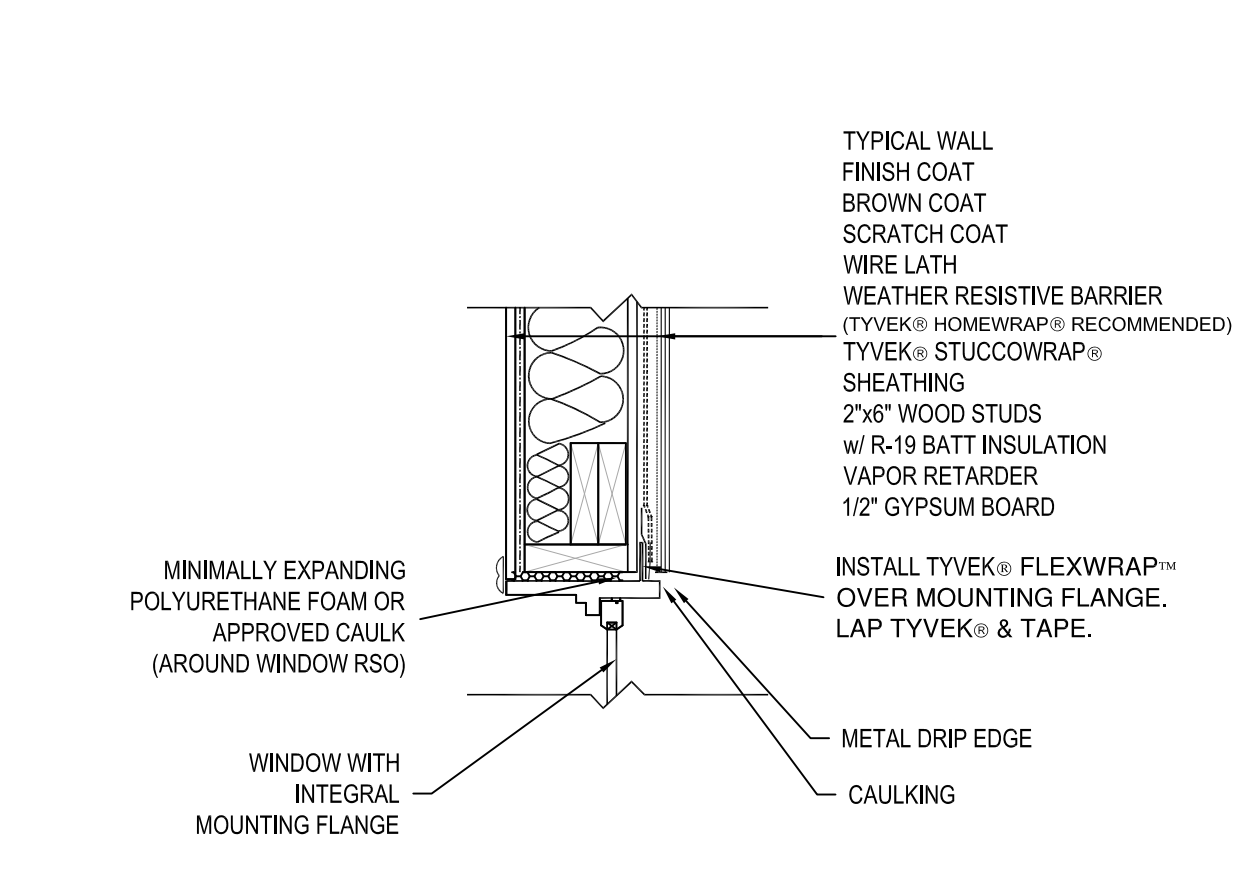
NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND WINDOW/DOOR SIZES AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.

TYPICAL STUCCO WALL DETAILS
 MISC. & GENERAL NOTES

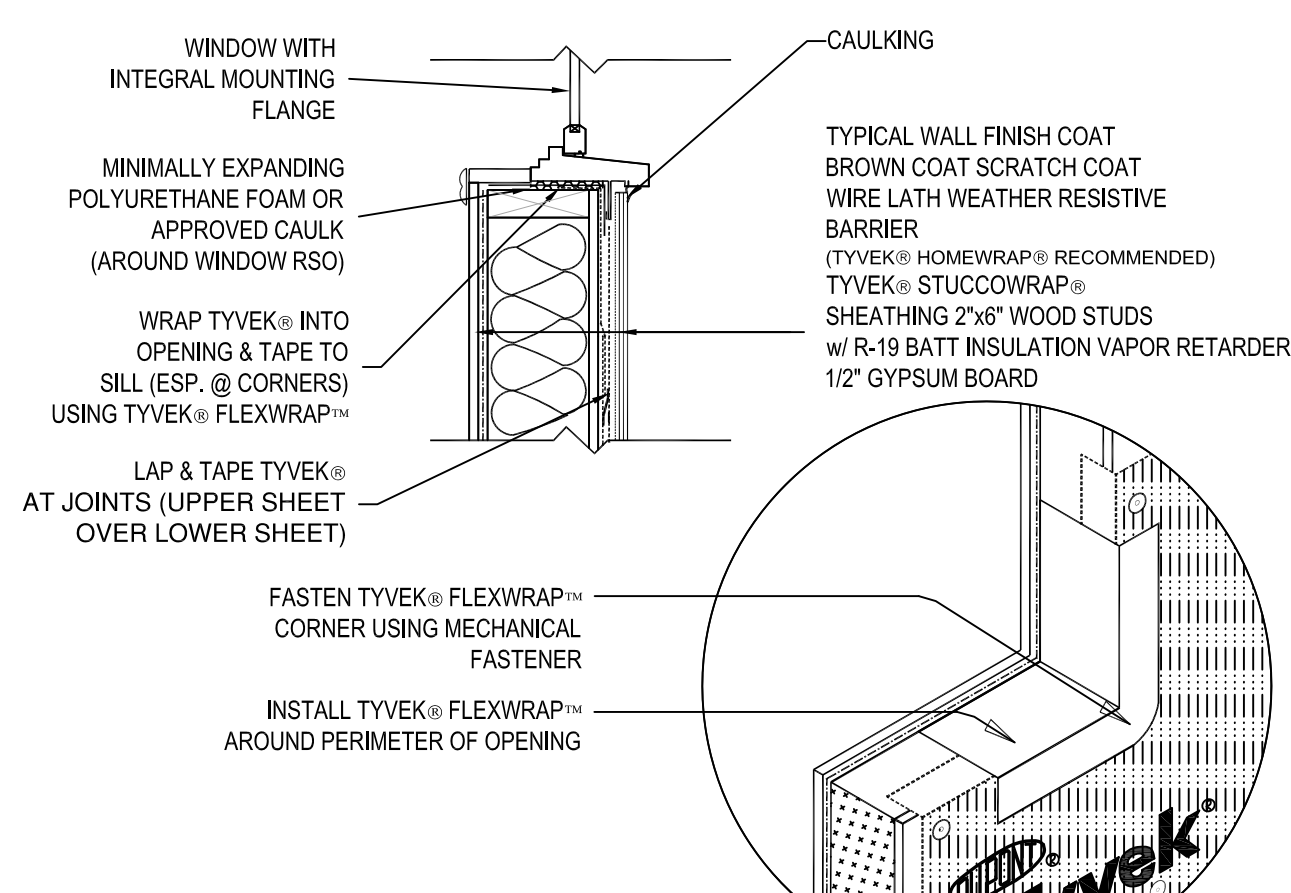
PROPOSED RESIDENCE FOR MR. & MRS. DAUD

DATE :	AUGUST 17, 2017
SCALE :	AS SHOWN
DRAWN BY :	J.A.L
REVISED	Final Permit Set-04/26/18

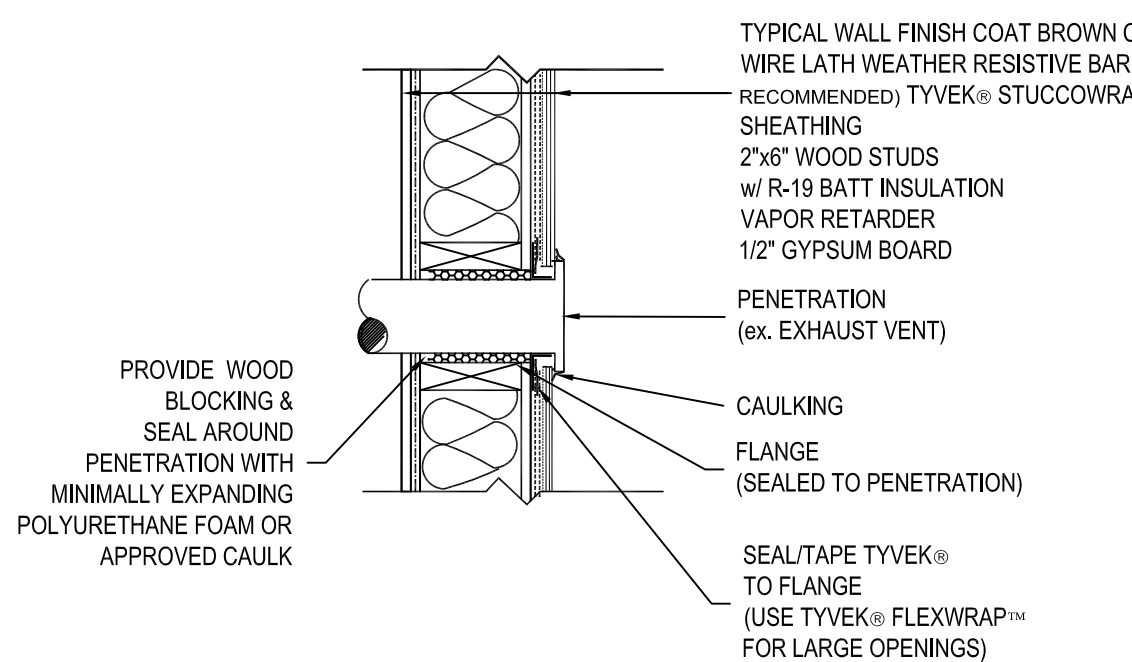
GENERAL NOTES
 *SEAL ALL TYVEK® JOINTS AND PENETRATIONS WITH APPROVED TAPE. (EX. DUPONT CONTRACTOR TAPE)
 *FASTEN TYVEK® TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS (EX. DUPONT WRAPUPS)
 *LOCAL LAWS, ZONING, AND BUILDING CODES VARY AND THEREFORE GOVERNS OVER MATERIAL SELECTION AND DETAILING SHOWN BELOW.
 *INSTALL STUCCO ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS



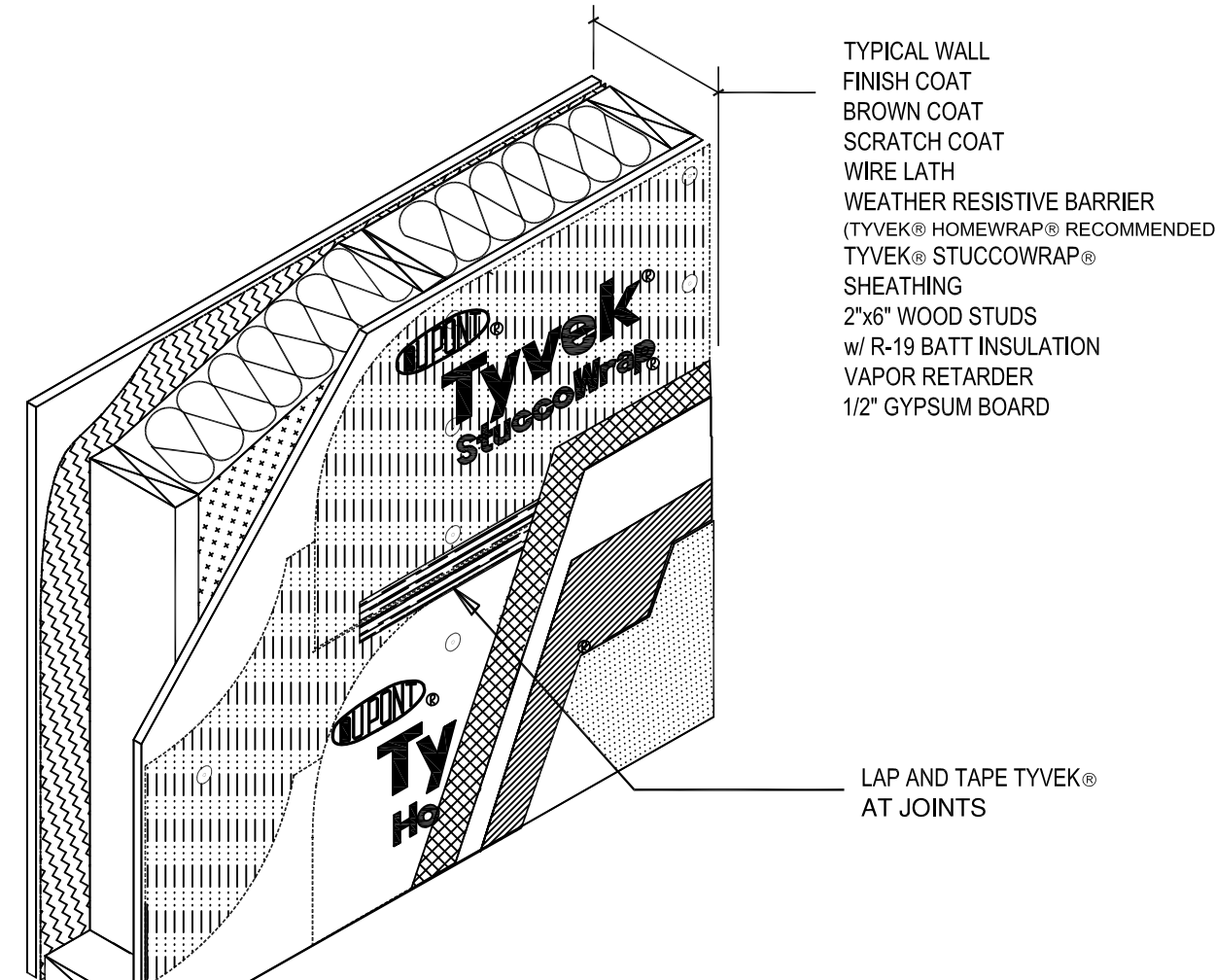
6 WINDOW HEAD DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



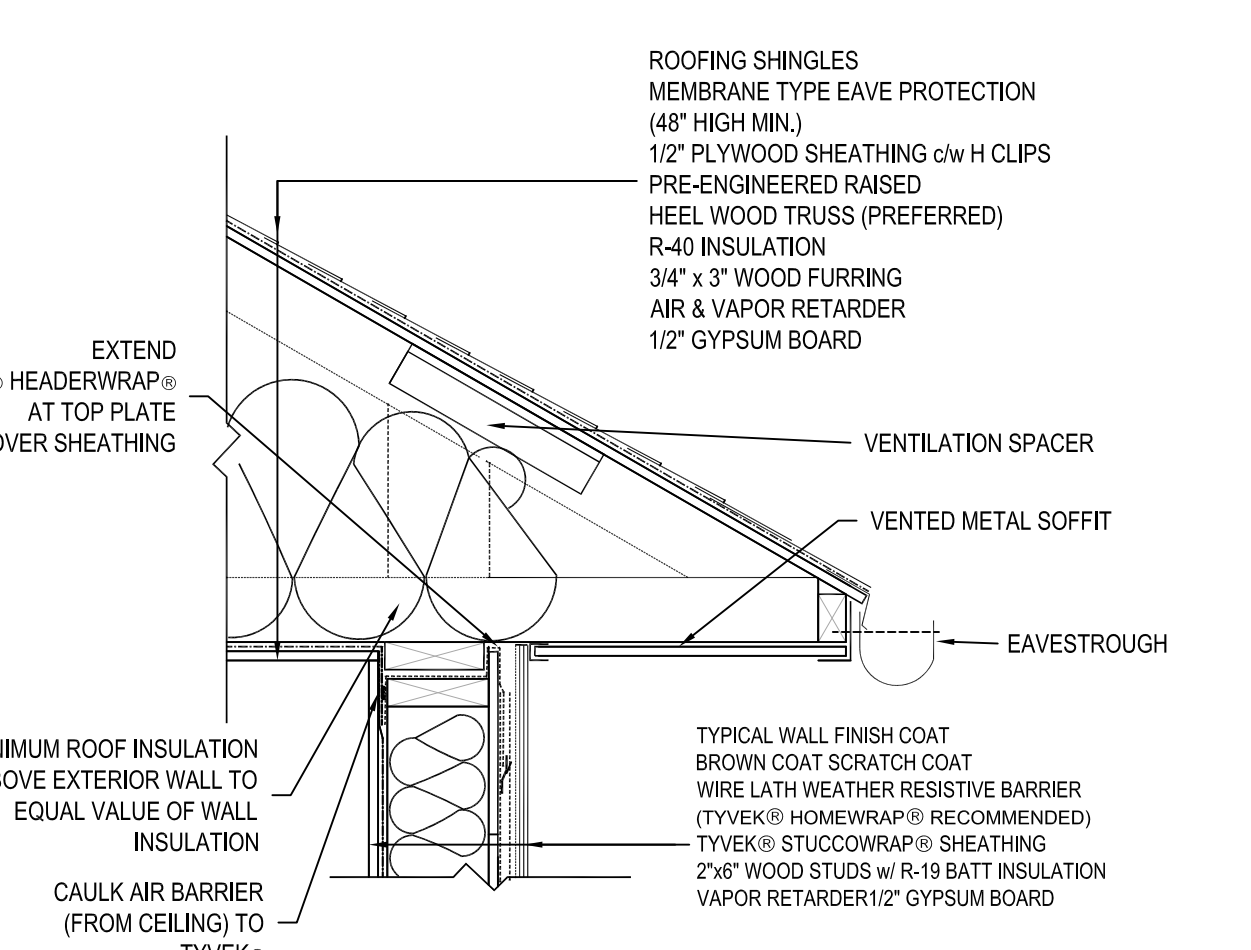
5 WINDOW SILL DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



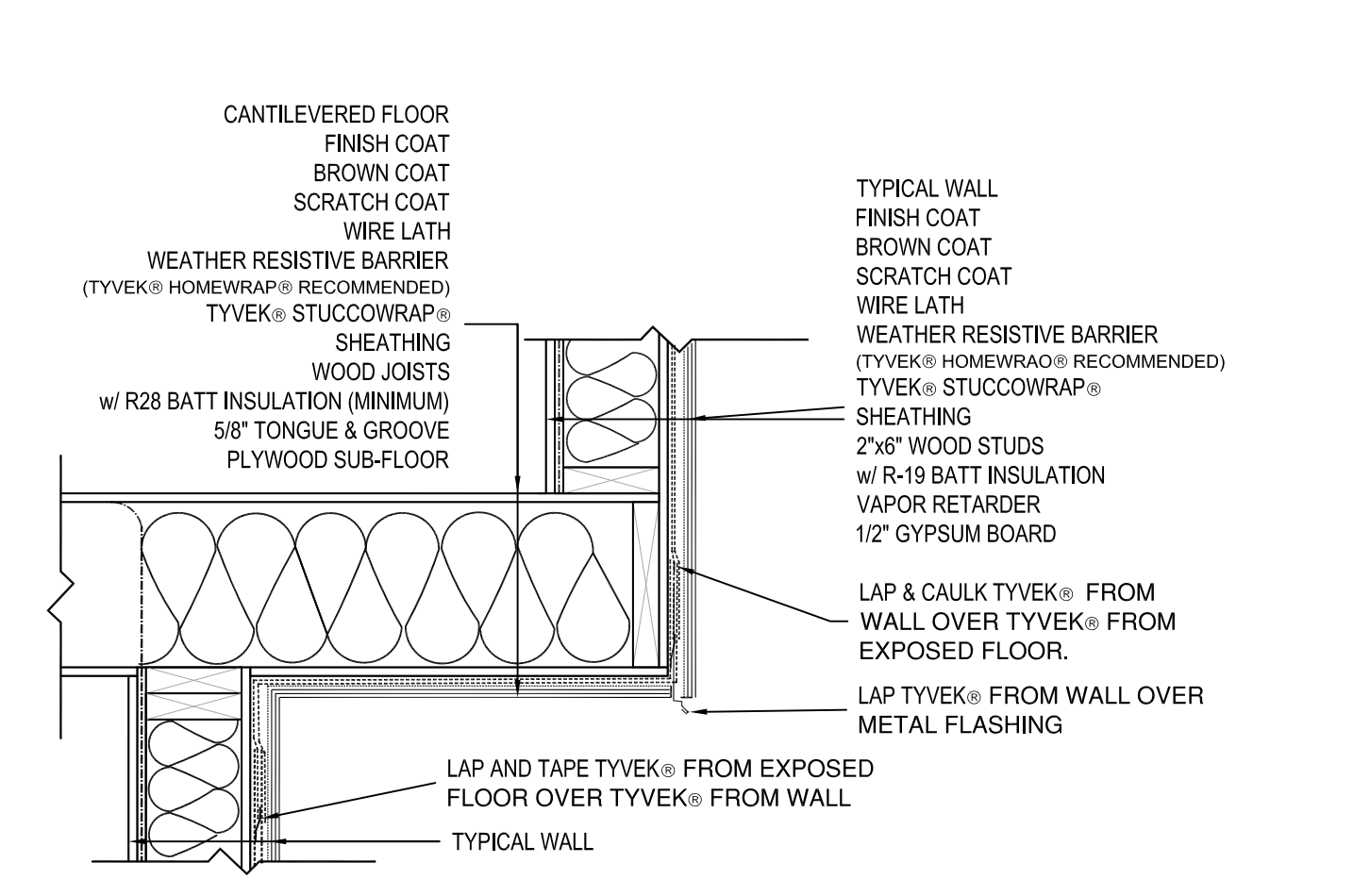
7 WALL PENETRATION DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



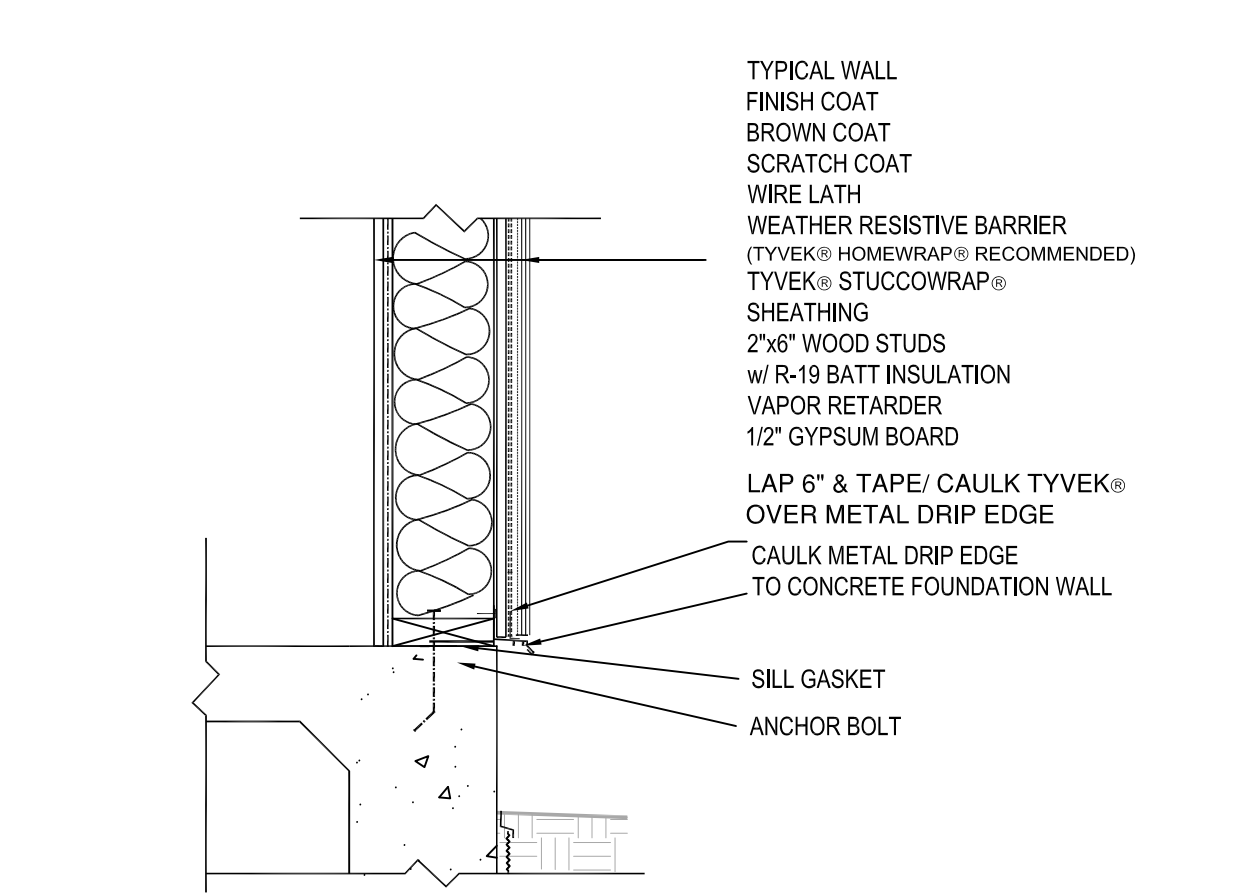
8 TYPICAL WALL ISOMETRIC
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



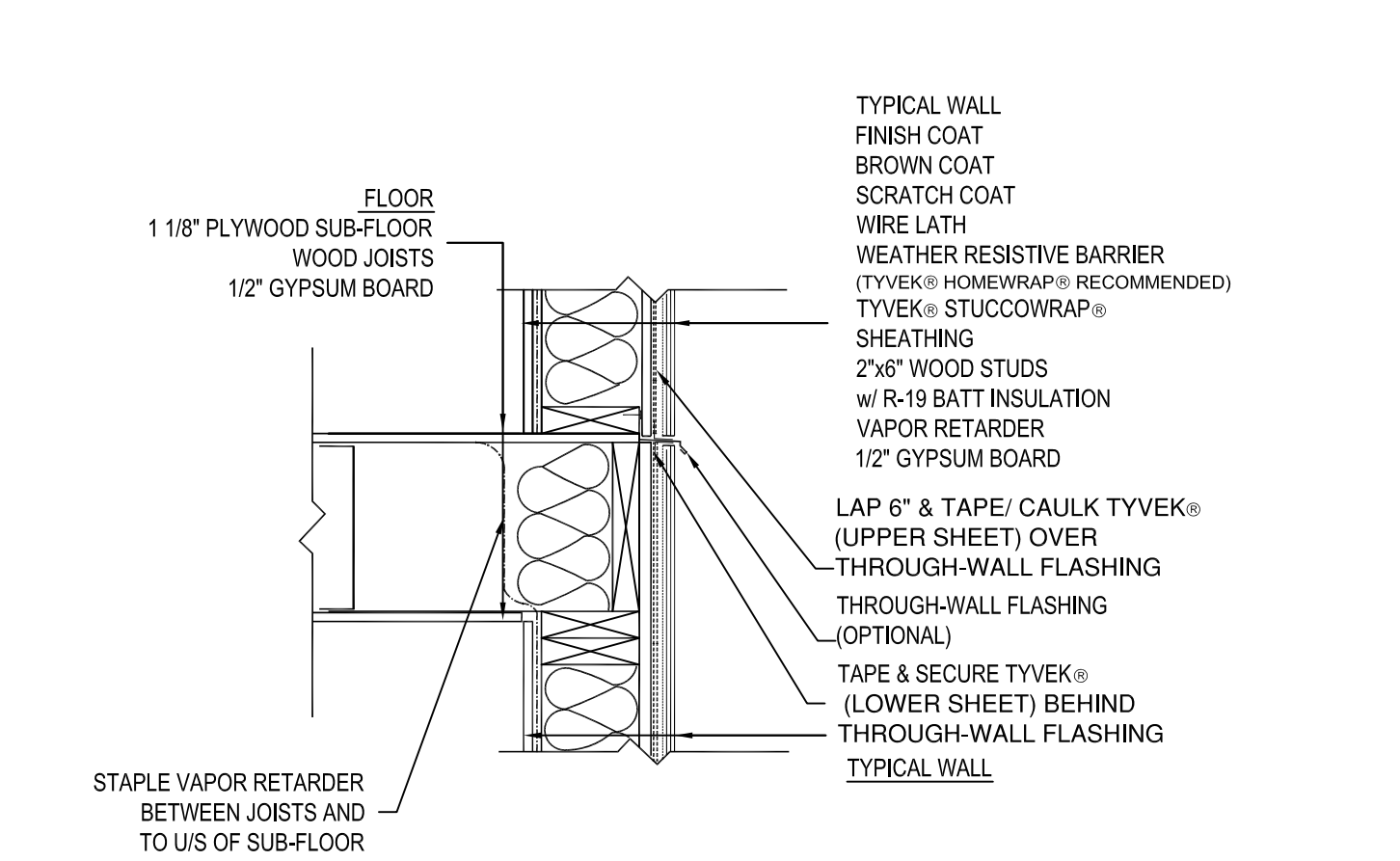
4 ROOF/WALL INTERFACE DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



3 CANTILEVERED FLOOR DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



1 BASE OF WALL DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)



2 FLOOR/WALL INTERFACE DETAIL
 RESIDENTIAL WOOD FRAME STRUCTURE w/ STUCCO (HEATING CLIMATE)

PLAN LEGEND	
FLOOR PLAN	
CONC	CONCRETE
CLG	CEILING
D/W	DISH WASHER DISPOSAL
DISP	DISPOSAL
IRIS	1 ROD & 1 SHELF
2RS	2 ROD & 2 SHELVES
TYP. CLG. MOULD	TYPICAL CEILING MOULD
K.S	KNEE SPACE
SHLVS	SHELVES
FRIG.	REFRIGERATOR
OVEN COMB	OVEN W/MICROWAVE
MW	MICROWAVE
CRPT	CARPET
F.D	FLOOR DRAIN
GYP	GYPSPUM
SH. DL	SINGLE HUNG/DIVIDED LITE
FX. DL	FIX GLASS/DIVIDED LITE
HS. DL	HORIZONTAL SLIDER/DIVIDED LITE
FRAMING PLAN	
YPKD	YELLOW PINE KILN DRIED
SPF	SPRUCE PINE FUR
O.C	ON CENTER
D.B	DROP BEAM
F.B	FLUSH BEAM
DBL	DOUBLE
L.VL	LAMINATED VENEER LUMBER
CANT	CANTILEVER
INTERIOR ELEVATION	
F.D	FURR DOWN
F	FILLER
F.P	FIREPLACE
OVFR	OVEN FRONT
EXTERIOR ELEVATION	
PROJ	PROJECTED
O.H.D	OVERHEAD DOOR
PLHT	PLATE HEIGHT
PLT	PLATE
F.F	FINISH FLOOR
B.O	BOTTOM OF
T.O	TOP OF

MISCELLANEOUS NOTES:
 EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44" ABOVE FINISH FLOOR.

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEP HOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS.

PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2006 EDITION OF THE I.R.C.

PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES AS REQUIRED BY HARRIS COUNTY DEVELOPMENT PERMIT AND AS SPECIFIED BY STRUCTURAL ENGINEER.

GENERAL NOTES:
 THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:
 HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

STRUCTURAL ENGINEER: Riedel Engineering, LLC
 DESIGNER: JAL Arch Designs, LLC
 BUILDER: Skylight Developers

ELECTRICAL SCHEDULE		
SYMBOL	ELECTRICAL SPECIFICATIONS	QUANTITY
	CRYSTAL CHANDELIER W/ LIGHT CEILING MOUNTED.	
	2 x 40 WATTS FLUORESCENT CEILING MOUNTED LIGHT FIXTURE	
	SMOKE DETECTOR MOUNTED IN CEILING.	
	CARBON MONOXIDE DETECTOR CEILING MOUNTED.	
	HEAT EXHAUST FAN MOUNTED IN CEILING.	
	52" CEILING FAN WITH LIGHT MOUNTED ON CEILING.	
	52" CEILING FAN MOUNTED ON CEILING.	
	INCANDESCENT OUTDOOR WALL MOUNTED LIGHT FIXTURE MOUNTED 6'-4" ABOVE FLOOR LEVEL.	
	INCANDESCENT WALL MOUNTED LIGHT FIXTURE MOUNTED 6'-4" ABOVE FLOOR LEVEL.	
	INCANDESCENT LIGHT FIXTURE MOUNTED IN CEILING.	
	6" RECESS DOWN LIGHT FIXTURES MOUNTED IN CEILING.	
	6" RECESS EYEBALL LIGHT FIXTURES MOUNTED IN CEILING.	
	3" RECESS POT LIGHT MOUNTED IN CEILING.	
	MINI RECESS LED PIN LIGHT MOUNTED IN CEILING.	
	LED STEP LIGHT FIXTURE MOUNTED AS SPECIFIED ON SITE.	
	FLUORESCENT LIGHT FIXTURE MOUNTED UNDER WALL CABINETS.	
	16 CIRCUIT DISTRIBUTION PANEL MOUNTED 6'-4" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET MOUNTED IN FLOOR.	
	110 VOLTS DUPLEX OUTLET MOUNTED 1'-4" ABOVE FLOOR LEVEL.	
	110 VOLTS GFI (ground fault circuit interrupter) DUPLEX OUTLET MOUNTED 1'-4" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET WITH USB CHARGER MOUNTED 1'-4" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET WITH USB CHARGER MOUNTED 3'-4" ABOVE FLOOR LEVEL.	
	110 VOLTS GFI DUPLEX OUTLET MOUNTED 3'-4" ABOVE FLOOR LEVEL.	
	110 VOLTS WEATHER PROOF DUPLEX OUTLET MOUNTED 1'-4" ABOVE FLOOR LEVEL.	
	110 VOLTS MULTI POWER STRIP MOUNTED UNDER COUNTER AT KITCHEN ISLAND CABINET.	
	110 VOLTS QUADPLEX OUTLET MOUNTED 1'-4" ABOVE FLOOR LEVEL.	
	NOTE: ALL OUTLETS LABELED WITH 'X' SHALL BE MOUNTED 6" ABOVE MAIN FLOOR LEVEL.	
	SINGLE POLE WHITE SWITCH MOUNTED 3'-4" ABOVE FLOOR LEVEL.	
	THREE-WAY WHITE SWITCH MOUNTED 3'-4" ABOVE FLOOR LEVEL.	
	FOUR-WAY WHITE SWITCH MOUNTED 3'-4" ABOVE FLOOR LEVEL.	
	SINGLE POLE WHITE DIMMER SWITCH MOUNTED 3'-4" ABOVE FLOOR LEVEL.	
	DOOR TRIP SWITCH MOUNTED AS SPECIFIED BY MANUFACTURER.	
	TELEPHONE JACK MOUNTED 1'-4" ABOVE FLOOR LEVEL.	
	CAT 6 DATA JACK MOUNTED 1'-4" ABOVE FLOOR LEVEL.	
	CABLE JACK MOUNTED 1'-4" ABOVE FLOOR LEVEL.	
	110 VOLTS DUPLEX OUTLET MOUNTED UNDER WALL CABINETS.	
	110 VOLTS DUPLEX OUTLET MOUNTED IN ROOF OVERHANG.	
	LEFT MASTER 8500 ELITE SERIES GARAGE DOOR OPENER MOUNTED IN CEILING AS SPECIFIED BY MANUFACTURER.	
	EXHAUST FAN MOUNTED IN CEILING.	
	MOTION SENSOR SECURITY LIGHT FIXTURE.	

NOTE: ALL CONDUITS SHALL BE CONCEALED IN/OR WALLS FLOORS AND CEILING AND SHALL COMPLY TO LOCAL CODES.
 PROVIDE LIGHTING AND POWER IN ATTIC FOR MECHANICAL AND PLUMBING UNITS. COMPLY TO LOCAL CODES.

ELECTRICAL, DATA, & AUDIO NOTES:

Home owner shall do a walk-thru with relevant installers to verify the exact location for outlets, lights, switches, cable, data, phone, audio, etc.

ELECTRICAL NOTES:

- electrical receptacles in bathrooms, kitchens and garages shall be g.f.i. or g.f.i.c. per national electrical code requirements.
- provide one smoke detector in each room and one in each corridor accessing bedrooms, connect smoke detectors to house power and inter-connect smoke detectors so that, when any one is tripped, they all will sound, provide battery backup for all units.
- circuits shall be verified with home owner prior to wire installation.
- final switches for timers and dimmers shall be verified with home owner.
- fixtures to be selected by home owner.

ELECTRICAL, DATA, & AUDIO NOTES:

AUDIO:

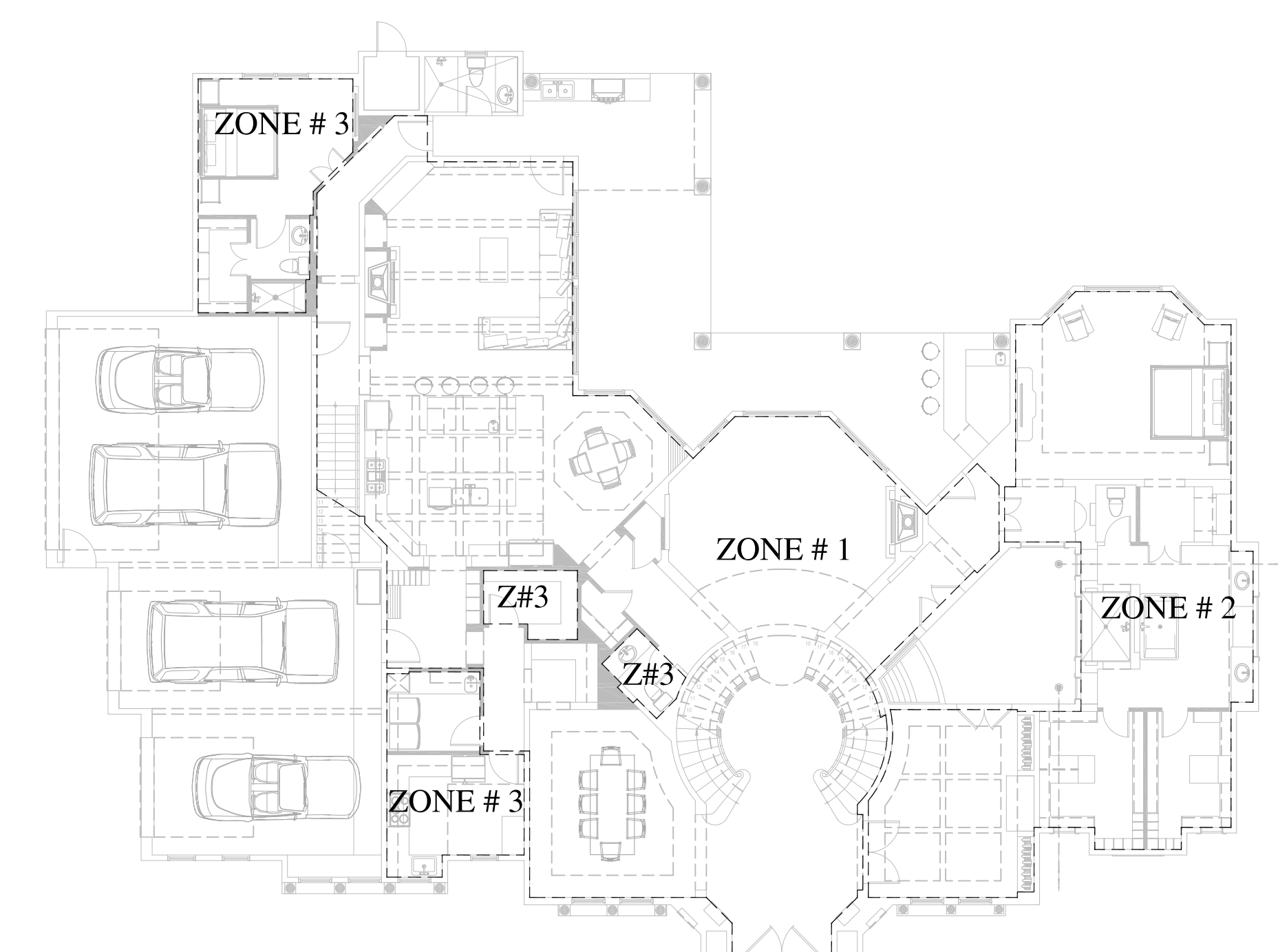
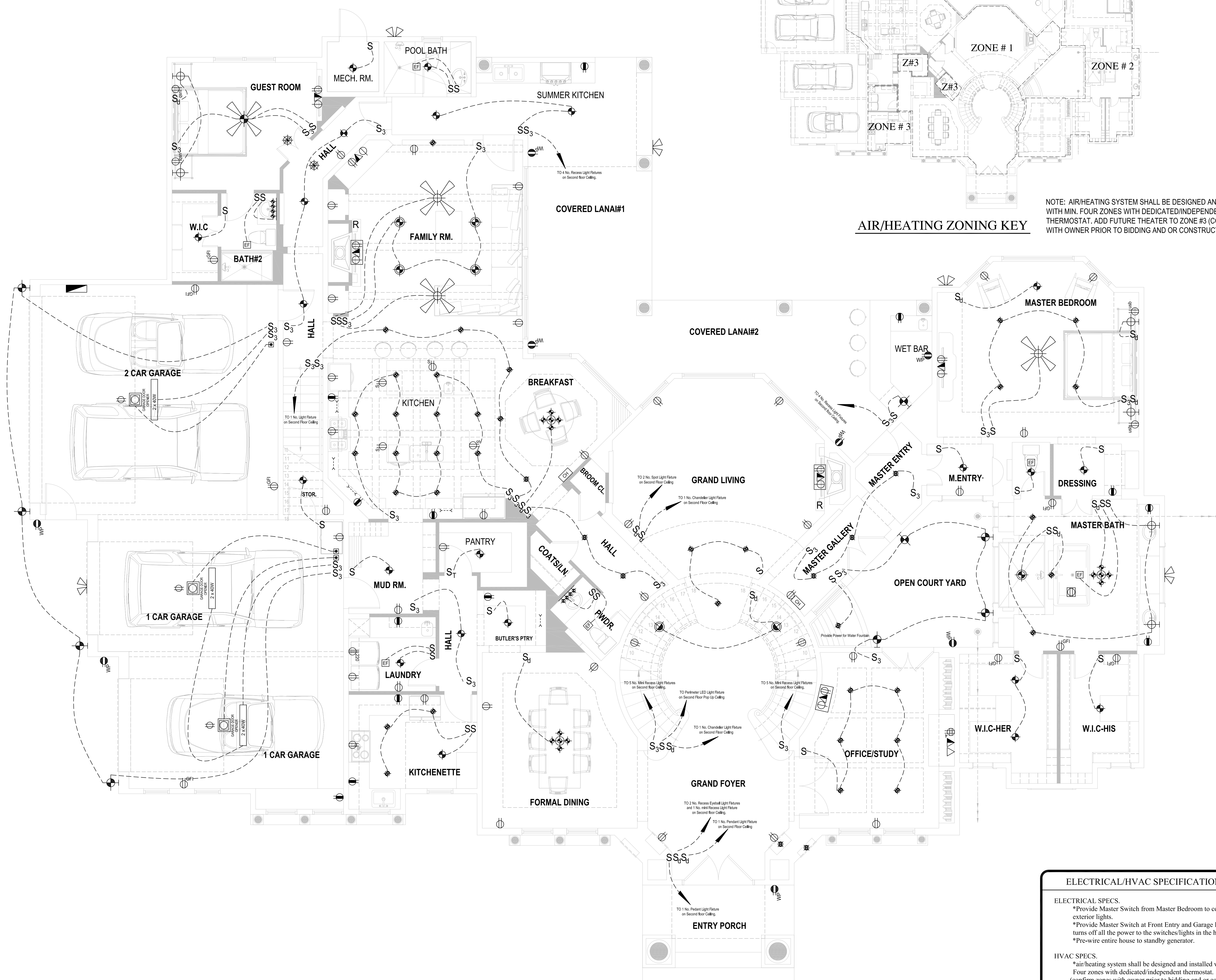
- Pre-wired Surround sound in Master Bedroom, Master Bathroom, Living Room, Game Room, Family Room and Lanai, locate speakers and audio controls as directed by Home Owner; run circuit of speaker wiring to audio home panel as specified by Home Owner;
- audio speakers to be approved by home owner;
- locate jacks as directed by Home Owner; install data / cable panel similar to "on q", system to be approved by home owner.

DATA / CABLE:

locate security panels in Master Bedroom and Garage Entrance ; system to be approved by home owner.

SECURITY SYSTEM:

- Confirm specifications required by owner
- Provider to be chosen by owner.



AIR/HEATING ZONING KEY

NOTE: AIR/HEATING SYSTEM SHALL BE DESIGNED AND INSTALLED WITH MIN. FOUR ZONES WITH DEDICATED/INDEPENDENT THERMOSTAT. ADD FUTURE THEATER TO ZONE #3 (CONFIRM ZONES WITH OWNER PRIOR TO BIDDING AND OR CONSTRUCTION).

FIRST FLOOR ELECTRICAL PLAN
 Scale : 1/4" = 1'-0"

ELECTRICAL/HVAC SPECIFICATIONS

ELECTRICAL SPECS.

- *Provide Master Switch from Master Bedroom to control all exterior lights.
- *Provide Master Switch at Front Entry and Garage Entry that turns off all the power to the switches/lights in the house.
- *Pre-wire entire house to standby generator.

HVAC SPECS.

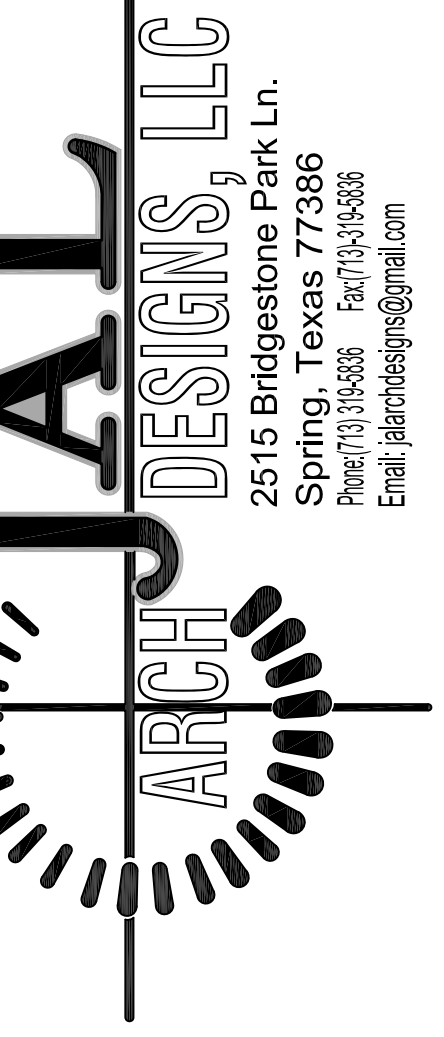
- *air/heating system shall be designed and installed with min. Four zones with dedicated/independent thermostat.
- (confirm zones with owner prior to bidding and or construction).
- *A/C Drain pipe shall be routed to Roof Overhang and terminated at soffit.

PROPOSED SPEC HOUSE FOR SPECTRUM DEVELOPERS

DATE :	SEPTEMBER 02, 2016
SCALE :	AS SHOWN
DRAWN BY :	J.A.L
REVISED	Final Permit Set-042818

FIRST FLOOR ELECTRICAL PLAN
ELECTRICAL SCHEDULE

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- fixtures to be selected by home owner.

ELECTRICAL, DATA, & AUDIO NOTES:

AUDIO:

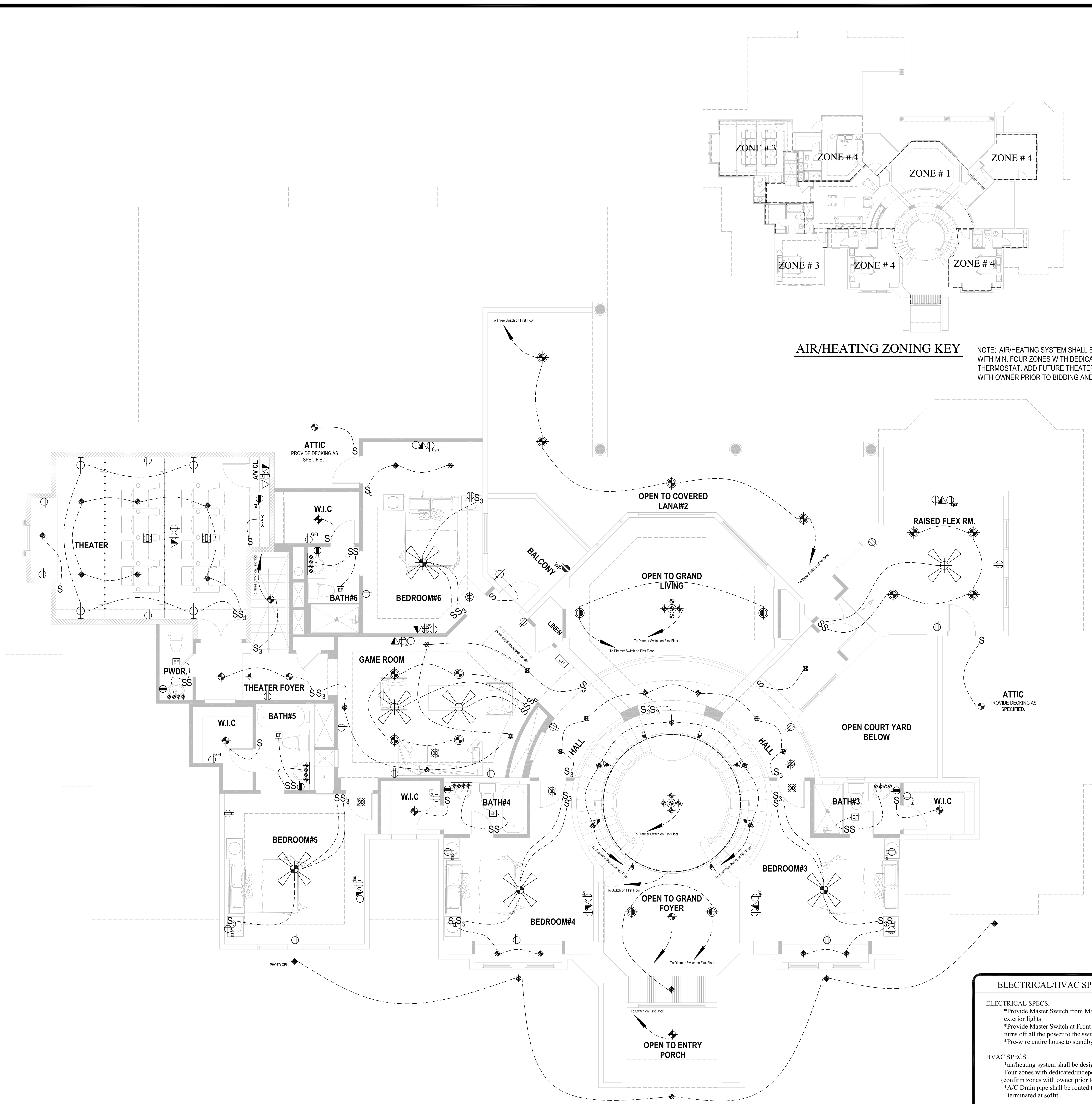
- Pre-wired Surround sound in Master Bedroom, Master Bathroom, Living Room, Game Room, Family Room and Lanai, locate speakers and audio controls as directed by Home Owner; run circuit of speaker wiring to audio home panel as specified by Home Owner;
- audio speakers to be approved by home owner;
- locate jacks as directed by Home Owner; install data / cable panel similar to "on q"; system to be approved by home owner.

DATA / CABLE:

locate security panels in Master Bedroom and Garage Entrance ; system to be approved by home owner.

SECURITY SYSTEM:

- Confirm specifications required by owner
- Provider to be chosen by owner.



SECOND FLOOR ELECTRICAL PLAN
Scale : 1/4" = 1'-0"

ELECTRICAL/HVAC SPECIFICATIONS

ELECTRICAL SPECS.

- *Provide Master Switch from Master Bedroom to control all exterior lights.
- *Provide Master Switch at Front Entry and Garage Entry that turns off all the power to the switches/lights in the house.
- *Pre-wire entire house to standby generator.

HVAC SPECS.

- *air/heating system shall be designed and installed with min. Four zones with dedicated/independent thermostat. (confirm zones with owner prior to bidding and or construction).
- *A/C Drain pipe shall be routed to Roof Overhang and terminated at soffit.

JAL ARCH DESIGNS, LLC
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Spring Creek, NV 89706
Phone: 702-338-3866
Fax: 702-338-3866
Email: jaldesigns@gmail.com

NOTE: JAL ARCH DESIGNS ASSUMES NO LIABILITY. IT IS THE FINAL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL NOTES AND MINOR/MAJOR SIZES AND ADJUST TO MEET LOCAL AND STATE BUILDING CODES.

PROPOSED RESIDENCE FOR MR. & MRS. DAUD

SECOND FLOOR ELECTRICAL PLAN

ELECTRICAL SCHEDULE & NOTES

DATE : AUGUST 17, 2017

SCALE : AS SHOWN

DRAWN BY : J.A.L

REVISED : Final Permit Set-04/26/18

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