



HEDDERMAN SERVICES

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## STRUCTURAL INSPECTION

1301 Milford St  
Houston, TX 77006

KRAUSE MANAGEMENT TRUST c/o Greg Krause

MARCH 7, 2022



Inspector

**Thomas Knox**

Engineer PE# 104679

281-355-9911

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# 1: COVER LETTER

## Information

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### **HEDDERMAN ENGINEERING, INC.**

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03/07/2022

TO: KRAUSE MANAGEMENT TRUST c/o Greg Krause

REF: CONDITION OF PROPERTY SURVEY

Dear KRAUSE MANAGEMENT TRUST c/o Greg Krause:

At your request, a visual survey of the house located at 1301 Milford St, Houston, TX 77006 was performed by Thomas Knox. Transmitted herewith is the inspection report stating our professional opinions on whether the items of construction included in the survey are functional on the day of the inspection, or are in need of repair.

The scope of our inspection and other important information, particularly in the area of dispute resolution should a question arise, is contained in our Service Agreement, which has been included at the end of this report.

Thank you for asking HEDDERMAN ENGINEERING, INC. to perform this important inspection work for you. If you have any questions after reviewing this report, please feel free to call me at my office.

At your service,

HEDDERMAN ENGINEERING, INC.

Tim Hedderman, President

## 2: PURPOSE/SCOPE

### Information

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#### **INTRODUCTION**

The purpose and scope of the inspection are detailed below, as well as in the executed Service Agreement at the end of this report. Also included are the limitations of the inspection.

#### **PURPOSE**

The purpose of the inspection was to view the components of the house included in the inspection and to give our opinions on whether or not these specific items were functioning at the time of the inspection, or were in need of repair. Although this report may include observations of some building code violations, total compliance with structural, mechanical, plumbing, electrical codes, specifications, and/or legal requirements is specifically excluded. This also applies to all non-code making bodies, including but not limited to, the Brick Institute of America and the Texas Lathing and Plastering Contractors Association and their respective recommendations of building construction details. We do not perform "code" inspections, and since building codes change every few years, our inspections are not done with the intention of bringing every item in the house into compliance with current code requirements. Rather, the standard of our inspections is a performance standard to determine if the items inspected are functioning at the time of the inspection, or if they are in need of repair. This is particularly applicable to Home Warranty policies, where the standards of the Home Warranty service company may differ than the scope of our stated performance standard for judging whether a piece of equipment is functional or in need of repair. If you intend to rely on a Home Warranty policy, then it is recommended that you contact the Home Warranty company of your choice for a more in-depth analysis of what may be required to meet their standards should a claim be made against their policy. It has been our experience that Home Warranty companies may require the equipment to be in total compliance with current code (even if it was installed before the current code was adopted) to be covered under their policy, and if so, it is recommended that you contact the appropriate service companies for a code compliance certification inspection. This report is provided solely for the use of the person to whom this report is addressed, and is in no way intended or authorized to be used by a third party, who may have different requirements, and to whom we have not contracted to perform the inspection. If a third party chooses to use this inspection report, they do so without HEDDERMAN ENGINEERING, INC. permission or authorization, and they do so at their own risk. It is our purpose to provide information on the condition of the house on the day of the inspection. It is not our purpose to provide discussions or recommendations concerning the future maintenance of any part of the house, or to verify the adequacy and/or design of any component of the house. It is pointed out that other engineers/inspectors may have contrasting opinions to those given in this report. Items that we find that in our opinion are in need of repair will typically include the recommendation to Obtain a Cost Estimate from qualified contractors. The scope and cost of the actual repairs can vary significantly from company to company, and it is your responsibility to see that the scope of work needed and actual cost of repairs is confirmed by contacting one or more qualified service companies before your option period ends or before closing on the property. This report may also contain informational items which are included as a courtesy to help you become more aware of the condition of the house. In the performance of this inspection, HEDDERMAN ENGINEERING, INC. has acted as an engineering consultant subject to the standards of the State Board for Professional Engineers.

#### **SCOPE**

The scope of the inspection included limited, visual observations at the interior and exterior of the structure. Only those items readily visible and accessible at the time of the inspection were viewed and are included in this report. Due to COVID 19 restrictions, our inspectors are sometimes required to wear masks indoors. This restricts the inspector from using his full set of senses that are needed during the inspection process by inhibiting the inspector from possibly detecting odors that may be indicative of a problem, including but not limited to, mold, musty odors, natural or LP gas odors, pet odors, urine or fecal odors, etc. Any items causing visual obstruction, including, but not limited to furniture, furnishings, floor or wall coverings, pictures, foliage, registers and grills on HVAC ductwork, soil, appliances, insulation, etc., were not moved. The basis of our opinions will be the apparent performance of that portion of the house readily visible at the time of the inspection. Disassembly or removal of any portion of the structure, mechanical equipment, plumbing equipment, or electrical equipment is beyond the scope of this inspection. There is no warranty or guarantee, either expressed or implied, regarding the habitability, future performance, life, insurability, merchantability, workmanship, and/or need for repair of any item inspected. The components of the house included in scope of the inspection, if present and applicable, include:

Structural: Foundation, primary load-carrying framing members, roof surface, water penetration, and miscellaneous items related to the house.

Mechanical: Air conditioning and heating systems, water heaters, built-in kitchen appliances, and garage door openers.

Plumbing: Water and gas supply lines, sinks, toilets, tubs, showers, visible drain lines inside the house, and vents.

Electrical: Service entrance conductors, electric meter, distribution panel, visible wiring, light fixtures, switches, and receptacle outlets.

Sprinkler: Control panel, solenoid valves, backflow prevention device(s), piping, and sprayer heads.

Items specifically excluded from our inspection include:

Tainted and Corrosive sheetrock (Chinese Sheetrock).

All pests, wood destroying insects, conducive conditions, ants, or rodents.

All equipment related to mosquito control.

All items related to major geological conditions such as faults or subsidence.

All underground piping, including water, sewer, and gas piping.

Water softening and water treatment systems.

Identifying products that have been recalled.

Pressure testing of gas system.

All low voltage lighting systems and/or photocells.

All low voltage data systems such as telephone, cable TV or data lines.

All fire detection, carbon monoxide, smoke alarms and/or security alarm systems.

All environmental hazards, or any toxic/hazardous materials including, but not limited to: radon gas, lead, formaldehyde, electromagnetic, any and all items related to asbestos.

A backup generator and transfer switch panel.

Any electrical load analysis on the electrical system to determine adequacy of the service or any branch circuit.

If you desire information or inspections concerning the items listed above, or any other items, then it is recommended that you contact the appropriate service companies. Also excluded from the scope of the inspection are any and all items related to mold and/or all microbial substances. Due to the current limitations of coverage on most homes by the insurance industry in Texas, where damages due to mold and/or other microbial substances may not be covered, we routinely recommend that you have a mold inspection by a qualified professional before you close on the house. Built-in appliances and mechanical equipment were operated in at least one, but not all, of their operating modes, where possible. If you desire for every operating mode of each piece of equipment to be operationally checked, then it is recommended that you contact a service company. Equipment and materials that are not visible, including structural components, underground plumbing and gas lines, and all other items not normally available for ready viewing, are excluded from the scope of this inspection. If you desire an inspection on the underground plumbing pipes or a hydrostatic test to determine if the plumbing pipes are leaking under the house, then it is recommended that you contact a plumber. No electrical circuit or load analysis will be performed on the electrical system. We make no representation regarding the condition of this house other than as contained in this written report. Any verbal discussions concerning this house that were made at the time of the inspection, and not contained in this written report, are not to be relied upon. Although the structural portion of this inspection was made by an engineer, it cannot be considered to be a formal engineering study since no calculations, structural analysis, or physical material testing were performed. If engineering drawings/specifications have been made available during this inspection and, if they have been viewed, it is pointed out that all such viewing is strictly cursory, and in no way should our cursory examination be construed as providing engineering judgments concerning the adequacy or acceptability of the drawings/specifications. It is pointed out that it is possible for latent defects to exist in the structure and its related equipment, underground piping, and systems that are not visible at the time of the inspection, and may not be able to be viewed during a limited visual inspection. This is particularly applicable in items relating to water, such as roof leaks, water penetration conditions, etc., where the condition may exist, but not be visible at the time of the inspection (e.g. where it has not rained for a period of time, allowing materials time to dry out). HEDDERMAN ENGINEERING, INC. does not claim or warrant that the observations listed in this report represent every condition that may exist. In using the information supplied by this inspection, one must recognize the limitations of a limited, visual inspection conducted at a single point in time, and accept the inherent risk involved. It is recommended that you obtain as much history as is available concerning this house. This historical information may include copies of any seller's disclosures, previous inspection or engineering reports, building drawings and/or specifications, bids to perform repair work on the house, knowledge of any drainage problems, receipts from repair work that has been performed, reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should attempt to determine whether repairs, renovation, remodeling, additions or other such activities have taken place at this house.

## 3: SITE CONDITIONS

### Information

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#### In Attendance

Structural Inspector, Mechanical  
Inspector, Termite Inspector,  
Stucco Inspector, Owner

#### Weather

Recently rained, Cloudy, Drizzle,  
Temperature - 60-70 degrees

#### Occupancy

Occupied

#### Age of Home - HAR

According to The Houston Association of Realtors, the house was built in 2000.

#### North-Front

For the purpose of the inspection and report, NORTH will be assumed to be from the rear of the house towards the front.

#### Note when reviewing the report

It is pointed out that when reviewing the report, the reader should be aware that photos and comments regarding specific issues are typically a **REPRESENTATIVE SAMPLE** of what we observed at the time of the inspection, and are not necessarily an exhaustive list of all instances of that item/condition on the property.

# 4: FOUNDATION

## Information

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### **Description: FOUNDATION OBSERVATIONS AND CONCLUSIONS:**

*The following items were inspected, with our Observations and Conclusions noted.*

### **Description: Concrete Rebar slab**

The foundation was a concrete slab on grade, and appeared to be reinforced with steel reinforcing rods (rebar).

### **Reference point**

See our field sketch below showing the elevation readings for this structure. Note that the "R" on the sketch is our randomly chosen starting reference point, where the elevation is 0, and all other elevation readings are taken relative to the reference point, and are measured in inches to the nearest 1/10 inch. Height adjustments were made for variations in the height or thickness of the various floor coverings. If there is a step up or a step down into an area such as a garage, sunken room, balcony/patio area, or raised rooms, the elevation readings will have larger numbers due to the amount of the step.

We typically point out that foundations are rarely constructed perfectly level, so most properties have some unlevelness (typically  $\frac{3}{4}$  to 1-1/2 inches) built into the foundation as part of original construction. We have no knowledge as to how much unlevelness was built into this house foundation during original construction.

Note that it is not HEI's purpose to exhaustively document each and every evidence that may be related to foundation movement, but rather to document a representative sample and/or the most significant evidences of movement upon which we base our opinion on the condition of the foundation.

### **Levelness - Acceptable - Multi Story**

The floors were checked with an electronic level, and were observed to be acceptably level throughout the house.

#### First Floor:

The difference in elevation between the high point and low point was 1.3 inches. The high point was located at the dining room, and the low point was located at the master bedroom. The unlevelness takes place over a horizontal distance of approximately 50-60 feet.

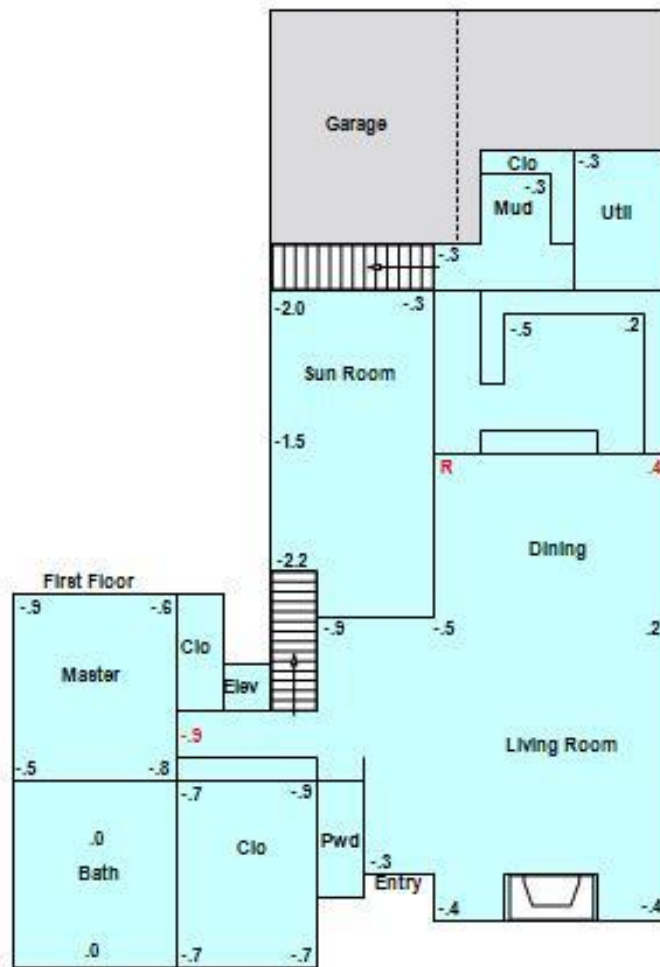
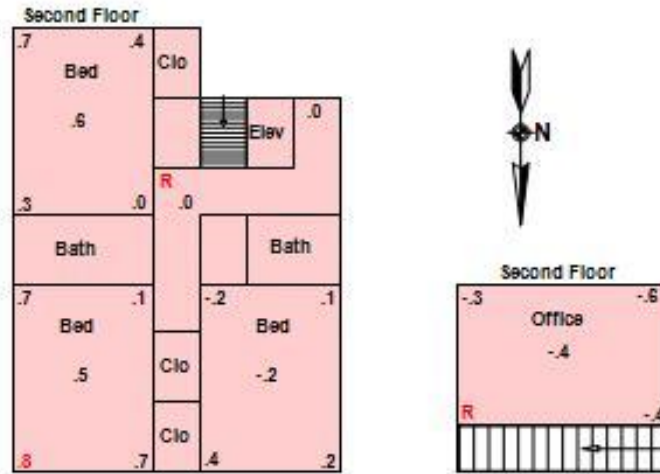
#### Second Floor:

The difference in elevation between the high point and low point was 1.0 inches. The high point was located at the north east bedroom, and the low point was located at the north west bedroom. The unlevelness takes place over a horizontal distance of approximately 20-30 feet.

3.7.2022

HEI

Krause



Elevation Readings  
1301 Milford St.

**All cracks have been repaired.**

**Veneer - Stucco Cracks-OK**

Cracks and/or patches were observed in the exterior stucco veneer at the time of the inspection, including at the above locations. It appears that the cracks are related to the normal drying/shrinking/cracking of a cementuous



product, rather than being related to excessive or unusual movement of the foundation.

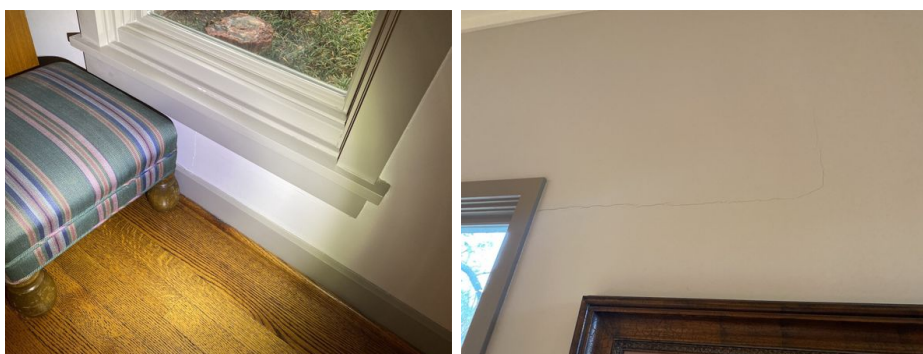


**Sheetrock Cracks/Patches/Compression ridges**

**All cracks repaired.**

Sheetrock cracks, patches, and/or compression ridges were observed in the house during the inspection, including at the specified locations. It is recommended that the cracks be repaired for cosmetic purposes.

**Obtain Cost Estimate**



Living Room

Living Room

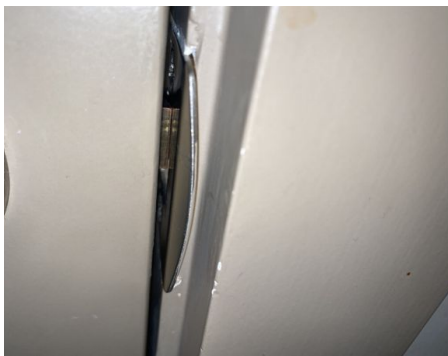
**Concrete Cracks - Garage**

Cracking of the foundation concrete exists in virtually all foundations. It is pointed out that cracking is a normal property of concrete and other brittle materials, and Hedderman Engineering, Inc. assumes no responsibility should cracks be found that are not mentioned in this report. Some cracking was observed in this concrete foundation, including at the garage floor.



**Separation of Materials: Non latching doors**

Doors that would not latch due to misalignment of the striker plate and the locking mechanism were observed.

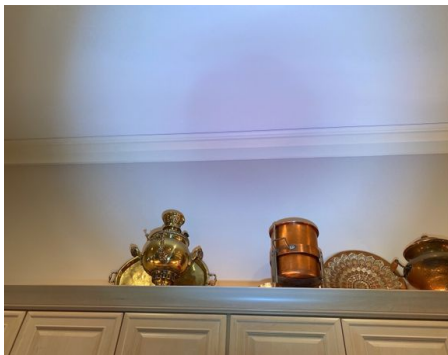


Utility Room

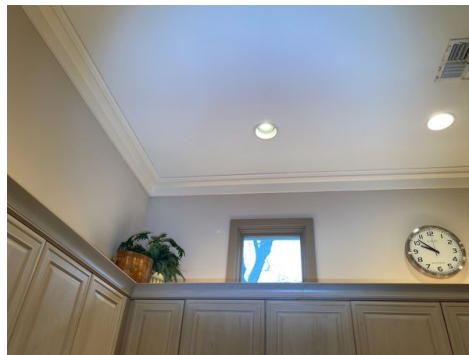
**Separation of Materials: Crown molding separation**

**Crown molding has been repaired.**

The crown molding was observed to be separated at the ceiling which is typically related to movement in the house.



Kitchen



Kitchen

**FOUNDATION CONCLUSIONS: Moderate Movement**

Most of the structures previously inspected by this firm have experienced some degree of differential foundation movement, and this structure was no exception. After careful examination, it is our opinion that the evidences of movement observed do not indicate excessive or unusual foundation movement.

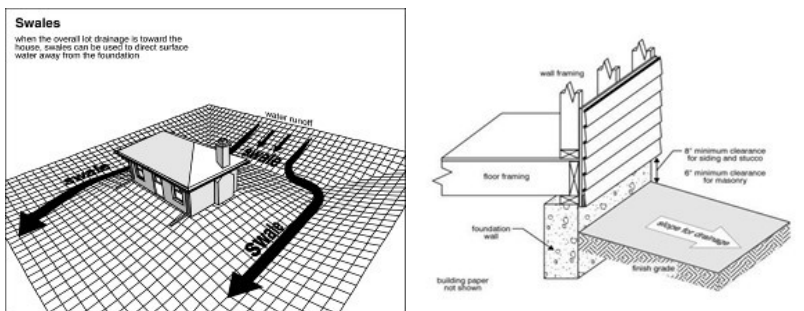
After careful examination, it is our opinion that the overall degree of the existing foundation movement for this structure is moderate, and is acceptable for a house of this age and type construction. The foundation is, in our opinion, functional and is not in need of releveling.

As a routine recommendation, it is recommended that the evidences of differential movement be monitored in the future to determine if the condition is stabilized, or if the foundation is continuing to settle. It is pointed out for your information that, due to the nature of the soils in this area, it is reasonable to expect that some movement of the foundation will happen in the future. It is also recommended that the soil around the foundation be kept moist by a regular watering program as the condition of the soil indicates.

**Perimeter Grading/Drainage: FLOOD PLAIN**

**100 Year Floor Plain**

This inspection does not include determining if the property is in the 100 year flood plain. For further information regarding the elevation of this lot, check with your survey and/or a land surveyor.



**Perimeter Grading/Drainage: Appeared Adequate**

The perimeter drainage around the property appeared to generally be adequate. It could not be determined with certainty if water would pool at any localized low areas around the property. Further investigation with the homeowner is recommended to determine if there are any drainage problems or water that ponds on the property after a rain.

**R401.3**

**Recommendations/repair**

4.3.1 Other Observations

**TREES AND/OR FOLIAGE**

Trees and/or foliage were observed in the vicinity of the house which can contribute significantly to differential movement of the house foundation. Care should be taken to prevent the trees and foliage from removing an excessive amount of water from near the foundation of the house.



## 5: ROOF

### Information

#### Roof Description: ROOF OBSERVATIONS AND CONCLUSIONS

*The following items were inspected, with our Observations and Conclusions noted.*

#### Roof Description: Composition Shingles

**Roof was replaced June 2022.**

The pitched roof surface was constructed of composition shingles. The life expectancy of a composition shingle roof has been observed to vary from 15 to 20 years, with most requiring replacement at about 17-20 years.

#### Roof Description: Standing seam metal

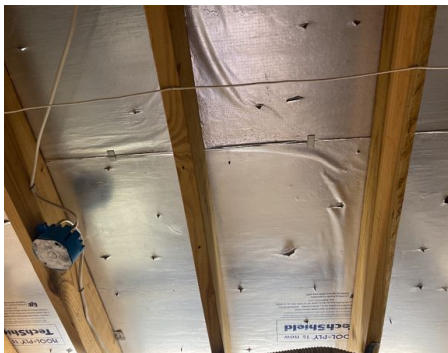
The roof surface was constructed of a standing seam metal roof. The life expectancy of the roof is considered to be the life of the structure.



#### Roof Description: Roof Decking - Description

Radiant Barrier, Spacer Clips Present

The roof decking was observed from the attic space to be as described above.

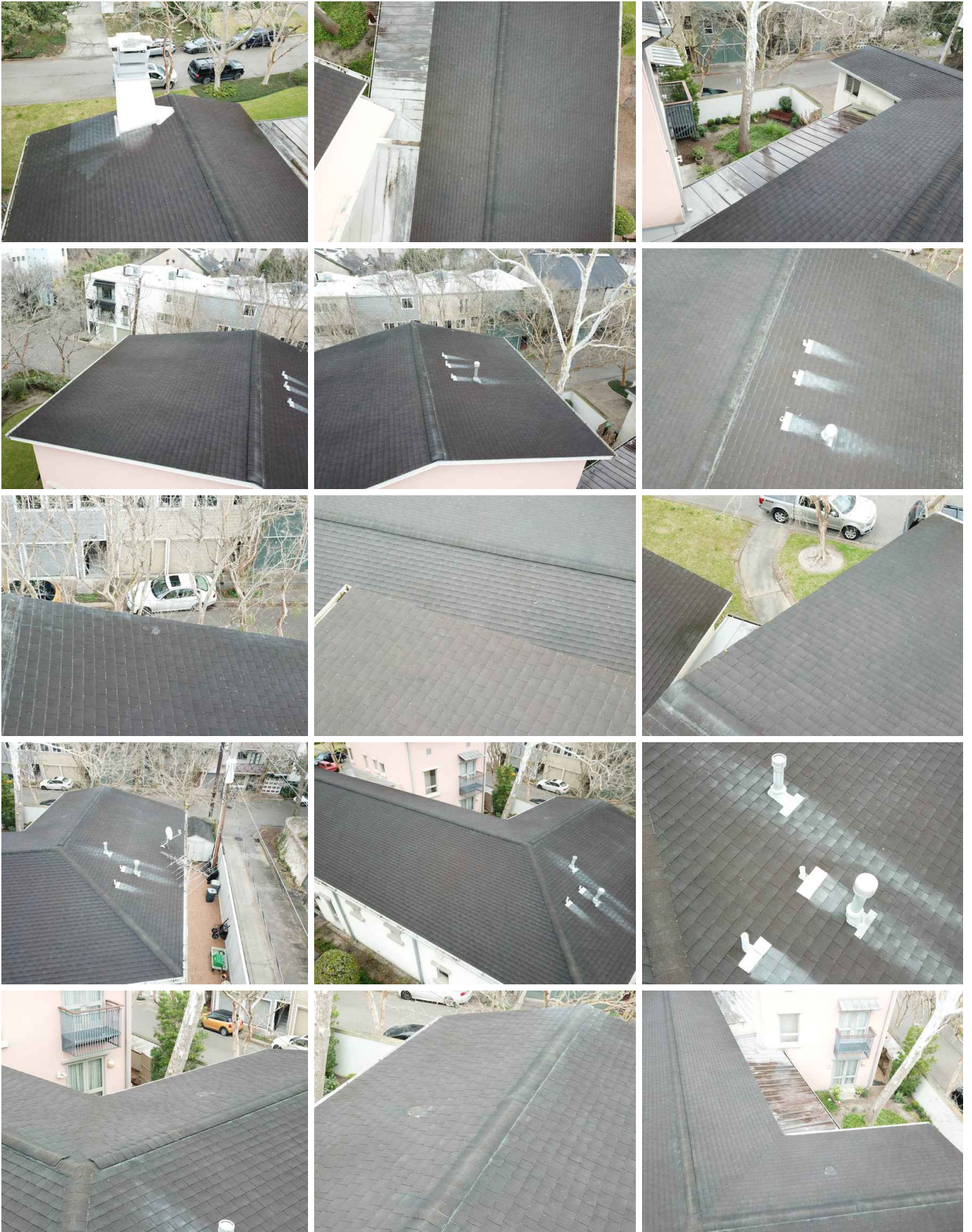


#### Age of Roof from Sellers Disclosure: Age of Roof: 22 years

The age of the roof, according to the sellers disclosure statement, was 22 years.

#### Roof viewed from: Drone due to height and/or pitch

Due to the height and/or steep pitch on the roof, the roof was not viewed from its surface due to safety concerns, but was viewed from photographs taken by a drone.





**Roof Ventilation: Roof Vents**

Continuous Ridge Vent, Continuous Soffit Vents

The ventilation for the attic space was observed to include the following vents listed above.

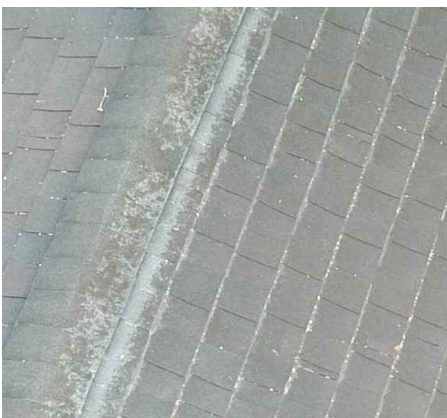


**New roof June 2022.**

**Wear and Deterioration: Composition - Advanced**

Discolored, Aggregate Missing, Broken Corners/Tabs, Shingle Loose/Missing, Deteriorated Ridge Shingles

The composition roof surface was showing evidences of advanced deterioration of the roof surface as described above and shown below.



**Roof Leaks: No leaks visible**

After observing the interior of the structure, evidences of roof leaks were not visible. The absence of evidences of roof leaks does not guarantee that roof leaks were not present; rather, that no evidences of leaking were visible at the time

of the inspection.

## Limitations

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Roof viewed from

### LIMITATIONS OF ROOF INSPECTION

It is pointed out that our roof inspection is limited to viewing the surface of the roof from only those areas determined by the inspector to be safely accessible at the time and conditions of the inspection. If the height of the roof, steepness of the pitch, or surface conditions due to wear or weather are such that the inspector determines that he cannot safely access some or all of the roof, then we will use a drone if possible (subject to weather limitations and/or No Fly Zones) to take photos of the surface of the roof. The roof will also be viewed from the underside of the roof, from the readily accessible attic access decking. For areas of the attic/roof that are not readily accessible from the safety of secure access decking, the inspector is not required to walk off the decking across the attic framing members to access all portions of the attic. Therefore, it is pointed out that there may be deficient roof conditions present in the attic that are not visible on the day of the inspection due to the limitations imposed on the inspector. This emphasizes the need and responsibility of the client to do further investigations with a roofing contractor to determine all deficiencies with the roof before any option period ends.

## Recommendations/repair

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5.8.1 Roof Details

### SHINGLES DAMAGED

Shingles were observed to be damaged and the roof is in need of repair. Contact a roofing contractor to obtain a cost estimate for repairs.

**Obtain Cost Estimate**



## 5.10.1 ROOF CONCLUSION

**JUST SERVICEABLE CONDITION - REPLACE IN APPROXIMATELY 1-2 YEARS**

After observing the condition of the roof surface, it is my opinion that the roof surface appears to be in just serviceable condition at this time and has only a little life remaining, with some repairs needed at this time. Have a roofing contractor provide a cost estimate to make all necessary repairs to bring the roof into a completely serviceable condition.

It is pointed out that the roof surface is nearing the end of its life, and it can be anticipated that replacement of the roof surface will become needed within the next 1-2 years. Due to the age and condition of the roof, it would be a prudent thing to have one or more roofing contractors examine the roof for functionality and/or insurability. Since it can be anticipated that the roof will need replacement in the near future, it is recommended that a budget be established to provide the necessary funds for the new roof.

**Obtain Cost Estimate**



# 6: STRUCTURAL FRAMING

## Information

### Framing Description: OBSERVATIONS AND CONCLUSIONS

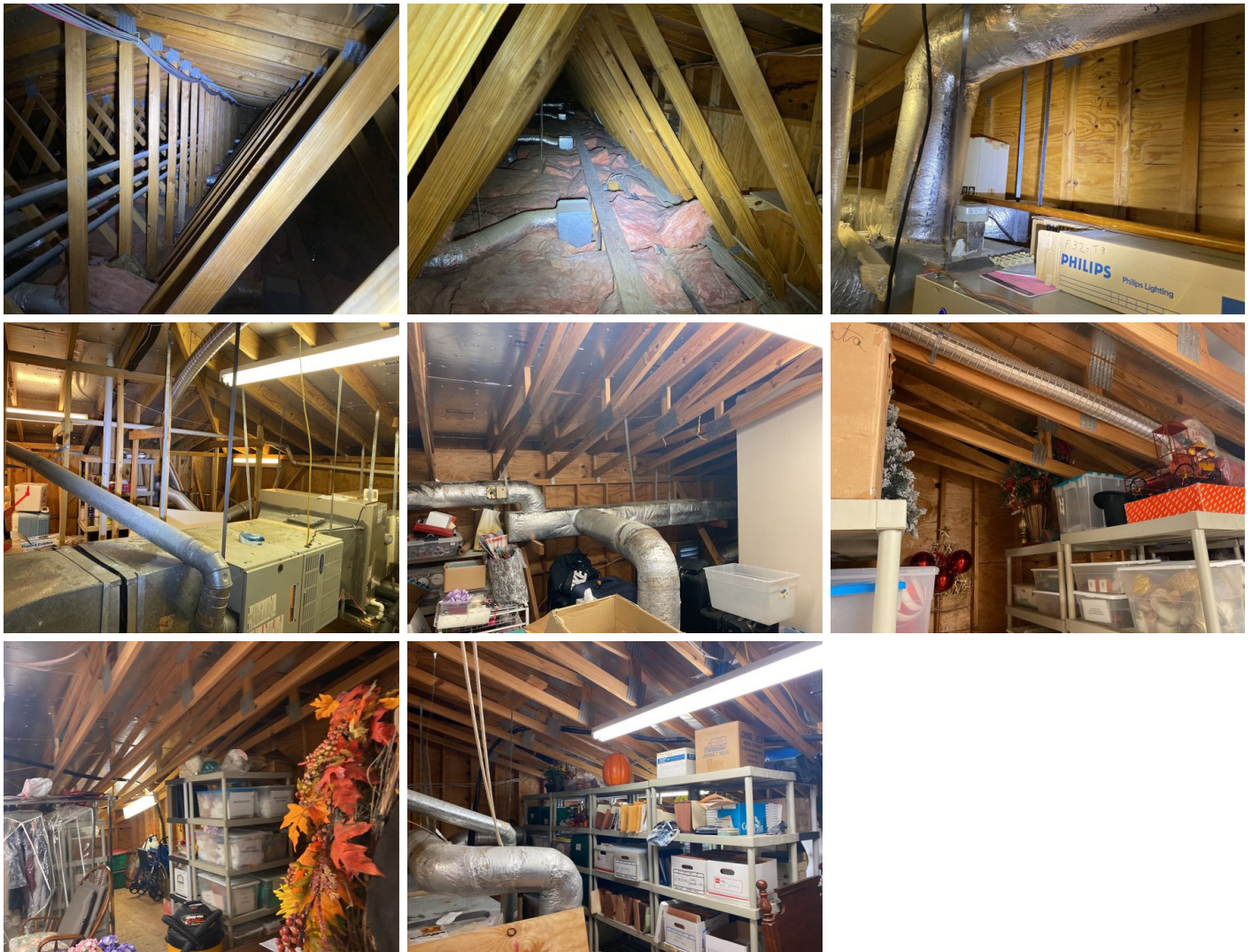
*The following items were inspected, with our Observations and Conclusions noted.*

### Framing Description: Two story house wood frame

The house was observed to be a two story wood frame structure that includes the standard major framing components, including wall framing and ceiling joists, and roof framing.

### Attic Framing: Viewed from attic access walkway

The attic space was viewed only from the areas determined by the inspector to be safely accessible from the access walkway.



### Hurricane Clips/Straps: Clips at roof/wall

Wind uplift or hurricane clips were observed to be installed at the bottom of the roof framing, connecting the roof rafters to the top of the wall framing. This provides a stronger structure and will be more resistant to wind uplift from hurricane and tornadoes.



### **STRUCTURAL FRAMING CONCLUSION: Framing Functional, multiple story**

The primary load carrying members of the structural framing that were accessible and viewed at the time of the inspection, including the roof framing, load bearing walls, ceilings, and floors were functional at the time of the inspection, and no repairs are recommended. No significant deflections were observed in the roof framing as we were able to look up the plane of the roof from the different sides of the house. No unusual sloping of the upstairs floor framing was noted, beyond the normal amount of framing deflections for an upstairs floor.

## **Limitations**

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### Framing Description

#### **INACCESSIBLE FRAMING NOT VIEWED**

It is pointed out that framing members in the wall, ceiling, floor, and/or roof that were covered with finish construction materials were not accessible and were not viewed at the time of the inspection. HEI performs limited, visual inspection in accordance with industry standards and does not remove finish construction materials to view framing members that are not readily accessible and viewable.

# 7: WATER PENETRATION

## Information

### Water Penetration: OBSERVATIONS AND CONCLUSIONS

*The following items were inspected, with our Observations and Conclusions noted.*

### Water Penetration: Moisture Meter - No High Readings

We checked around window and door openings and other location susceptible to moisture with a moisture meter, and found no evidence of elevated moisture at the time of the inspection.

## Recommendations/repair

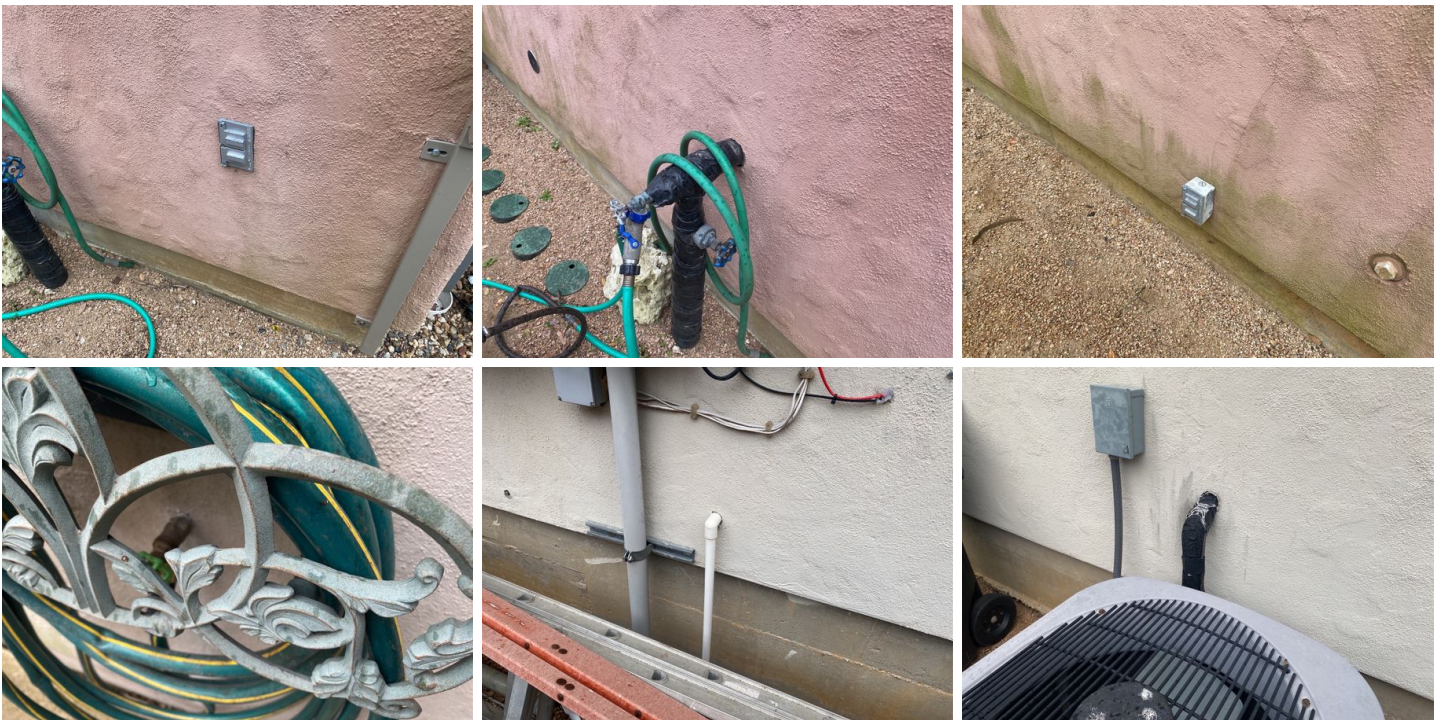
### 7.1.1 Water Penetration

#### VULNERABILITY TO WATER PENETRATION

HVAC Lines, Hose Bibb, Electric outlet, Conduit

A substantial vulnerability to water penetration was observed at penetrations/openings through the exterior building envelope, and it is recommended that all penetrations/openings be sealed against water penetration. Typical examples on a structure may include light fixtures, air conditioning refrigerant lines, water piping, gas piping, vent caps, windows, doors, expansion joints, etc. Below is a representative sample of locations and/or photographs showing some, but not necessarily all, locations where there is a vulnerability to water penetration. Have a contractor provide a cost estimate to seal all vulnerable areas on the exterior building envelope against water penetration and/or open up any clogged weepholes in the veneer.

**Obtain Cost Estimate**



## 8: FIREPLACE/CHIMNEY

### Information

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#### FIREPLACE OBSERVATIONS AND CONCLUSIONS

*The following items were inspected, with our Observations and Conclusions noted.*

#### Metal Fireplace: Location

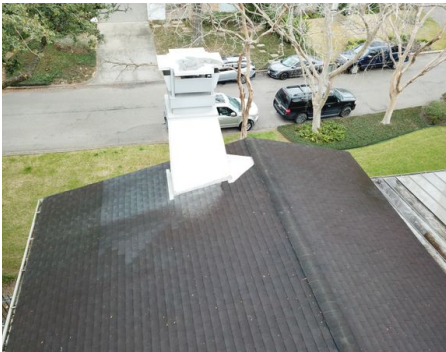
Living Room



#### Metal Fireplace: Description-Metal Fireplace

Metal Chimney Flue Through Roof, Ceramic gas log, Gas log lighter

The fireplace was a prefabricated metal fireplace that vented by a metal flue pipe to the outside of the house.



#### Metal Fireplace: Chimney flue not visible for entire flue

It should be noted that the inside of the chimney flue is not visible due to the construction of the chimney, and was not inspected. The chimney flue extends from just above the fireplace opening inside the house to the top of the chimney. If this a concern to you, we recommend that a fireplace service company be contacted.

**Obtain Cost Estimate**

#### Metal Fireplace: Log lighter functional

The gas log lighter was operationally checked, and was functional at the time of the inspection.



## Recommendations/repair

### 8.1.1 Metal Fireplace

#### **DAMPER C CLAMP MISSING**

The fireplace was equipped with a ceramic gas log. The smoke chamber and flue pipe were free from built-up soot, the damper was operational, and the firebox was properly sealed. While the draw of the chimney was not able to be checked, no evidences of poor draw were visible, and no repairs were needed to the fireplace. It is pointed out that the damper was not equipped with a spacer device to prevent the damper from closing completely. This device keeps the damper open slightly, even when it is in the closed position, to prevent combustion gases from building up in the living space should the gas log be operated when the damper is closed. It is recommended that the clamp be installed for safety purposes.

**Obtain Cost Estimate**



HEI file photo showing c-clamp in masonry fireplace



HEI file photo showing c-clamp in metal fireplace

## 9: ATTIC

### Information

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#### OBSERVATIONS AND CONCLUSIONS

*The following items were inspected, with our Observations and Conclusions noted.*

##### Ladder: Ladder - 300 Lb. rating

The rated capacity of the access ladder into the attic is 300 pounds. The ladder does not meet current code requirements for ladders into attics. Consideration should be given to replacing the ladder with a ladder that meets current code requirements.



##### Viewed from attic decking

The attic was entered and was viewed from the access decking provided in the attic. It is pointed out that the inspector is not required to access areas of the attic without the safety of adequate walkway decking.

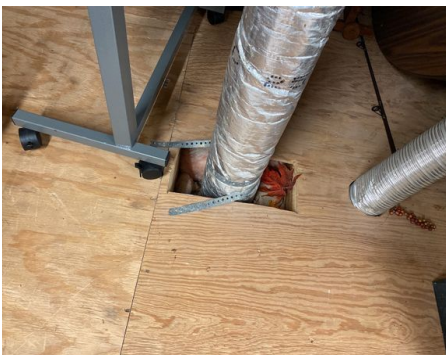
##### Service decking/platform decking: Adequate decking

The attic had adequate service decking to the equipment, with a walkway that was a minimum of 24 inches wide. In addition, the attic had adequate platform decking at the equipment, with a working platform that was a minimum of 30 inches wide.

##### Insulation: Batt 9"-10"

The insulation in the attic was average by the standard for the age of the house. The insulation appeared to be approximately 9-10" thick, which would be an R30 energy rating. It is pointed out that the insulation requirements according to the latest standard for new houses in this area is an R38 energy rating.

**Table 1102.1.1**



### Limitations

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Attic Viewed From

## ATTIC NOT ALL ACCESSIBLE

The entire attic space was not accessible from the decking provided, and if remote areas were viewed at all, it would be from the safety of the access decking. Note that it is our policy to not walk off the access decking nor climb over equipment to walk across framing members due to safety hazards and the potential for damaging equipment/ductwork and/or slipping off the framing members and falling through the ceiling. It is pointed out that there may be deficiencies in the attic and/or for the roof that were not viewed at the time of the inspection due to a lack of access walkway decking.

## Recommendations/repair

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9.1.1 Ladder

### LADDER ATTACHMENT IMPROPER

Nail(s) missing in spring arm pivot(s), Nail(s) missing in corner bracket(s)

The stair assembly was not properly installed or secured to the framing members, and repair is needed for safety purposes. The condition(s) can be a safety hazard, and repair is needed, as an improperly installed stair assembly can possibly collapse.

**Obtain Cost Estimate**



# 10: EXTERIOR CLADDING

## Information

### Descriptions:

The materials, styles, and components present and observable at the time of the inspection are as follows:

### Cladding Material

Cement Siding





**Hardcoat stucco veneer: Hedderman Stucco**

The stucco system was inspected per the clients request by a stucco specialist from Hedderman Stucco at the time of our general home inspection. It is pointed out that our observations regarding the stucco system and related accessories are included in our separate stucco report. It is recommended that you refer to the Hedderman Stucco inspection report for conditions and/or problems concerning the stucco veneer, the substrate behind the stucco, moisture levels, sealant details, and flashing details. Further investigation is recommended with your stucco specialist to determine the condition of the stucco and if any repairs are needed. If so, you should obtain a cost estimate from a stucco contractor for all needed repairs.

Please note that our inspection is not a stucco certification, as such an inspection would be much more comprehensive with invasive testing, and would, therefore, cost much more. We do inspect the stucco for visible defects such as cracks and surface damage, but we cannot see inside the walls or behind the stucco. Caulking around the window and door openings and other changes of materials is particularly important to maintain to prevent moisture intrusion into the walls.

# 11: EXTERIOR ITEMS

## Information

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### OBSERVATIONS AND CONCLUSIONS

*The following items were inspected, with our Observations and Conclusions noted.*

#### Flatwork Concrete/Patios/Walkways: Flatwork Concrete OK

Sidewalk, Driveway

The flatwork concrete listed above was in generally good condition at the time of the inspection with no significant repairs needed. Note that there may be some small cracks in the concrete, but in the opinion of the inspector, the concrete is still functional.



#### Sheds/Playground Equipment: Shed Locked

The shed was locked, and was not accessible at the time of the inspection, and the interior was not inspected.

## Recommendations/repair

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### 11.2.1 Gutters and Downspouts

#### **DS SPLASH BLOCK**

The downspout was missing a splash block.

**Obtain Cost Estimate**



## 11.2.2 Gutters and Downspouts

**DS DRAIN CLOGGED**

The drain to the downspout was clogged and in need of repair.

**Obtain Cost Estimate**



## 11.4.1 Wood Rot

**WOOD ROT**

**All areas of wood rot have been repaired.**

Exterior Door, Window Trim

We observed evidences of wood rot and it is recommended that all rotted wood be replaced. Have a contractor provide a cost estimate to determine the entire scope of the wood rot, and provide a cost estimate to replace all rotted wood in the house.

**Obtain Cost Estimate**



## 11.5.1 Sheds/Playground Equipment

**SHED**

Siding Rotted, Door Hardware

The shed was in need of some repairs.

**Obtain Cost Estimate**



## 11.9.1 Balcony

**WOOD RAILING - REPAIR**

The wood guardrail was damaged at the balcony and is in need of repair. Further investigation with a service company is recommended to obtain a cost estimate for all needed repairs.

**Obtain Cost Estimate**

**Wood railings have been repaired.**



## 11.11.1 Miscellaneous Exteriors

**GREENHOUSE ROOF DAMAGED**

The greenhouse roof was observed to be damaged and needs to be repaired.

**Obtain Cost Estimate**



## 12: INTERIOR ITEMS

### Information

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#### OBSERVATIONS AND CONCLUSIONS

*The following items were inspected, with our Observations and Conclusions noted.*

#### Doors: Most operating OK

No items requiring repair were observed concerning the operation of most of the doors, with exceptions listed below. The doors opened and closed properly, and the doors with locks were locking properly.

#### Doors: Keyed deadbolts

We observed exterior doors that were equipped with keyed deadbolts, rather than thumbed deadbolts. In case of emergency, you would have to find a key to unlock the door, which could be hazardous. It is recommended that the keyed deadbolts be replaced with thumbed deadbolts. It is pointed out for informational purposes that current code requirements prohibit the use of keyed deadbolts.

**R311.4.4**



#### Windows: Most operational

No items requiring repair were observed concerning the operation of most of the windows that were checked. Most of the windows that were accessible at the time of the inspection were opening and closing properly with exceptions listed below.

### Recommendations/repair

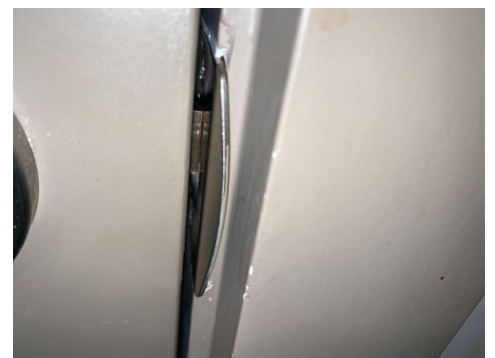
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#### 12.1.1 Doors

##### NON-LATCHING

We observed non-latching doors that were in need of adjustment to the striker plate on the door frame.

**Obtain Cost Estimate**



Utility Room

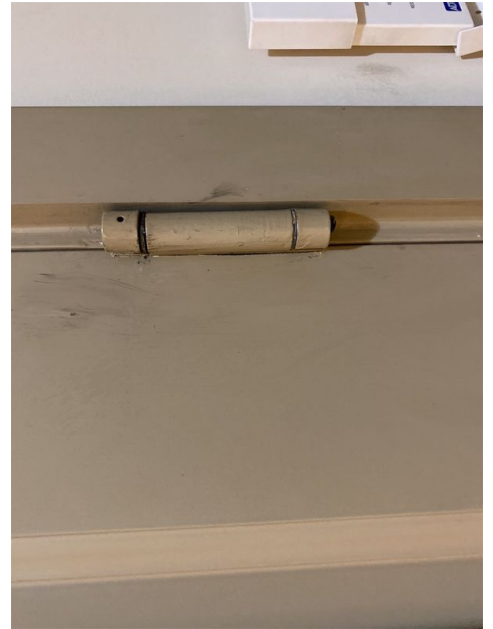
## 12.1.2 Doors

**GARAGE DOOR SELF-CLOSING HINGES NON-FUNCTIONAL**

The self-closing hinges on the door to the garage were non-functional, and need to be repaired. Contact a service company to make the needed repairs.

**Obtain Cost Estimate**

**R302.5.1**



**This has been repaired.**

## 12.2.1 Windows

**CASEMENT - INOPERABLE DUE TO WOOD ROT**

The casement window was inoperable due to wood rot and needs to be replaced.

**Obtain Cost Estimate**



North West Bedroom

12.8.1 Wood rot interior

**INTERIOR**

Window Frame, Window Panel

Wood rot was observed and it is recommended that the damaged wood be replaced. It is pointed out that additional damage could be present under the rotted material that will not be visible until the outer rotted materials are removed. Have a service company determine the entire scope of wood rot throughout the house, and provide a cost estimate to replace all rotted wood, including at the above locations.

**Obtain Cost Estimate**



Stairwell **Repaired**



Living Room



Living Room

**Living room wood rot repaired  
but window is NOT OPERABLE.**



North West Bedroom  
**Repaired**

# 13: CLOSE

## Information

### **CLOSE**

Opinions and comments stated in this report are based on the apparent performance of the items included within the scope of the inspection, at the time of the inspection. Performance standards are based on the knowledge gained through the experience and professional studies of the inspector. There is no warranty or guarantee, either expressed or implied, regarding the habitability, future performance, life, merchantability, and/or need for repair of any item inspected. It is suggested that it would be a prudent thing to purchase a Home Warranty Policy to protect the appliances and equipment against unforeseen breakdowns during the first year and for preexisting conditions. It is recommended that you research the various options available and protect yourself with a policy. Check with your agent for details and please read our comments concerning Home Warranty policies on page 4 of this report.

Items identified as being deficient and/or in need of repair along with our Recommendations are provided in the above report. Many, but not all, recommendations are highlighted in bold red text. It is our intention, and your responsibility, that you follow up on these deficiencies and recommendations as part of your due diligence by contacting the appropriate service contractor(s) for Further Investigation, Obtain a cost estimate and/or Contact the Builder. It is pointed out that other related and/or underlying conditions may be present, and which may not be apparent without further investigation by qualified service companies. It is emphasized how important it is for you if you intend to rely on our report(s), to continue to gather the in-depth information that will be obtained by further investigation with appropriate service technicians who will use their specialized knowledge of the component(s) and the related building codes along with their specialized diagnostic equipment to give you a total picture of the condition of the property. Failure on your part to do your due diligence will constitute negligence on your part and result in an incomplete body of knowledge upon which you base your decisions regarding this property. We recommend that your further investigations be done before the expiration of your option period and before closing on the property.

We also recommend that you review the Service Agreement at the end of this report regarding any complaint concerning the inspection services provided pursuant to the service agreement, As agreed to, Client must notify HEI in writing of such complaint within ten (10) business days of the date of Client's actual discovery and thereafter allow a prompt reinspection of the item relating to the claimed condition. Client further agrees that client and he/she/it's agents, employees or independent contractors **will make no alterations, repairs or replacements to the item complained about prior to a reinspection by HEI as agreed above.**

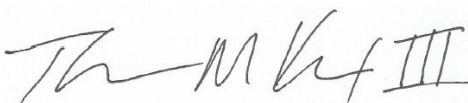
As an additional service, we recommend using a new tool we have on our website that can quickly turn your inspection report into an easy-to-read estimate of repairs for a nominal fee. These pricing reports from a third party company called **RepairPricer** not only make the inspection report easy to understand in terms of dollars and cents, but they are also useful negotiation tools. Just visit the page below on our website and upload your report into **RepairPricer**. If you have any questions when you receive your report, you can contact them at [info@repairpricer.com](mailto:info@repairpricer.com)

<http://www.heddermanengineering.com/repair-cost-estimates>

Thank you again for asking HEDDERMAN ENGINEERING, INC. to perform this inspection for you. If you have any questions after reviewing this report, please feel free to call the office. It is emphasized that the executed Service Agreement contract, which has been included at the end of this report, contains a provision under "Dispute Resolution" for you to contact HEI to resolve any disputes.

At your service,

Thomas M. Knox III  
Texas Licensed Professional Engineer #104679  
Texas Firm Number: 7942






# 14: RECEIPT PAGE

## Information

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**HEDDERMAN ENGINEERING, INC.**

www.heddermanengineering.com Office 281-355-9911 Fax 281-355-9903 office@heddermanengineering.com

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03/07/2022

TO: KRAUSE MANAGEMENT TRUST c/o Greg Krause

REF: Inspection of the property at 1301 Milford St, Houston, TX 77006.

Total cost of inspection: \$1,300.00

Total Paid: \$1,300.00

Total Due: - 0 -

# 15: SERVICE AGREEMENT

## Information

**For your records, following is the Service Agreement that you executed for this inspection.**

### **HEDDERMAN ENGINEERING, INC.**

Office: 281-355-9911 Fax: 281-355-9903

[office@heddermanengineering.com](mailto:office@heddermanengineering.com) [www.heddermanengineering.com](http://www.heddermanengineering.com)

### **Real Estate Inspection Service Agreement**

**NOTICE: THIS AGREEMENT IS INTENDED TO BE A LEGALLY BINDING CONTRACT - PLEASE READ IT CAREFULLY**

**NAME OF CLIENT(S): KRAUSE MANAGEMENT TRUST c/o Greg Krause**

**DATE OF INSPECTION: 03/07/2022**

**PROPERTY ADDRESS: 1301 Milford St, Houston, TX 77006**

#### Purpose of inspection

The purpose of the inspection is to view selected accessible components and/or systems, and to inform you, our client, of our observations and professional opinions from a NON-INVASIVE VISUAL SURVEY on whether or not those selected components and/or systems appear to be functioning on the day of the inspection, or appear to be in need of repair. Although this report may include observations of some building code violations, total compliance with structural, mechanical, plumbing, electrical codes, specifications, and/or legal requirements is specifically excluded. HEI does not perform Code inspections. Since building codes change every few years, our inspections are not done with the intention of bringing every item in the house into compliance with current code requirements. Rather, the standard of our inspections is a **PERFORMANCE STANDARD** to determine if the items inspected in the opinion of HEI appear to be functioning at the time of the inspection, or appear to be in need of repair. It is pointed out that other engineers/inspectors may have different opinions to those given in this report. It is also not our purpose to verify the adequacy and/or design of any component of the house, including the proper sizing and compatibility of HVAC, Electrical, and/or Plumbing components.

It is also not within the purpose and/or scope of this report to determine the insurability, habitability, merchantability, future performance, suitability of use, economic life span, or deferred maintenance issues, and/or issues unnamed in this report. This report is not an insurance policy, neither is it an express or implied warranty or guarantee as to future life and/or continued performance of the items inspected. Our inspection and report are intended to express HEI's perceived impression of the apparent performance of the inspected components and systems viewed on the date of the inspection. HEI's intent is to reduce your risk associated with this transaction, however we cannot eliminate all risk, nor assume your risk. Any items pointed out as in need of repair or further investigation should be evaluated by a qualified repair specialist or service company who should provide estimated repair costs **PRIOR TO CLOSING ON THE PROPERTY**. By accepting this agreement, the Client understands that the services provided by HEI are the types of services described in the Professional Services Exemption of the Texas Deceptive Trade Practices-Consumer Protection Act ("DTPA") and agrees that no cause of action exists under the DTPA related to the services provided.

It is recommended that you obtain as much history as is available concerning this property. This historical information may include copies of any seller's disclosures, previous inspection or engineering reports, building drawings and/or specifications, bids to perform repair work on the property, receipts from repair work that has been performed, reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should attempt to determine whether repairs, renovations, remodeling, additions or other such activities have taken place at this property.

### Scope of inspection

The scope of the inspection includes limited, visual observations at the interior and exterior of the structure, the attic (if applicable) as viewed only from the areas determined by the inspector to be safely accessible, the underside of the house (if applicable) as viewed only from the crawlspace areas determined by the inspector to be safely accessible, and the roof as viewed from the ground and/or only from the locations on the roof **if the roof is determined by the inspector to be safely accessible**. Only those items **readily** accessible and visible at the time of the inspection will be viewed and included in this report. Any items causing visual obstruction, including, but not limited to, furniture, furnishings, floor or wall coverings, registers and grills on HVAC ductwork,, foliage, soil, appliances, stored items, insulation, etc., will not be moved or removed. Only those electrical outlets that are readily accessible will be operationally checked. Disassembly or removal of any portion of the structure, mechanical equipment, plumbing equipment, or electrical equipment is beyond the scope of this inspection.

The components of the property included, if applicable, in the scope of the inspection:

#### Structural:

Foundation, elevation survey including sketch of house and level readings, primary load-carrying framing members, roof surface, water penetration, grading and drainage, fireplace/chimney, and miscellaneous items related to the house.

#### Mechanical:

Air conditioning and heating systems, water heater, built-in appliances, and garage door opener.

#### Plumbing:

Water and gas supply lines that are visible, sinks, toilets, tubs, showers, visible drain lines, and vents.

#### Electrical:

Service entrance conductors, electric meter, distribution panel, visible wiring, light fixtures, switches, and accessible receptacle outlets.

#### Lawn Sprinkler:

Control panel, solenoid valves, backflow prevention device, visible piping, and sprayer heads.

#### Pool:

Basin, deck, waterline tiles, pumps, filters, piping, heater, timer, and electrical.

The following items, even if present in the subject property, are not inspected and do not constitute any part of the inspection services to be performed hereunder unless a specific notation is made on this report stating its condition:

Tainted and Corrosive drywall (Chinese Drywall), Clock Timers, Landscape Lighting, Sump Pumps, Wood Destroying Insects/Pests, Antennas, Environmental Hazards, Laundry Equipment, Water Filters, Geological faults/subsidence, Automatic Oven Cleaners, Fire Sprinklers System, Mold/Microbial, Water Wells, Mosquito Misting Systems, Buried/Concealed Plumbing, Fire/Smoke Alarm Systems, Septic Systems, Indoor Air Quality, Asbestos, Low Voltage and data Systems, Lights on Photo-cell/timers, Carbon Monoxide Alarms, and Water Softeners/Water Treatment systems/Reverse Osmosis systems with all related piping.

#### Reinspections:

HEI typically does not perform reinspections on the property. However, if we agree to return to the property, it is with the understanding that we are not certifying the adequacy of any repair work that has been done, and there will be an additional fee charged. This is also true for conditions that are beyond the control of the inspector and hinder the inspector during the inspection, such as inclement weather, lack of adequate access to attics, crawlspaces, or other areas, utilities that are off, non-functional equipment, etc. If a return trip to the house is requested to finish items that were not able to completed at the time of the originally scheduled inspection, then an additional fee will be charged.

#### Limitations of Inspection

A visual inspection method will generally produce a competent first impression assessment of the apparent performance of the structural, mechanical, plumbing, and electrical components, provided repairs have not been performed which would cover distress patterns normally produced by problems. Because the inspection procedure is visual only, and is not intended to be diagnostic and/or technically exhaustive, an inherent residual risk remains that undiscovered problems exist and/or future problems will develop.

This report is provided solely for the use of the person to whom this report is addressed, and is in no way intended or authorized to be used by a third party, who may have different requirements, and to whom we have not contracted with to perform an inspection. If a third party chooses to use this inspection report, they do so without HEI's permission or authorization, and they do so at their own risk.

#### Dispute Resolution

In the event of a complaint concerning the inspection services provided pursuant to this agreement, Client must notify HEI in writing of such complaint within ten (10) business days of the date of Client's actual discovery and thereafter allow a prompt re-inspection of the item relating to the claimed condition. Client further agrees that client and he/she/it's agents, employees or independent contractors **will make no alterations, repairs or replacements to the item complained about prior to a reinspection by HEI as agreed above**. You agree that failure to comply with

this procedure shall result in your express release of all claims Client may have against HEI, known and unknown, related to the item complained about and any related alleged act or omission by HEI.

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**LIMITATION OF LIABILITY:** In any event the inspector fails to fulfill the obligations under this agreement, CLIENTS EXCLUSIVE REMEDY AT LAW OR IN EQUITY AGAINST INSPECTOR IS LIMITED TO A MAXIMUM RECOVERY OF DAMAGES EQUAL TO THE INSPECTION FEE PAID HEREIN. CLIENT VOLUNTARILY AGREES TO WAIVE THEIR RIGHTS UNDER THE DECEPTIVE TRADE PRACTICES-CONSUMER PROTECTION ACT, SECTION 17.41 ET SEQ. BUSINESS & COMMERCE CODE. This limitation of liability applies to anyone, including client, who is damaged or has to pay expenses of any kind, including attorney fees and costs. Client assumes the risk of losses greater than the refund of the fee paid herein. Client acknowledges that this limitation of liability is reasonable in view of the relatively small fee that inspector charges for making the inspections when compared with the potential of exposure that inspector might otherwise incur in the absence of such limitation of liability, and that a much higher fee would be charged if the inspector were subject to greater liability.

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#### Statute of Limitations

The parties agree that no claim, demand, or action, whether sounding in contract or in tort, may be brought to recover damages against HEI, or its officers, agents, or employees MORE THAN TWO YEARS AND ONE DAY AFTER THE DATE OF THE INSPECTION OR THE DATE ANY PURPORTED CAUSE OF ACTION ARISING OUT OF THE INSPECTION ACCRUES. TIME IS EXPRESSLY OF THE ESSENCE HEREIN. Client understands that this time period may be shorter than otherwise provided by law.

#### Acceptance of Report

By signing I confirm that I have read, understood, and agree to the above pre-inspection service agreement, and that I agree to be bound by these terms and conditions. In the absence of Client signing this service agreement prior to or at the time of the inspection, then acceptance of the report and/or payment for the inspection shall constitute agreement with all of the terms of this agreement. The report to be prepared by HEI shall be considered the final and exclusive findings of HEI regarding the inspection of the property which is the subject of this agreement. Client shall not rely on any oral statements made by HEI or its representatives prior to issuance of the printed report.

**NOTE: IF THE INSPECTION IS CANCELLED LESS THAN ONE FULL BUSINESS DAY BEFORE THE SCHEDULED TIME, INCLUDING SATURDAYS, SUNDAYS, AND/OR HOLIDAYS, THE CLIENT WILL BE CHARGED ½ OF THE ORIGINAL INSPECTION FEE AND AGREES TO PAY SUCH PENALTY FEE. IF THE INSPECTION IS CANCELLED LESS THAN ONE HOUR BEFORE THE SCHEDULED TIME OF THE INSPECTION, THE CLIENT WILL BE CHARGED THE FULL INSPECTION FEE.**



**I HAVE READ AND ACCEPT THIS AGREEMENT**