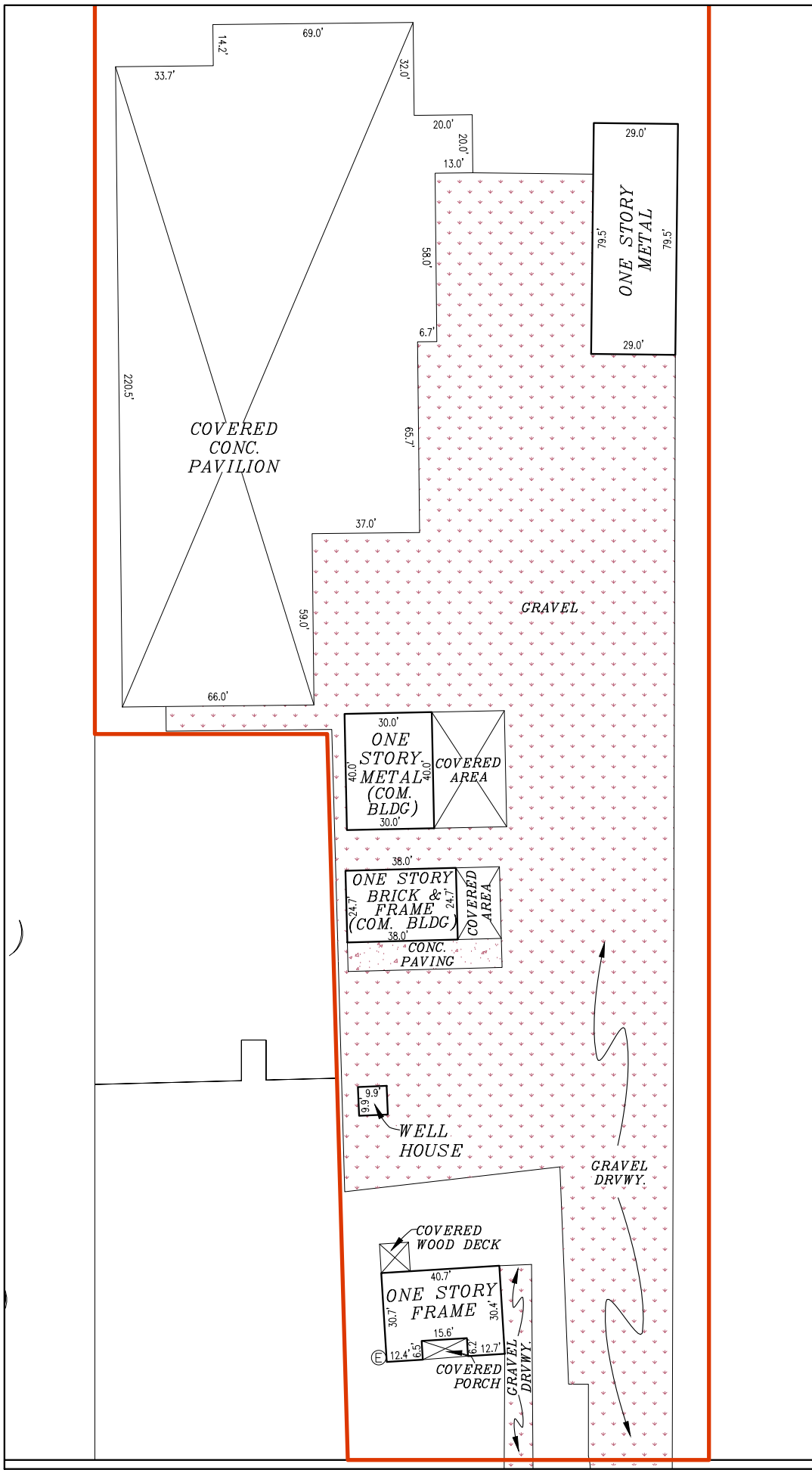
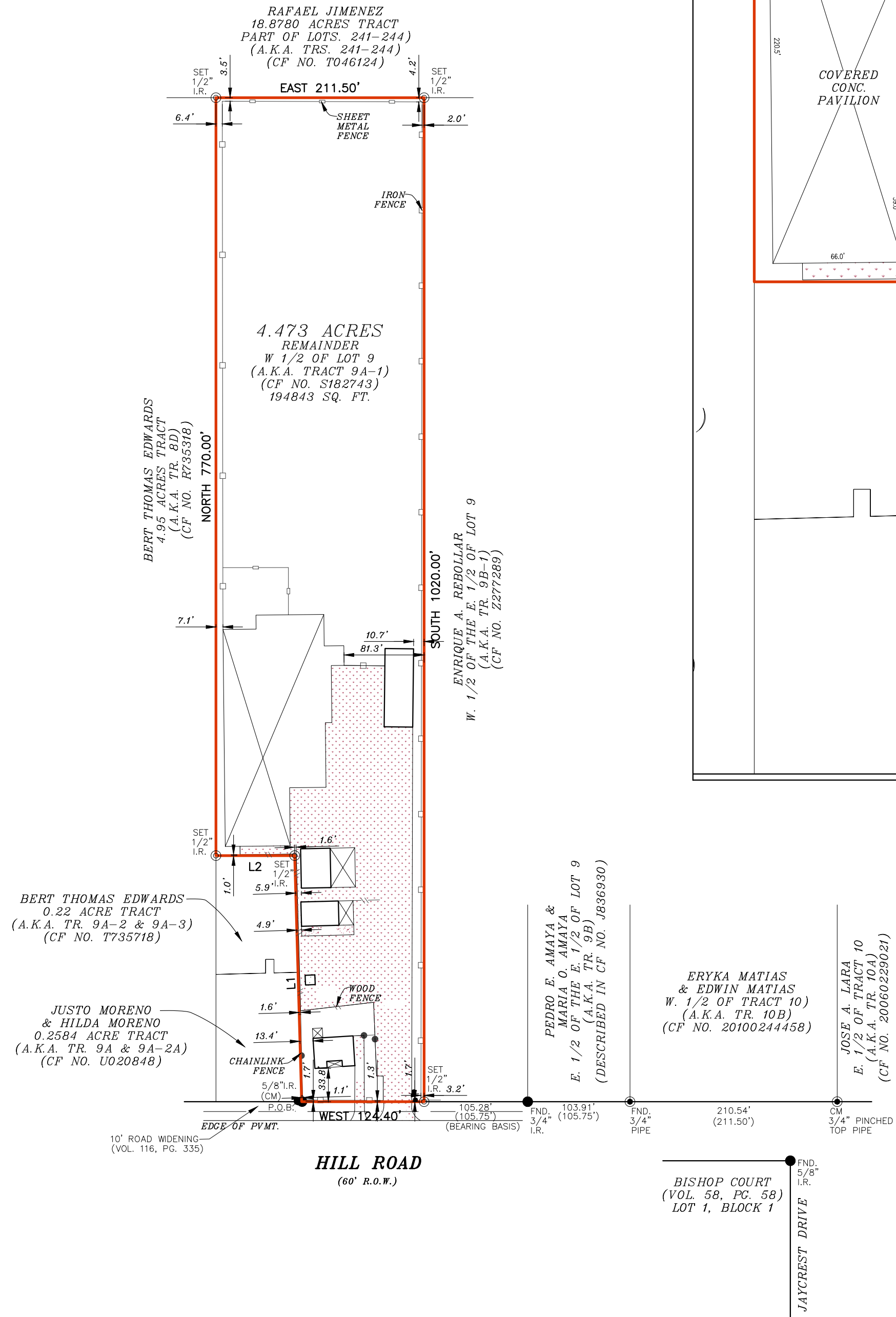


LINE	BEARING	DISTANCE
L1	N 01°37'36" W	250.10'
L2	N 90°00'00" W	80.00'



HOUSE DETAIL
SCALE: 1" = 50'

LEGEND

- These standard symbols will be found in the drawing.
- — — — — BOUNDARY LINE
 - — — — — WOOD FENCE
 - — — — — WROUGHT IRON FENCE
 - — — — — SHEET METAL FENCE
 - — — — — CHAINLINK FENCE
 - — — — — SHEET METAL FENCE
 - SET 1/2" IRON ROD
 - FOUND IRON ROD
 - FOUND METAL PIPE
 - FOUND METAL PIPE
 - WATER METER
 - ELECTRIC METER
 - POWER POLE
 - SIGN
 - CM CONTROL MONUMENT

Being a 4.473 acre tract of land located in the Martin K. Snell Survey, A-688, Harris County, Texas; said 4.473 acre tract being all of the remainder of the west 1/2 of Lot 9 (Munoz tract), of W.L. Hill Subdivision, a subdivision recorded in Volume 7, Page 4, of the Map Records of Harris County (M.R.H.C.), Texas, and being described in Clerk's File Number S182743, of the Official Public Records of Real Property, Harris County (O.P.R.R.P.H.C.), Texas, said 4.473 acre tract being more particularly described by metes and bounds as follows (bearings are based on said subdivision);

BEGINNING at 5/8-inch iron rod found for the southeast corner of a called 0.2584-acre tract described in a deed to Justo D. Moreno & Hilda Moreno, in Clerk's File Number U020848 of the O.P.R.R.P.H.C., being on the north right-of-way line of Hill Rd. (60 feet wide; Vol. 116, Pg. 335, H.C.D.R.);

THENCE, North 01 degrees 37 minutes 36 seconds West, a distance of 250.10 feet, with the west line of said 0.2584-acre tract, and the west line of a called 0.22-acre tract, described in a deed to Bert T. Edwards, JR. in Clerk's File Number T735718 of the O.P.R.R.P.H.C., to a 1/2-inch iron rod with cap stamped "OSC" set for the northeast corner of said 0.22 acre tract and an interior corner of the herein described tract;

THENCE, North 90 degrees 00 minutes 00 seconds West, a distance of 80.00 feet, with the north line of said 0.22-acre tract, to a 1/2-inch iron rod with cap stamped "OSC" set on the east line of a called 4.95 acres tract described in a deed to Bert T. Edwards, JR., recorded in Clerk's File Number R735318 of the O.P.R.R.P.H.C., the west line of said Munoz tract and being the common line of said Lots 9 and 8 of said subdivision, for the northwest corner of said 0.22-acre tract;

THENCE, NORTH, a distance of 770.00 feet, with said common line, to a 1/2-inch iron rod with cap stamped "OSC" set on the south line of a called 18.8780 acre tract described in a deed to Rafael Jimenez, in Clerk's File Number T046124, the north line of said Martin K. Snell Survey, A-688, and the south line of Christopher Walter Survey, A-849, for the common north corner of said Lots 9 and 8 and the northeast corner of said 4.95-acre tract;

THENCE, EAST, a distance of 211.50, with the north line of said Lot 9 and the south line of said 18.8780-acre tract, to a 1/2-inch iron rod with cap stamped "OSC" set for the northeast corner of herein described tract, and the northeast corner of said Munoz tract and the northwest corner of a tract of land described in a deed to Enrique Rebollar (Rebollar tract) recorded in Clerk's File Number Z277289 of the O.P.R.R.P.H.C.;

THENCE, SOUTH, with the common line of Munoz tract and said Rebollar tract, to a 1/2-inch iron rod with cap stamped "OSC" set for the common south corner of tracts on the north right-of-way line of said Hill Rd.;

THENCE, WEST, a distance of 124.40 feet, with the south line of said Munoz tract and said north right-of-way line of said Hill Rd., to the POINT OF BEGINNING and containing 4.473 acres of land.

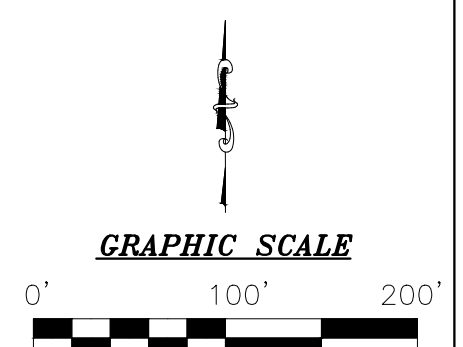
SURVEYOR'S NOTE(S):
THIS SURVEY MEETS THE CURRENT STANDARDS OF THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATION FOR A CATEGORY 1A, CONDITION II SURVEY.

NO RECORDED BUILDINGS LINES FOUND. FUTURE DEVELOPMENTS SHOULD REFER TO JURISDICTIONAL AGENCIES FOR REQUIREMENTS.

THIS SURVEY IS BASED ON A TITLE COMMITMENT REPORT ISSUED BY WFG NATIONAL TITLE INSURANCE COMPANY OF NO. 23-112647 ISSUED ON 03/03/23.

FLOOD INFORMATION
FIRM: 482010 PANEL: 0470 L
REV. DATE: 06/18/2007
ZONE: "AE" & SHADED "X"

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS. THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.



LAND TITLE SURVEY

I, LUTHER J. DALY, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to WFG NATIONAL TITLE COMPANY and IZZLON, LLC and that the above map is true and correct according to an actual field survey, made by me or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no apparent visible encroachments, no apparent visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, as of the date of the field survey.

Description: BEING A 4.473 ACRE PARCEL OF LAND recorded in Clerk's File S182743, of the Map/Deed and Plat Records of HARRIS County, Texas. located in the MARTIN K. SNELL SURVEY, A-688 Borrower/Owner: IZZLON, LLC Address: 807 HILL RD., HOUSTON, TX 77037 GF No. 23-112647

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: VOLUME 7, PAGE 4, MAP RECORDS, HARRIS COUNTY, TEXAS

PROPERTY PHOTOGRAPH:

Overland Consortium Inc. Surveyors
Tel: 281-940-8869 Fax: 281-207-6476
999 E. BASSE ROAD, SUITE 180 BOX 521, SAN ANTONIO, TEXAS 78212

FIRM REGISTRATION NO. 10190700
LUTHER J. DALY, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 6150
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