

PROPERTY INSPECTION REPORT



**Calvin Ceaser 21661
Cal-Pro Home Inspections Team**

**17738 Sequoia Kings dr.
Inspection Prepared For: Lee Powell 22338
Date of Inspection: 9/19/2022**

PROPERTY INSPECTION REPORT FORM

| | |
|---|--|
| Lee Powell 22338 <i>Name of Client</i> | 9/19/2022 <i>Date of Inspection</i> |
| 17738 Sequoia Kings dr., Humble , Texas <i>Address of Inspected Property</i> | |
| Calvin Ceaser <i>Name of Inspector</i> | 21661 <i>TREC License #</i> |
| <i>Name of Sponsor (if applicable)</i> | <i>TREC License #</i> |

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Inspection Agreement

This PRE-INSPECTION AGREEMENT (herein after known as the Agreement) is entered into on this the between Cal-Pro Home Inspection Team, PLLC and the Inspector, (herein after known as the Inspector) whose License Number is TREC # and , (herein after known as the Client). The Property to be inspected is (hereinafter as the Property listed on the report.

Inspection Fee: Due at time of Inspection. Client agrees and is aware that the home inspection report will be sent anywhere from the evening of the inspection to within 72 hours after. The client acknowledges and understands, fully agreeing that the report will not be released to the client until the inspection fee is paid in full, waving the right to the two-day rule stated by TREC (zzTAC 535.222(a) #2).

PLEASE READ THIS AGREEMENT CAREFULLY

I. Scope of Services

A. In exchange for the Inspection Fee paid by Client, the Inspector agrees to provide the Client with an Inspection Report setting out the Inspector's professional opinions concerning the condition of the Property further described in the report. The inspection will be performed in accordance with the Texas Standards of Practice promulgated by the Texas Real Estate Commission and/or the Texas Department of Agriculture ie: Structural Pest Control Service. Inspector's will attempt to identify major defects and/or problems with the Property. However, Client acknowledges that the Inspection Report may not identify all deficiencies, defects and/or problems.

B. The Inspector agrees to:

1. inspect items, parts, systems, components and conditions which are present and visible at the time of the inspection, but the inspector is not required to determine or estimate the remaining life expectancy or future performance of any inspected item, part, system or component;
2. operate mechanical and electrical equipment, systems, and appliances during an inspection in normal modes and operating range at the time of the inspection;
3. report which of the parts, components, and systems present in the property have or have not been inspected;
4. report as deficient inspected parts, components or systems that are not functioning or that the standards of practice required the inspector to report as Deficient; and
5. address all of the parts, components, and systems contained in the standards of practice in property being inspected.

C. The inspection is limited to those items which can be seen, easily accessed and/or operated by the Inspector at the time of the inspection as set out in the Inspection Report. Inspector will not remove walls, floors, wall coverings, floor coverings and other obstructions in order to inspect concealed items. Systems and conditions which are not specifically addressed in the Inspection Report are excluded.

The major systems which will be inspected include:

1. Foundation; Grading & Drainage
2. Interior doors, wall, ceilings and floors;
3. Exterior walls and doors, windows and door glazing;
4. Fireplace and chimney;
5. Roof, Roof Structure and attic;
6. Porches, Balconies and decks;
7. Built-in Appliances;
8. Heating, cooling and Vent Systems;
9. Plumbing Supply & Drains, Water Heating System; and
10. Electrical system.

D. Systems, items, and conditions which are not within the scope of the building inspection includes,

but are not limited to: radon, formaldehyde, lead paint, asbestos, toxic or flammable materials, molds, fungi, other environmental hazards, pest infestation; security and pre protection systems; household appliances; humidifiers; paint, wallpaper and other treatments to windows, interior walls, ceilings and floors; recreational equipment or facilities; pool/spa water purification systems (ozone generator/salt water, etc); underground storage tanks, energy efficiency measurements; motion or photo-electric sensor lighting; concealed or private secured systems; water wells; all overflow drains; heating systems accessories; solar heating systems; heat exchangers; sprinkler systems; water softener or purification systems; central vacuum systems; telephone, intercom or cable TV systems; antennae, lightning arresters, load controllers; trees or plants; governing codes, ordinances, statutes and covenants; and manufacturer specifications, recalls and EIFS. Client understands that these systems, items and conditions are excepted from this inspection. Any general comments about these systems, items and conditions of the written report are informal only and DO NOT represent an inspection.

E. The Inspector may indicate one of the following opinions of the Inspector regarding a particular item:

1. The item is performing its intended function at the time of the inspection;
2. The item is in need of replacement or service for repair; or
3. Further evaluation by a technician or expert is recommended.
4. Exclusions of systems normally inspected.
5. Cal-Pro Home Inspection Team PLLC does NOT inspect for or report on MOLD inside or outside of the property. If you feel it necessary to have a thorough inspection for mold, you will need to contact a specialized licensed inspector that is properly certified.

DEFINITIONS

I.Apparent condition: System and components are rated as follows:

- SATISFACTORY (Sat.) Indicates the component is functionally consistent with its original purpose but may show signs of normal wear and tear and deterioration,
 - MARGINAL (Marg.) Indicates the component will probably require repair or replacement anytime within five years.
 - POOR - Indicates the component will need repair or replacement now or in the very near future.
 - SIGNIFICANT ISSUES - A system or component that is considered significantly deficient, inoperable or is unsafe.
 - SAFETY HAZARD - Denotes a condition that is unsafe and is in need of prompt attention.
2. Installed systems and components: structural components; exterior; interior; roofing; plumbing; electrical; heating; central air-conditioning (weather permitting); insulation and ventilation.
 3. Readily accessible systems and components: only those systems and components where Inspector is not required to remove personal items, furniture, equipment, soil, snow, or other items which obstruct access or visibility.
 4. Any component not listed as being deficient in some manner is assumed to be satisfactory.

II. Inspection Report

A. The Inspection Report provided by the Inspector will contain the Inspector's professional, good-faith opinions concerning the need for repair or replacement of certain observable items" All statements in the report are the Inspector's opinions and should not be construed as statements of fact or factual representations concerning the Property. By this Agreement, the Client understands that the services provided by the Inspector fall within the Professional Services Exemption of the Texas Deceptive Trade Practices Act (ADTPA) and agrees that no cause of action exists under the DTPA related to the services provided. Except for those matters for which the exemption does not apply, Unless specifically stated, the report will not include and should not be read to indicate opinions as to the environmental conditions, presence of mold, fungi, mildew or any type of organic substances, presence of toxic or hazardous waste or substances, presence of termites or other wood-destroying organisms, or compliance with codes, ordinances, statutes or restrictions or the insurability, efficiency, quality, durability, future life or future performance of any item inspected.

B. The Inspection Report is not a substitute for disclosures by sellers and real estate agents- Said disclosure statements should be carefully read for any material facts that may influence or affect the desirability and/or market value of the Property.

C. As noted above, the Inspection Report may state that further evaluation of certain items is needed by an expert in the field of the item inspected. By this Agreement, Client acknowledges that qualified experts may be needed to further evaluate such items as structural systems, foundations, grading, drainage, roofing, plumbing, electrical systems, HVAC, appliances, sprinkler systems, fire/smoke detection systems, septic systems, Swimming pool/spa and other observable items as noted in the report.

D. The Inspection will not include an appraisal or the value or a survey. The written report is not a compliance inspection or certification for past or present governmental codes or regulations of any kind.

E. This inspection does not determine whether the property is insurable.

III. Disclaimer of Warranties

The inspector makes no guarantee or warranty, express or implied, as to any of the following:

1. That all defects have been found or that the Inspector will pay for the repair of undisclosed defects;
2. That any of the items inspected are designed or constructed in a good and workman like manner;
3. That any of the items inspected will continue to perform in the future as they are performing at the time of the inspection; and
4. That any of the items inspected are merchantable or fit for any particular purpose.

IV LIMITATION OF LIABILITY

BY THIS AGREEMENT, CLIENT ACKNOWLEDGES THAT THE INSPECTION FEE PAID TO THE INSPECTOR IS NOMINAL GIVEN THE RISK OF LIABILITY ASSOCIATED WITH PERFORMING HOME INSPECTIONS IF LIABILITY COULD NOT BE LIMITED. CLIENT ACKNOWLEDGES THAT WITHOUT THE ABILITY TO LIMIT LIABILITY THE INSPECTOR WOULD BE FORCED TO CHARGE CLIENT MUCH MORE THAN THE INSPECTION FEE FOR THE INSPECTOR'S SERVICES. CLIENT ACKNOWLEDGES BEING GIVEN THE OPPORTUNITY TO HAVE THIS AGREEMENT REVIEWED BY COUNSEL OF HIS OR HER OWN CHOOSING AND FURTHER ACKNOWLEDGES THE OPPORTUNITY OF HIRING A DIFFERENT INSPECTOR TO PERFORM THE INSPECTION. BY THIS AGREEMENT, CLIENT AGREES TO LIABILITY BEING LIMITED TO THE AMOUNT OF THE INSPECTION FEE PAID BY THE CLIENT.

V. Dispute Resolution

In the event a dispute arises regarding an inspection that has been performed under this agreement, the Client agrees to notify the Inspector in writing, within 72 hrs. of the date the Client discovers the basis for the dispute so as to give the Inspector a reasonable opportunity to re-inspect the property. Client agrees to allow re-inspection before any corrective action is taken. Client agrees not to disturb or repair or have repaired anything which might constitute evidence relating to a complaint against the Inspector. Client further agrees that the Inspector can either conduct the re-inspection himself or can employ others (at the Inspector's expense) to re-inspect the property, or both. The Client further agrees that the Inspector is liable only if there has been a complete failure to follow the standards adhered to in the report or State/Providence law. Furthermore, any legal action must be brought within one (1) year from the date of the inspection, or will be deemed waived and forever barred. In the event a dispute cannot be resolved by the Client and the Inspector, the parties agree that any dispute or controversy shall be resolved by mandatory and binding arbitration. The arbitration panel must include at least one licensed home inspector.

VI. Certification of Merit

Client shall make no claim, including without limitation any claim of professional negligence, against Inspector unless Client has first provided Inspector with a written certification executed by an independent Texas Licensed Professional Real Estate Inspector currently practicing in the field of residential inspections in the Greater Houston, Texas area for home buyers. The certification shall: a) contain the name and license number of the certifier; b) specify/ the acts or omissions of the Inspector that the certifier contends are not in conformance with the standard of care for a Licensed Professional Real Estate Inspector performing a home inspection under similar circumstances; c) state in detail the basis for the certifier s opinion that such acts or omissions do not conform to the standard of care. This certificate shall be to the Inspector not less than twenty (20) days prior to the presentation of any claim, or the institution of any arbitration or legal proceeding by the Client. This certificate of merit requirement will take precedence over any existing state law in force at the time of the claim or demand for arbitration.

VII. INDEMNITY

CLIENT AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS INSPECTOR, ITS PARTNERS, OFFICERS, EMPLOYEES, ATTORNEYS, AND AGENTS, AND TO DEFEND ANY ACTION BROUGHT AGAINST ANY SUCH PARTIES, WITH RESPECT TO ANY AND ALL CLAIMS, DEMANDS, CAUSES OF ACTION, DEBTS OR LIABILITIES, INCLUDING REASONABLE ATTORNEYS FEES, ARISING OUT OF OR RELATING TO THIS AGREEMENT, WHETHER OR NOT RESULTING FROM THE NEGLIGENCE OF ANY PARTY SO INDEMNIFIED , UNLESS CAUSED BY THE GROSSLY NEGLIGENT ACTIONS OR INTENTIONAL MISCONDUCT OF INSPECTOR.

VIII. Attorney's Fees

The Inspector and the Client agree that in the event any dispute or controversy arises as a result of this Agreement, and the services provided hereunder, the prevailing party in that dispute shall be entitled to recover all of the prevailing party's reasonable and necessary attorneys fees and costs incurred by that party.

IX. Third Party Provider

Your inspector may have an affiliation with a third party service provider (TPSP) in order to offer you additional value-added services. By entering into this agreement you (a) authorize your inspector to provide your contact information (including telephone number) to the TPSP, (b) waive and release any restrictions that may prevent the TPSP from contacting you (including by telephone), and (c) authorize the TPSP to contact you (including by telephone) regarding special home alarm system offers.

X. Exclusivity

The Inspection Report is to be prepared exclusively for the Client named and is not transferable to anyone in any form. The client gives permission for the Inspector to discuss report findings with real estate agents, specialists, or repair persons for the sake of clarification. The client has read this entire Agreement and accepts and understands this Agreement as hereby acknowledged. If no State/Province regulations apply, this report adheres to the Texas Real Estate Commission Standards of Practice (SOP), which is available upon request.

BY ANY USE OF THIS REPORT, I ACKNOWLEDGE THAT I HAVE READ THIS AGREEMENT AND THE ATTACHED DOCUMENTS, IF ANY; THAT I UNDERSTAND THE TERMS AND CONDITIONS AND THAT I AGREE TO BE BOUND BY THESE TERMS AND CONDITIONS. IF CLIENT IS MARRIED, CLIENT REPRESENTS THAT THIS OBLIGATION IS A FAMILY OBLIGATION INCURRED IN THE INTEREST OF THE FAMILY.

Your confirmation of this agreement constitutes a contract. Under most circumstances, any use of

this inspection report (In any form) constitutes your acceptance of this agreement

Addendum to the Agreement

Any dispute, controversy, interpretation or claim including claims for, but not limited to, breach of contract, any form of negligence, fraud, or misinterpretation arising out of, from or related to, this contract or arising out of, from or related to the Inspection or inspection report shall be submitted first to a Non-Binding Mediation conference and absent a voluntary settlement through Non-Binding Mediation to be followed by final and Binding Arbitration, if necessary as conducted by Construction Dispute Resolution Services, LLC or Resolute Systems, Inc. utilizing their respective Rules and Procedures. If you would like to utilize the Mediation or Arbitration services of another dispute resolution provider other than one of those so stated please submit your recommendation to us for our consideration. If the dispute is submitted to Binding Arbitration, the decision of the Arbitrator appointed there under shall be final and binding and the enforcement of the Arbitration Award may be entered in any Court or administrative tribunal having jurisdiction thereof. The client will allow the company to correct typographical correct and omissions at no liability to the company

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I=Inspected NI=Not Inspected NP=Not Present D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

I. STRUCTURAL SYSTEMS

| | | | | |
|-------------------------------------|--------------------------|--------------------------|-------------------------------------|----------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. Foundations |
|-------------------------------------|--------------------------|--------------------------|-------------------------------------|----------------|

Type of Foundation(s):
 • Foundation Slab on Grade

Comments:

- The purpose of the foundation is to distribute live and dead loads to the soil over a large enough area that neither the soil nor the building will move. Slab on grade foundation may experience stress in areas of expansive soils from moisture content variation and as such expansive soils react favorably to constant moisture content.

- **The foundation is performing as intended at the time of this inspection. No significant problems were observed**

- Shear cracks or corner break away were noted on the corner of the foundation walls. The rate of movement cannot be predicted during a one-time inspection. In the event the crack continues a structural specialist should be consulted to further evaluate this condition and the remedies available for correction.



Shear cracks or corner break away were noted on the corner of the foundation walls. The rate of movement cannot be predicted during a one-time inspection. In the event the crack continues a structural specialist should be consulted to further evaluate this condition and the remedies available for correction.

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| | | | |
|---|----|----|---|
| I | NI | NP | D |
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B. Grading and Drainage

Comments:

- Grading and drainage are visually observed for adverse conditions at the area adjacent to the foundation. Positive drainage away from the foundation for minimum of three feet and leave a minimum of 6" to 8" of slab exposed is recommended.
- It's the opinion of the Inspector that visible components of the Grading & Drainage appear to be in satisfactory condition on the day of this inspection.

C. Roof Covering Materials

Type(s) of Roof Covering:

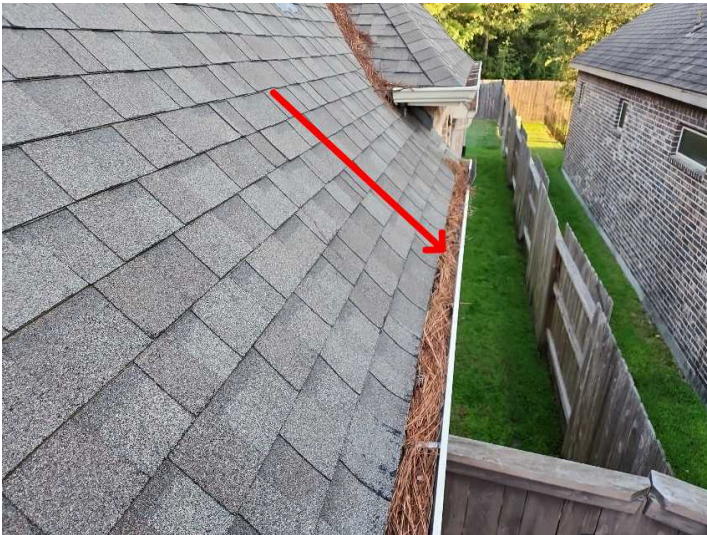
- Composition shingles

Viewed From:

- Ladder at **drip edge** and the ground, all areas of the roof may not have been visible.

Comments:

- Roof Cover
- The gutters require cleaning to avoid spilling roof runoff around the building – a potential source of water entry or water damage.
- Debris should be removed from the roof coverings to prevent future damage.
- Uplift noted on the roof covering of the house. All roof penetrations should be examined and sealed as necessary.



The gutters require cleaning to avoid spilling roof runoff around the building – a potential source of water entry or water damage.



Debris should be removed from the roof coverings to prevent future damage.

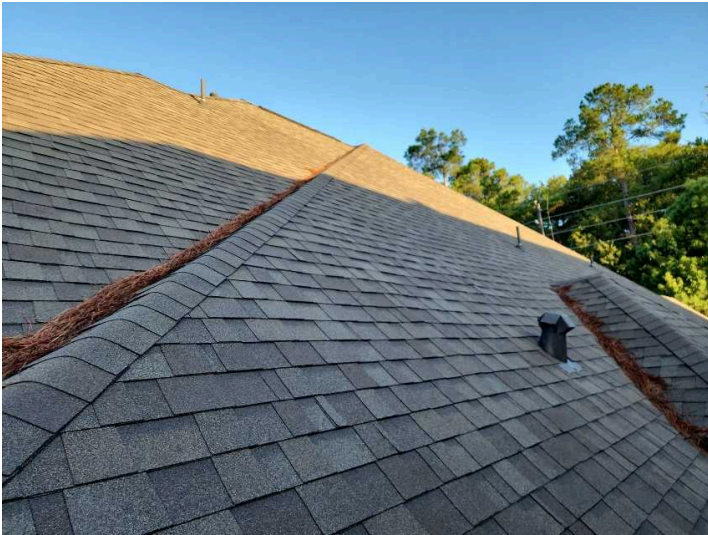
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Roof Cover



Roof Cover



Uplift noted on the roof covering of the house.
All roof penetrations should be examined and sealed as necessary.



Roof Cover

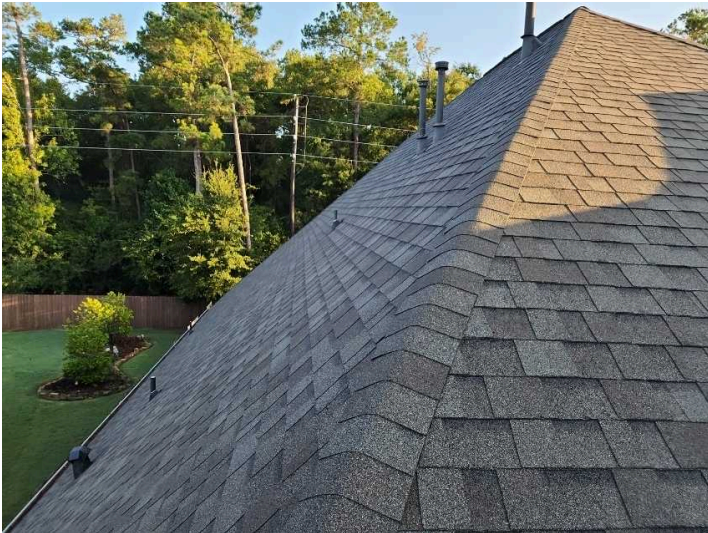
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NI=Not Inspected

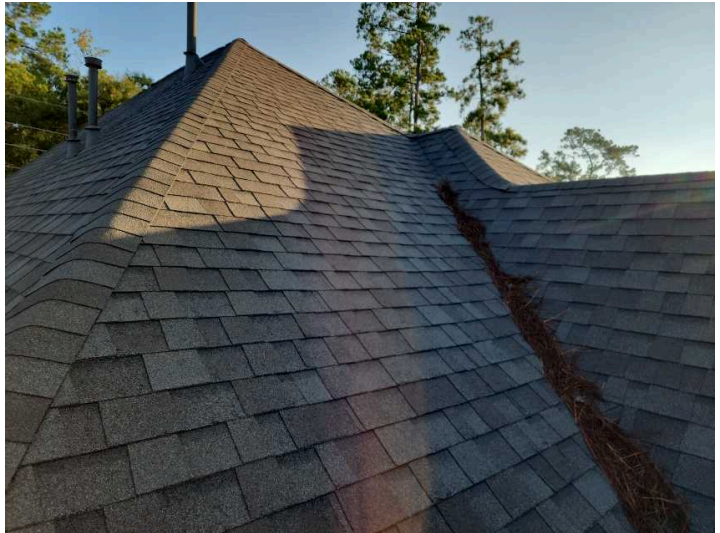
NP=Not Present

D=Deficient

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| I | NI | NP | D |
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Roof Cover



Roof Cover

| | | | |
|---|--|--|--|
| X | | | |
|---|--|--|--|

D. Roof Structure and Attics

Viewed From:

- Roof-entered attic

Approximate Average Depth of Insulation:

- Insulation is 10 to 13 inches deep

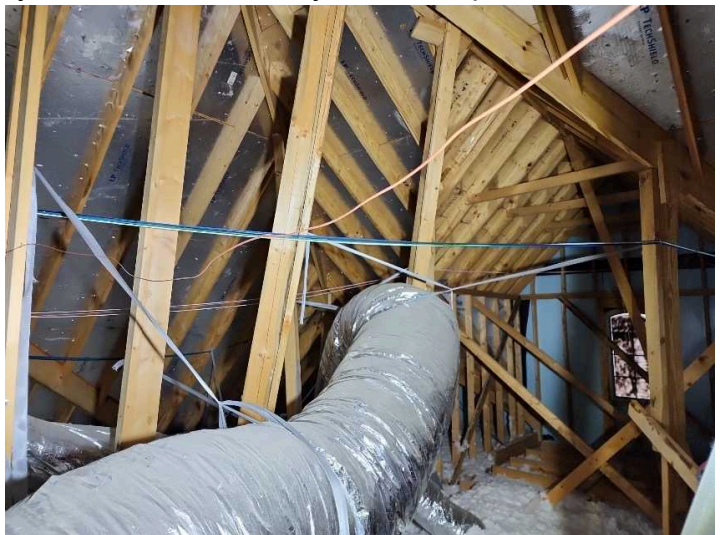
Comments:

- All areas of the attic may not be inspected due to limited access. Framing members are not necessarily inspected to engineering code of standards.

- It's the opinion of the Inspector that visible components of the Roof Structure & Attic appear to be in satisfactory condition on the day of this inspection.



Attic



Attic

I=Inspected

NI=Not Inspected

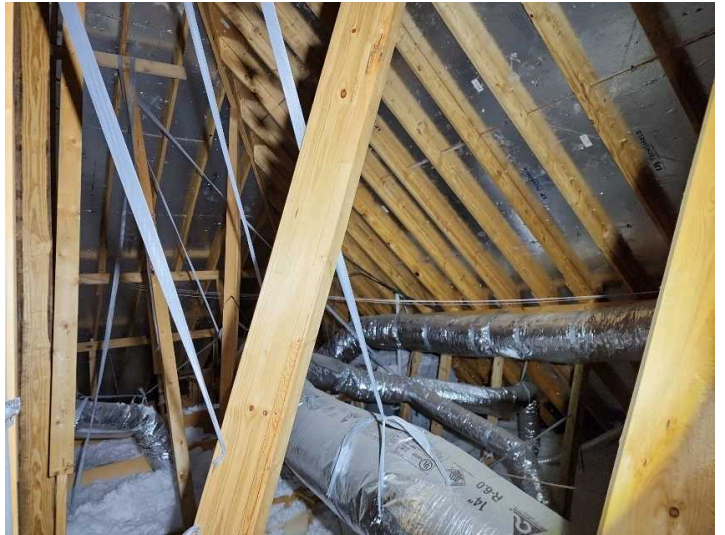
NP=Not Present

D=Deficient

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|---|----|----|---|
| I | NI | NP | D |
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Attic



Attic

| | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|----------------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | E. Walls (Interior and Exterior) |
|-------------------------------------|--------------------------|--------------------------|--------------------------|----------------------------------|

Wall Materials:

- Exterior walls siding are made of brick

Comments:

- The walls are observed visually for structural performance and water penetration, some areas may not be inspected due to house hold furnishings.
- **It's the opinion of the Inspector that visible components of the Walls appear to be in satisfactory condition on the day of this inspection.**

| | | | | |
|-------------------------------------|--------------------------|--------------------------|-------------------------------------|------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | F. Ceilings and Floors |
|-------------------------------------|--------------------------|--------------------------|-------------------------------------|------------------------|

Ceiling and Floor Materials:

- Ceiling is made of drywall

Comments:

- The ceilings and floors are observed from the interior of the house for structural performance and water penetration only. The covering of the floors are not addressed in the structural inspection.
- Stains visible on the ceiling finish in the guest bathroom. The cause for the staining should be determined and repairs undertaken if necessary to prevent structural damage.

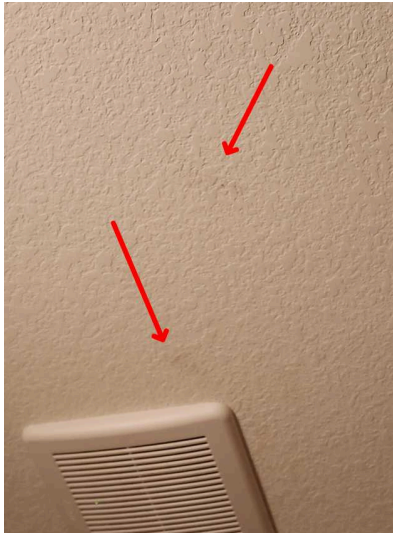
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| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|



Stains visible on the ceiling finish in the guest bathroom. The cause for the staining should be determined and repairs undertaken if necessary to prevent structural damage.

| | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|----------------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | G. Doors (Interior and Exterior) |
|-------------------------------------|--------------------------|--------------------------|--------------------------|----------------------------------|

Comments:

- The interior, exterior and the overhead garage doors are observed and tested for operation in the structural inspection.
- **It's the opinion of the Inspector that visible components of the Doors appear to be in satisfactory condition and performing as intended on the day of this inspection.**

| | | | | |
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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | H. Windows |
|-------------------------------------|--------------------------|--------------------------|--------------------------|------------|

Window Types:

- Windows are made of vinyl

Comments:

- All windows may not be inspected due to limited access. The windows are observed for glazing, window screens, condition of glass and functioning of egress of burglar bars if so equipped. Random windows are tested for operation, but not all windows are tested for operation and some windows may not be inspected due to house hold furnishings.
- **It's the opinion of the Inspector that visible components of the Windows appear to be in satisfactory condition and functioning as intended on the day of this inspection.**

| | | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | I. Stairways (Interior and Exterior) |
|--------------------------|--------------------------|-------------------------------------|--------------------------|--------------------------------------|

Comments:

I=Inspected

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NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
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| | | | | |
|-------------------------------------|-------------------------------------|-------------------------------------|--------------------------|----------------------------|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | J. Fireplaces and Chimneys |
|-------------------------------------|-------------------------------------|-------------------------------------|--------------------------|----------------------------|

Locations:

- Fireplace is located in the family room

Types:

- Fireplace is prefabricated heater insert

Comments:



| | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | K. Porches, Balconies, Decks, and Carports |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--|

Comments:

- **It's the opinion of the Inspector that visible components of the Porches, Balconies, Decks and Carports appear to be in satisfactory condition on the day of this inspection.**

| | | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|----------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | L. Other |
|--------------------------|--------------------------|-------------------------------------|--------------------------|----------|

Materials:

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
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II. ELECTRICAL SYSTEMS

| | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. Service Entrance and Panels |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------------|

Panel Locations:

- Electrical panel is located in the garage.

Materials and Amp Rating:

- Copper wiring
- 150 amp
- Manufacture: Eaton

Comments:

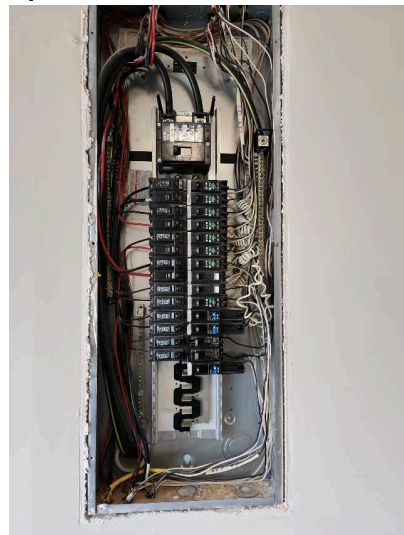
• The electrical service is observed for condition, but not necessarily observed to determine amperage of the panel or the amperage requirement of the subject property.

In accordance with the Texas Real Estate Commission, Chapter 535.229 (a)(17), states that “the lack of arc-fault circuit interrupting device serving family rooms, dining rooms, living rooms, parlors, libraries, dens, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas; and failure of operation of installed arc-fault interrupter devices” shall be reported as deficient.

- Service Entrance: Underground
- Location: Garage
- Amps: 150
- **It’s the opinion of the Inspector that visible components of the Electrical Systems Service Entrance and Panels appear to be in satisfactory condition and functioning as intended on the day of this inspection.**



Electrical supply distribution panel



Electrical supply distribution panel

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- Copper wiring

Comments:

- All receptacles may not be inspected due to limited access. Receptacles at the counter top-level in the kitchen, bathrooms, garage, wet bar, bar opposite wall <6'kitchen sink, whirlpool bath, crawl space and exterior plugs should be Ground Fault Circuit Interrupter (GFCI) protected. Electrical fixtures such as lights, fans, recessed lighting and outlets are observed for operation or voltage potential. Some receptacles may not be inspected due to hose hold furnishings. The branch circuit wire is a NM (no-metallic) plastic covered cable for use in dry locations (3-wire).

- The installations of a ground fault circuit interrupter (GFCI) are recommended for all receptacles in the Kitchen including any within 6 ft of a sink. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.



The installations of a ground fault circuit interrupter (GFCI) are recommended for all receptacles in the Kitchen including any within 6 ft of a sink. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.

C. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

| | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|----------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. Heating Equipment |
|-------------------------------------|--------------------------|--------------------------|--------------------------|----------------------|

Type of Systems:

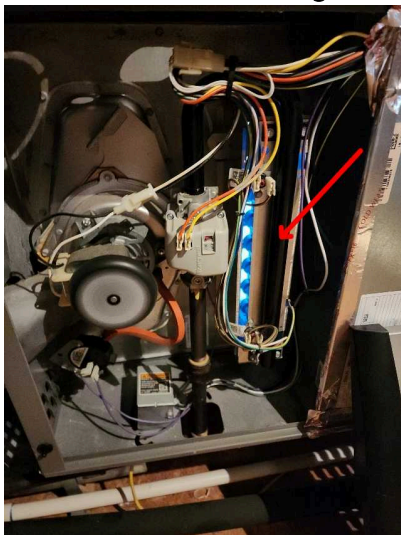
- Force Air with (Gas Furnace)
- Manufacture : Lennox

Energy Sources:

- The heater/furnace is gas powered

Comments:

- The heating unit is visually inspected for deficiencies and safety issues and is not disassembled or cleaned to ascertain the condition of the equipment.
- **It's the opinion of the Inspector that visible components of the Heating, Ventilation and Air Conditioning Systems appear to be in satisfactory condition and functioning as intended on the day of this inspection.**



Heater



Heater temperature

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

B. Cooling Equipment

Type of Systems:

- Force Air with (Gas Furnace)
- Manufacture : Lennox 48,000 BTU 4 Ton Located : Left Exterior

Comments:

• The cooling system/systems are observed for water leaks, rust and corrosion, but not disassembled for determining the condition of the equipment. The inspector is not required to determine the capacity of the cooling equipment or the cooling capacity required for the subject property. To determine the performance of the system a differential air temperature test is performed. The temperature of the supply air is recorded and subtracted from the return air temperature, leaving a differential air temperature. The engineering design for a properly operating cooling system is a 23 degree differential air temperature, however, a 15degree differential is considered operational. Should the differential air temperature not achieve the 15-23 degree range, a licensed, qualified air conditioning company should evaluate the system and performed the necessary repairs for satisfactory operation.

- It's the opinion of the Inspector that visible components of the Cooling Equipment appear to be in satisfactory condition on the day of this inspection.
- The cooling differential calculations were recorded as follows: 74.3° cooling return temperature, 53.2° cooling supply temperature, = Calculated cooling differential 21.2°.

Differential temperature readings are only intended as representative of the general operating conditions of the HVAC system. By taking comparative reading both at the return and supply registers, a general assessment of the operation can be made. It is always recommended for more precise evaluation information, a licensed professional HVAC technician should be consulted.

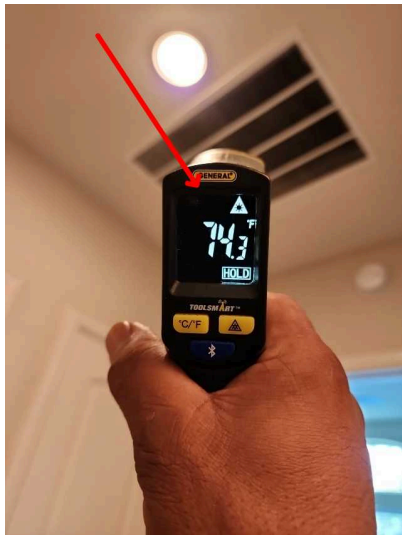
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D=Deficient

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| I | NI | NP | D |
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The cooling differential calculations were recorded as follows: 74.3° cooling return temperature, 53.2° cooling supply temperature, = Calculated cooling differential 21.2°.

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| | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|------------------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. Duct Systems, Chases, and Vents |
|-------------------------------------|--------------------------|--------------------------|--------------------------|------------------------------------|

Comments:

- The duct system is visually observed only and is not disassembled to determine the condition of the duct material. The air flow at the duct and the registers are not measured and the system is not tested for balanced airflow. All duct systems may not be inspected due to limited access.

No hazardous or improper conditions in return chase or plenum were present.

- It's the opinion of the Inspector that visible components of the Duct system, Chases & Vents appear to be in satisfactory condition and performing as intended on the day of the inspection.**

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|--------------------------|--------------------------|-------------------------------------|--------------------------|----------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | D. Other |
|--------------------------|--------------------------|-------------------------------------|--------------------------|----------|

Comments:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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| I | NI | NP | D |
|---|----|----|---|

IV. PLUMBING SYSTEMS

| | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. Plumbing Supply, Distribution System and Fixtures |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--|

Location of Water Meter:

- Front Left

Location of Main Water Supply Valve:

- Garage

Comments:

- The supply plumbing is observed only where visible for leaks and the condition of the exterior piping. The piping is not pressure tested. Plumbing piping which is not visible such as the concealed piping buried in the yard, in walls, or concealed with insulation is excluded from this report.

- Static Water Pressure Reading: 55

- Type of Supply Piping Material: PEX



Static Water Pressure Reading: 55

| | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. Drains, Wastes, Vents |
|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|

Type of Drain Piping Material:

- The drain, wastes vents piping material to this property is Polyvinyl chloride (PVC plastic)

Observations:

- It's the opinion of the Inspector that visible components of the Drains, Waste and Vents appear to be in satisfactory condition and performing as intended on the day of this inspection.

I=Inspected

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D=Deficient

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| I | NI | NP | D |
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|-------------------------------------|--------------------------|--------------------------|--------------------------|----------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. Water Heating Equipment |
|-------------------------------------|--------------------------|--------------------------|--------------------------|----------------------------|

Energy Source:

- Water heater is gas powered
- Water heater is located in the attic

Capacity:

- Manufacture: 2 Bradford White Units is 40 gallons each.

Comments:

•

It's the opinion of the Inspector that visible components of the Water Heating Equipment appear to be in satisfactory condition and performing as intended on the day of this inspection.



Water heater temperature



Water heaters

| | | | | |
|-------------------------------------|--------------------------|--------------------------|-------------------------------------|------------------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. Hydro-Massage Therapy Equipment |
|-------------------------------------|--------------------------|--------------------------|-------------------------------------|------------------------------------|

Comments:

- The inspector was not able to access under the tub for a visual inspection. Access was not available and does not comply with 2015 IRC 2720.0. Accessibility is now required to view the plumbing and/or motor of all garden tubs and massage therapy equipment.

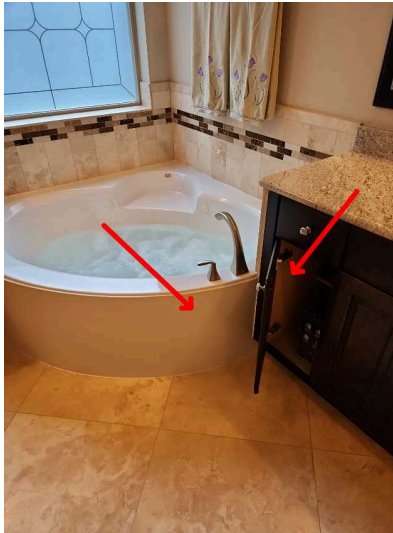
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D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|



The inspector was not able to access under the tub for a visual inspection. Access was not available and does not comply with 2015 IRC 2720.0. Accessibility is now required to view the plumbing and/or motor of all garden tubs and massage therapy equipment.

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter:

- The Gas meter is located on the left side of the building.

Type of Gas Distribution Piping Material:

- The Gas distribution system is black iron/galvanized piping material

Comments:

-

It's the opinion of the Inspector that visible components of the Gas Distribution System appear to be in satisfactory condition and performing as intended on the day of this inspection.

F. Other

Materials:

Comments:

V. APPLIANCES

A. Dishwashers

Comments:

- Manufacturer: Electrolux

It's the opinion of the inspector that visible components of the Dishwasher appear to be in satisfactory condition and performing as intended on the day of this inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

B. Food Waste Disposers

Comments:

- Manufacturer: Badger

• It's the opinion of the Inspector that visible components of the Food Waste Disposer appear to be in satisfactory condition and performing as intended on the day of this inspection.

C. Range Hood and Exhaust Systems

Comments:

- Manufacturer: Electrolux

• It's the opinion of the Inspector that visible components of the Range Exhaust Vent appear to be in satisfactory condition and performing as intended on the day of this inspection.

D. Ranges, Cooktops, and Ovens

Comments:

- Manufacturer- Electrolux

• It's the opinion of the Inspector that visible components of the Ranges, Cook tops and Ovens appear to be in satisfactory condition and performing as intended on the day of this inspection.

E. Microwave Ovens

Comments:

- Manufacturer- Electrolux

• It's the opinion of the Inspector that visible components of the Microwave Oven appear to be in satisfactory condition and performing as intended on the day of this inspection.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

• It's the opinion of the Inspector that visible components of the Mechanical Exhaust Vents appear to be in satisfactory condition and performing as intended on the day of this inspection.

G. Garage Door Operators

Door Type:

- Roll-up door noted.

Comments:

- Manufacturer- Linear

• It's the opinion of the Inspector that visible components of the Garage Door Operator(s) appear to be in satisfactory condition and performing as intended on the day of this inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|



Garage door operator

| | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|-------------------------------------|--------------------------|--------------------------|--------------------------|

H. Dryer Exhaust Systems

Comments:

- It's the opinion of the Inspector that visible components of the Dryer Vents appear to be in satisfactory condition and performing as intended on the day of this inspection.

| | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------------|--------------------------|-------------------------------------|--------------------------|

I. Other

Comments:

VI. OPTIONAL SYSTEMS

| | | | |
|--------------------------|-------------------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|--------------------------|-------------------------------------|--------------------------|--------------------------|

A. Landscape Irrigation (Sprinkler) Systems

Comments:

| | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------------|--------------------------|-------------------------------------|--------------------------|

B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction:

Comments:

| | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------------|--------------------------|-------------------------------------|--------------------------|

C. Outbuildings

Materials:

Comments:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
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| | | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | D. Private Water Wells (A coliform analysis is recommended) |
|--------------------------|--------------------------|-------------------------------------|--------------------------|---|

Type of Pump:
 Type of Storage Equipment:
 Comments:

| | | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | E. Private Sewage Disposal Systems |
|--------------------------|--------------------------|-------------------------------------|--------------------------|------------------------------------|

Type of System:
 Location of Drain Field:
 Comments:

| | | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | F. Other Built-in Appliances |
|--------------------------|--------------------------|-------------------------------------|--------------------------|------------------------------|

Comments:

| | | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|----------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | G. Other |
|--------------------------|--------------------------|-------------------------------------|--------------------------|----------|

Comments:

Glossary

| Term | Definition |
|-----------|---|
| Drip Edge | Drip edge is a metal flashing applied to the edges of a roof deck before the roofing material is applied. The metal may be galvanized steel, aluminum (painted or not), copper and possibly others. |
| GFCI | A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system. |
| PVC | Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines. |

Report Summary

| STRUCTURAL SYSTEMS | | |
|---|--|---|
| Page 9 Item: A | Foundations | <ul style="list-style-type: none"> Shear cracks or corner break away were noted on the corner of the foundation walls. The rate of movement cannot be predicted during a one-time inspection. In the event the crack continues a structural specialist should be consulted to further evaluate this condition and the remedies available for correction. |
| Page 10 Item: C | Roof Covering Materials | <ul style="list-style-type: none"> The gutters require cleaning to avoid spilling roof runoff around the building – a potential source of water entry or water damage. Debris should be removed from the roof coverings to prevent future damage. Uplift noted on the roof covering of the house. All roof penetrations should be examined and sealed as necessary. |
| Page 13 Item: F | Ceilings and Floors | <ul style="list-style-type: none"> Stains visible on the ceiling finish in the guest bathroom. The cause for the staining should be determined and repairs undertaken if necessary to prevent structural damage. |
| ELECTRICAL SYSTEMS | | |
| Page 17 Item: B | Branch Circuits, Connected Devices, and Fixtures | <ul style="list-style-type: none"> The installations of a ground fault circuit interrupter (GFCI) are recommended for all receptacles in the Kitchen including any within 6 ft of a sink. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution. |
| HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS | | |
| Page 19 Item: B | Cooling Equipment | <ul style="list-style-type: none"> The cooling differential calculations were recorded as follows: 74.3° cooling return temperature, 53.2° cooling supply temperature, = Calculated cooling differential 21.2°. Differential temperature readings are only intended as representative of the general operating conditions of the HVAC system. By taking comparative reading both at the return and supply registers, a general assessment of the operation can be made. It is always recommended for more precise evaluation information, a licensed professional HVAC technician should be consulted. |
| PLUMBING SYSTEMS | | |
| Page 22 Item: D | Hydro-Massage Therapy Equipment | <ul style="list-style-type: none"> The inspector was not able to access under the tub for a visual inspection. Access was not available and does not comply with 2015 IRC 2720.0. Accessibility is now required to view the plumbing and/or motor of all garden tubs and massage therapy equipment. |